

CITY OF NEWARK CITY COUNCIL

37101 Newark Boulevard, Newark, CA 94560-3796 • 510-578-4266 • E-mail: city.clerk@newark.org

City Administration Building
7:30 p.m.
City Council Chambers

AGENDA

Thursday, June 28, 2018

- A. ROLL CALL
- B. MINUTES
 - B.1 Approval of Minutes of the City Council meeting of June 14, 2018. (MOTION)
- C. PRESENTATIONS AND PROCLAMATIONS
 - C.1 Commending Sarah DeLipski. (COMMENDATION)
 - C.2 Washington Hospital Healthcare System Presentation of Community Health Needs Assessment. (PRESENTATION)
- D. WRITTEN COMMUNICATIONS
- E. PUBLIC HEARINGS
 - E.1 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 1 – from Public Works Director Fajeau. (RESOLUTION)
 - E.2 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 2 – from Public Works Director Fajeau. (RESOLUTION)
 - E.3 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 4 – from Public Works Director Fajeau. (RESOLUTION)

- E.4 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 6 – from Public Works Director Fajeau. (RESOLUTION)**
- E.5 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 7 – from Public Works Director Fajeau. (RESOLUTION)**
- E.6 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 13 – from Assistant City Engineer Fajeau. (RESOLUTION)**
- E.7 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 15 – from Public Works Director Fajeau. (RESOLUTION)**
- E.8 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 16 – from Public Works Director Fajeau. (RESOLUTION)**
- E.9 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 17 – from Public Works Director Fajeau. (RESOLUTION)**
- E.10 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 18 – from Public Works Director Fajeau. (RESOLUTION)**
- E.11 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 19 – from Public Works Director Fajeau. (RESOLUTION)**
- E.12 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 10 – from Public Works Director Fajeau. (RESOLUTION)**

- E.13 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 11 – from Public Works Director Fajeau. (RESOLUTION)**
- E.14 Hearing to consider a text amendment to Title 17 (Zoning) of the Newark Municipal Code to revise various sections including Chapters 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 and 17.46, generally affecting land uses, heights, landscaping, signs, parking and various other development standards– from Deputy Community Development Director Interiano. (ORDINANCE)**
- E.15 Hearing to consider a planned development and vesting tentative tract map 8409, for a six unit multi-family residential townhome subdivision located at 36589 Newark Boulevard – from Assistant Planner Bowab. (RESOLUTIONS-2) (ORDINANCE)**

F. CITY MANAGER REPORT

(It is recommended that Items F.1 through F.8 be acted on simultaneously unless separate discussion and/or action is requested by a Council Member or a member of the audience.)

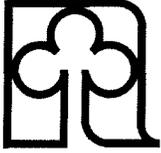
CONSENT

- F.1 Approval of Investment Policy – from Accounting Manager Lee. (RESOLUTION)**
- F.2 Establishment of the Fiscal Year 2018-2019 Appropriations Limit – from Accounting Manager Lee. (RESOLUTION)**
- F.3 Amendment of the 2016-2018 Biennial Budget and Capital Improvement Plan for Fiscal Year 2017-2018 for General Revisions – from Administrative Services Director Woodstock. (RESOLUTION)**
- F.4 Calling and giving notice of the holding of a General Municipal Election on Tuesday, November 6, 2018, for the election of certain officers of the City of Newark – from City Clerk Harrington. (MOTION)(RESOLUTION)**

- F.5 Notification to nonelected officials and designated employees to review their Conflict of Interest Code – from City Clerk Harrington. (MOTION)**
- F.6 Authorization for the City Attorney to sign a Certification and Mutual Indemnification Agreement with the County of Alameda - from Accounting Manager Lee and City Attorney Benoun. (RESOLUTION)**
- F.7 Authorization for the City Manager to sign Task Order No. 15 to the Joint Powers Agreement with the City of Fremont for Paratransit Services – from Recreation and Community Services Director Zehnder. (RESOLUTION)**
- F.8 Authorization for the City Manager to sign Task Order No. 16 to the Joint Powers Agreement with the City of Fremont for Case Management services – from Recreation and Community Services Director Zehnder. (RESOLUTION)**
- G. CITY ATTORNEY REPORTS**
- H. ECONOMIC DEVELOPMENT CORPORATION**
- I. CITY COUNCIL MATTERS**
- I.1 Resolution supporting the Chinese American World War II Veterans Congressional Gold Medal Act – from Mayor Nagy. (RESOLUTION)**
- J. CITY COUNCIL ACTING AS THE SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY**
- K. ORAL COMMUNICATIONS**
- L. APPROPRIATIONS**
- Approval of Audited Demands. (MOTION)**
- M. CLOSED SESSION**
- N. ADJOURNMENT**

Pursuant to Government Code 54957.5: Supplemental materials distributed less than 72 hours before this meeting, to a majority of the City Council, will be made available for public inspection at this meeting and at the City Clerk's Office located at 37101 Newark Boulevard, 5th Floor, during normal business hours. Materials prepared by City staff and distributed during the meeting are available for public inspection at the meeting or after the meeting if prepared by some other person. Documents related to closed session items or are exempt from disclosure will not be made available for public inspection.

For those persons requiring hearing assistance, please make your request to the City Clerk two days prior to the meeting.



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City Administration Building
7:30 p.m.
City Council Chambers

AGENDA

Thursday, June 28, 2018

CITY COUNCIL:

Alan L. Nagy, Mayor
Michael K. Hannon, Vice Mayor
Luis L. Freitas
Sucy Collazo
Mike Bucci

CITY STAFF:

John Becker
City Manager

Terrence Grindall
Assistant City Manager

Susie Woodstock
Administrative Services Director

Sandy Abe
Human Resources Director

Soren Fajeau
Public Works Director

Michael Carroll
Police Chief

David Zehnder
Recreation and Community
Services Director

David J. Benoun
City Attorney

Sheila Harrington
City Clerk

Welcome to the Newark City Council meeting. The following information will help you understand the City Council Agenda and what occurs during a City Council meeting. Your participation in your City government is encouraged, and we hope this information will enable you to become more involved. The Order of Business for Council meetings is as follows:

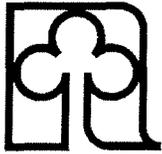
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|-------------------------------------|-------------------------|
| A. ROLL CALL | I. COUNCIL MATTERS |
| B. MINUTES | J. SUCCESSOR AGENCY |
| C. PRESENTATIONS AND PROCLAMATIONS | TO REDEVELOPMENT AGENCY |
| D. WRITTEN COMMUNICATIONS | K. ORAL COMMUNICATIONS |
| E. PUBLIC HEARINGS | L. APPROPRIATIONS |
| F. CITY MANAGER REPORTS | M. CLOSED SESSION |
| G. CITY ATTORNEY REPORTS | N. ADJOURNMENT |
| H. ECONOMIC DEVELOPMENT CORPORATION | |

Items listed on the agenda may be approved, disapproved, or continued to a future meeting. Many items require an action by motion or the adoption of a resolution or an ordinance. When this is required, the words **MOTION**, **RESOLUTION**, or **ORDINANCE** appear in parenthesis at the end of the item. If one of these words does not appear, the item is an informational item.

The attached *Agenda* gives the *Background/Discussion* of agenda items. Following this section is the word *Attachment*. Unless "none" follows *Attachment*, there is more documentation which is available for public review at the Newark Library, the City Clerk's office or at www.newark.org. Those items on the Agenda which are coming from the Planning Commission will also include a section entitled *Update*, which will state what the Planning Commission's action was on that particular item. *Action* indicates what staff's recommendation is and what action(s) the Council may take.

Addressing the City Council: You may speak once and submit written materials on any listed item at the appropriate time. You may speak once and submit written materials on any item **not** on the agenda during **Oral Communications**. To address the Council, please seek the recognition of the Mayor by raising your hand. Once recognized, come forward to the lectern and you may, but you are not required to, state your name and address for the record. Public comments are limited to five (5) minutes per speaker, subject to adjustment by the Mayor. Matters brought before the Council which require an action may be either referred to staff or placed on a future Council agenda.

No question shall be asked of a council member, city staff, or an audience member except through the presiding officer. No person shall use vulgar, profane, loud or boisterous language that interrupts a meeting. Any person who refuses to carry out instructions given by the presiding officer for the purpose of maintaining order may be guilty of an infraction and may result in removal from the meeting.



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City Administration Building
7:30 p.m.
City Council Chambers

Minutes

Thursday, June 14, 2018

A. ROLL CALL

Mayor Nagy called the meeting to order at 7:30 p.m. Present were Council Members Collazo, Freitas, Bucci, and Vice Mayor Hannon.

B. MINUTES

B.1 Approval of Minutes of the City Council meetings of May 24 and 31, 2018. MOTION APPROVED

Council Member Freitas moved, Vice Mayor Hannon seconded, to approve the Minutes of the City Council meetings. The motion passed, 5 AYES.

C. PRESENTATIONS AND PROCLAMATIONS

C.1 Introduction of employees.

Mayor Nagy introduced the following employees: Child Care Instructors Caton and Lozano; Police Officers Wilkerson, Riddles, San Pedro, and Damewood.

C.2 Commendation to Police Officer and Dispatcher of the Year.

Mayor Nagy presented the commendations to Police Officer of the Year Kovach and Dispatcher of the Year Paige.

C.3 Commendation to the Missionaries of the Precious Blood Priests.

Mayor Nagy presented the commendation to Father Jayababu Nuthulapati, C.P.P.S., Father James Franck, C.P.P.S., and Father Frankline Rayappa, C.P.P.S.

C.4 Proclaiming June as Elder Abuse Awareness Month.

Mayor Nagy presented the proclamation to Dena Aindow from the District Attorney's office and Colette Lee from Alameda County Adult Protective Services.

C.5 Presentation of Rising Sun Energy Center’s California Youth Energy Services (CYES) Program.

Shelby Sugierski gave the presentation (on file with City Clerk) on the California Youth Energy Services program which employs and trains local youth to perform energy efficiency and water conservation assessments and installations in homes.

D. WRITTEN COMMUNICATIONS

E. PUBLIC HEARING

E.1 Hearing to consider adoption of Master Fee Schedule for Fiscal Year 2018-2019. RESOLUTION NO. 10786

City Manager Becker gave the staff report recommending approval.

Mayor Nagy opened the public hearing at 8:07 p.m.

No one came forward to speak.

Mayor Nagy closed the public hearing at 8:08 p.m.

Vice Mayor Hannon requested that moving forward, the City Council hold a study session to review the master fees before holding the public hearing.

Vice Mayor Hannon moved, Council Member Bucci seconded to, by resolution, amend the Master Fee Schedule for Fiscal Year 2018-2019 and by motion, to hold a study session in advance of the annual Master Fee public hearing. The motion passed, 5 AYES.

F. CITY MANAGER REPORT

Council Members Freitas and Collazo requested the removal of items F.5 and F.6 for separate consideration.

Vice Mayor Hannon moved, Council Member Collazo seconded, to approve Consent Calendar Items F.1 through F.4 and F.7 through F.10, that the resolutions be numbered consecutively, and that reading of the titles suffice for adoption of the resolutions. The motion passed, 5 AYES.

CONSENT

- F.1 Authorization for the City Manager to sign a Lease Agreement with Viola Blythe Community Service Center of Newark, Inc. for use of the Jerry Raber Ash Street Park Building #1 for the operation of a food and clothing distribution center. RESOLUTION NO. 10787
CONTRACT NO. 18012**
- F.2 Authorization for the City Manager to sign a Lease Agreement with Child, Family, and Community Services, Inc. for use of the Jerry Raber Ash Street Park Building #2 for the operation of a Head Start Preschool Program. RESOLUTION NO. 10788
CONTRACT NO. 18013**
- F.3 Authorization for the Mayor to sign a Lease Agreement with Second Chance, Inc. for the operation of a multi-purpose shelter at 6519 Central Avenue. RESOLUTION NO. 10789
CONTRACT NO. 18014**
- F.4 Authorization for the Mayor to sign the Third Amendment to the Lease Agreement with the County of Alameda for reimbursement of janitorial and pest control services at the Newark Library. RESOLUTION NO. 10790
CONTRACT NO. 15033**
- F.7 Authorization for the Police Chief to sign an amendment to the agreement with All City Management Services for the contracting of school crossing guards . RESOLUTION NO.10793
CONTRACT NO. 11029**
- F.8 Approval to add the classification of Finance Manager to the City Officials, Management, Supervisory, and Professional Employee Group by amending the Employee Classification Plan, and the Compensation and Benefit Plan for City Officials, Management, Supervisory, and Professional Employees. RESOLUTION NOS. 10794-10795**
- F.9 Adoption of the 2018-2020 Biennial Budget and Capital Improvement Plan. RESOLUTION NO. 10796**
- F.10 Authorization for the City Manager to sign a contract with the City of Fremont to provide animal sheltering services. RESOLUTION NO. 10797
CONTRACT NO. 18016**

NONCONSENT

- F.5 Authorization for the City Manager to sign an Agreement with Alameda County for Additional Library Services. RESOLUTION NO. 10791
CONTRACT NO. 18015**

Council Member Collazo asked if the library will have additional operating hours when the new building opens. City Manager Becker stated that it has not been determined yet with Alameda County who operates the library.

Council Member Collazo moved, Council Member Bucci seconded, by resolution, to authorize the City Manager to sign an agreement with Alameda County for additional library services. The motion passed, 5 AYES.

- F.6 Acceptance of public subdivision improvements for Tract 8166 – Cedar Lane, an 85-unit residential townhome development (K. Hovnanian at Cedar Lane, LLC) located at the northeast corner of Cedar Boulevard and Mowry School Road. RESOLUTION NO. 10792**

Council Member Freitas stated that he was glad the developer made the enhancements that the City Council requested, resulting in a wonderful development.

Council Member Freitas moved, Council Member Collazo seconded, by resolution, to accept the public subdivision improvements for Tract 8166 – Cedar Lane, (K. Hovnanian at Cedar Lane, LLC) an 85-unit townhome development located at the northeast corner of Cedar Boulevard and Mowry School Road. The motion passed, 5 AYES.

- F.11 Approval of Contractual Services Agreements with Verde Design, Inc. for Professional Design Services for Sportsfield Park Synthetic Turf Fields, Project No. 1192 and Newark Skate Park at Sportsfield Park, Project No. 1193. RESOLUTION NO.10798
CONTRACT NO. 18017 Turf Fields
CONTRACT NO. 18018 Skate Park**

Assistant City Engineer Imai gave the staff report recommending approval of the agreements with Verde Design, Inc. The development of preliminary designs for both the Skate Park and Synthetic Turf Fields will begin shortly after the agreements are executed. Separate public workshops will be held for the Skate Park and Synthetic Turf Fields. Staff anticipates presenting design concepts in the Fall and construction beginning in the Spring of 2019.

Council Member Bucci requested two public workshops for the skatepark.

Council Member Bucci moved, Council Member Collazo seconded, by resolution, to approve Contractual Services Agreements with Verde Design, Inc. for Professional Design Services for Sportsfield Park Synthetic Turf Fields, Project No. 1192 and Newark Skate Park at Sportsfield Park, Project No. 1193. The motion passed, 5 AYES.

G. CITY ATTORNEY REPORTS

H. ECONOMIC DEVELOPMENT CORPORATION

I. CITY COUNCIL MATTERS

Mayor Nagy wished Council Member Bucci and Administrative Services Director Woodstock each a happy birthday.

Vice Mayor Hannon noted that his wife was in the audience and they will be celebrating their 40th wedding anniversary this month.

Council Member Collazo congratulated the high school graduates, wished everyone a Happy Father's Day, and to Shop Newark.

Council Member Freitas congratulated the Golden State Warriors on another championship. He thanked the Missionaries of the Previous Blood for their service and wished them well in Ohio.

Council Member Bucci stated that Relay for Life would be held next weekend at Community Park. He congratulated Alex Carlos Rose who graduated on June 5, voted in her cap and gown the same day, and got her first job 5 days later.

J. CITY COUNCIL ACTING AS THE SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY

K. ORAL COMMUNICATIONS

L. APPROPRIATIONS

Approval of Audited Demands.

MOTION APPROVED

City Clerk Harrington read the Register of Audited Demands: Check numbers 114522 to 114731.

Vice Mayor Hannon moved, Council Member Freitas seconded, to approve the Register of Audited Demands. The motion passed, 5 AYES.

M. CLOSED SESSION

N. ADJOURNMENT

Mayor Nagy adjourned the meeting at 8:36 p.m.

C.1 Commending Sarah DeLipski.

(COMMENDATION)

Background/Discussion – Sarah DeLipski has completed all the requirements necessary to be awarded the Girl Scout Gold Award pin. In recognition of this achievement, a commendation has been prepared and Ms. DeLipski will accept it at the City Council meeting.

C.2 Washington Hospital Healthcare System Presentation of Community Health Needs Assessment. (PRESENTATION)

Background/Discussion – Every three years, Washington Hospital Healthcare System, in conjunction with the Hospital Council of Northern and Central California, conducts a comprehensive health needs assessment. The study helps identify crucial health issues affecting residents in Washington Township Health Care District, including Newark. The Community Needs Assessment is a vital tool that has helped Washington Hospital determine parts of our population who are most at risk for various diseases. They use this data to provide care and services through community outreach programs, preventive care measures and education.

Lucy Hernandez, Washington Hospital’s Community Outreach Project Manager will give a presentation on the Community Needs Assessment for the City of Newark.

E.1 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 1 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 1. This district includes properties which abut Central Avenue between Filbert Street and Willow Street and provides for the maintenance of median landscaping on Central Avenue between Filbert Street and Willow Street, and buffer landscaping adjacent to the Alameda County flood control channel immediately west of Filbert Street. Maintenance and operation of median street lights along this portion of Central Avenue are also included in this district. An annual public hearing is necessary to adopt the Engineer’s Report to provide funds for this district.

The total assessment for this district as provided in the Engineer’s Report is \$41,700 for the 2018-2019 fiscal year.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 1 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 1
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 1, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 1

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 1
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 1, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. Work to be included in Landscaping and Lighting District No. 1 consists of the maintenance and operation of median-island and buffer landscaping and landscape irrigation system and median-island lighting located in Central Avenue between Filbert Street and Willow Street. Costs shall include all maintenance and operation cost including normal upkeep, operating expenses, management expenses, replanting costs, and power costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 1
2018-19 FISCAL YEAR
 CENTRAL AVENUE - Dumbarton Industrial Park

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$190,205
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$0
Extra Work (Contractor) - Tree Pruning & Knockdowns	\$0
Extra Work (City Forces)	\$0
PG&E	\$0
Water	\$0
Administration Costs	\$0
Ala. Cty. Collection Costs	\$0
- Tree Replacement Reserve Fund	(\$30,000)
- Less Reserve Fund	(\$10,000)
Total Carryover/deficit:	150,205

	<u>2017-18</u> <u>Budgeted</u>	<u>2017-18</u> <u>Estimated</u>	<u>2018-19</u> <u>Proposed</u>
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractual Maintenance Costs	10,740	10,400	16,000
- Sweeping	2,000	1,500	2,000
- Utility Costs/Water & Electricity	7,500	7,500	7,500
- Irrigation Sprinkler Repairs	5,000	400	5,000
- Annual Tree Pruning	7,500	4,200	7,500
- Planting Replacement	84,300	1,400	123,800
- Bid Advertisement	0	0	0
Subtotal	\$117,040	\$25,400	\$161,800
LIGHTING SYSTEM (64 Lights)			
- Energy Costs (PG&E)	5,000	4,550	5,000
- Photo Cell Replacement, Repairs	3,000	1,450	3,000
- Knockdowns, Long Term Capital Replacements	5,000	3,200	5,000
Subtotal	\$13,000	\$9,200	\$13,000
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Review Consultant	150	150	150
Subtotal	\$150	\$150	\$150
Subtotal	\$130,190	\$34,750	\$174,950
Carryover/deficit			\$150,205
Subtotal	\$130,190	\$34,750	\$24,745

LANDSCAPING AND LIGHTING DISTRICT NO. 1
2018-19 FISCAL YEAR
 CENTRAL AVENUE - Dumbarton Industrial Park

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	Common Area Assess.	Special Assess.	Total w/o Collection Charge	Collection Charge	Total Assessment
1	92-116-35-1	2,061.00	71.89	2,097.24	35.65	2,132.89
2	92-116-80	2,024.00		1,990.17	33.83	2,024.00
3	92-116-55	3,026.00		2,975.42	50.58	3,026.00
4	92-116-66	2,660.00	167.07	2,779.81	47.26	2,827.07
6	92-116-50 (Por)	1,305.00		1,283.19	21.81	1,305.00
7	92-116-64 (Por)	1,359.00		1,336.28	22.72	1,359.00
8	92-116-65 (Por)	1,207.00		1,187.81	20.19	1,208.00
9	92-116-48	4,307.00		4,235.00	72.00	4,307.00
10	92-116-49	2,705.00		2,659.78	45.22	2,705.00
11	92-116-56	2,744.00		2,698.13	45.87	2,744.00
12	92-116-57	2,942.00		2,892.82	49.18	2,942.00
13	92-252-12	771.00		758.11	12.89	771.00
14	92-252-11	4,264.00		4,192.72	71.28	4,264.00
15	92-252-10	0.00		0.00	0.00	0.00
16	92-252-8	0.00		0.00	0.00	0.00
17	92-252-7	0.00		0.00	0.00	0.00
18	92-251-12	2,205.00		2,168.14	36.86	2,205.00
19	92-251-13 (Por)	0.00		0.00	0.00	0.00
20	92-251-14	2,144.00		2,108.16	35.84	2,144.00
21	92-252-15	5,709.00		5,613.57	95.43	5,709.00
22	92-252-2 (Por)	0.00		0.00	0.00	0.00
Totals		41,433	238.96	\$40,976.36	\$696.60	\$41,672.96

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 1

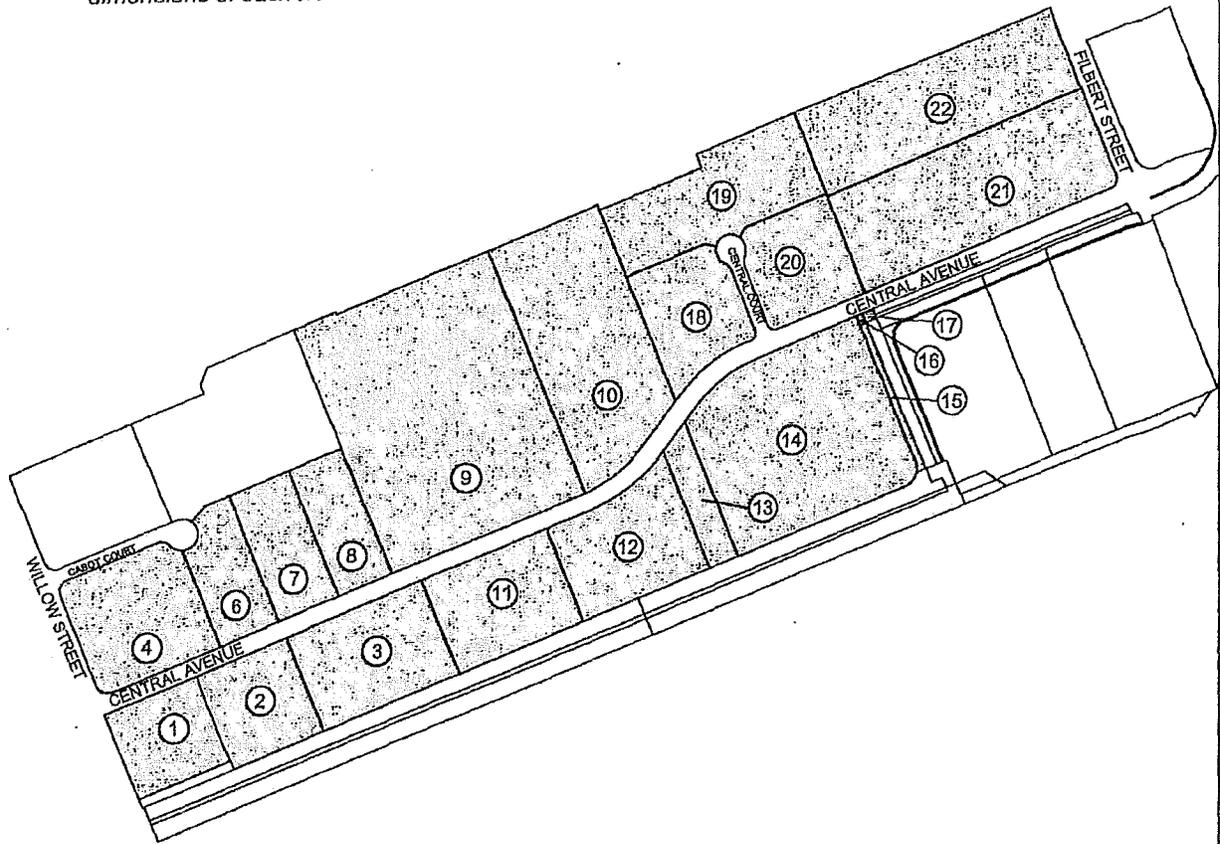
METHOD OF APPORTIONMENT OF ASSESSMENT

The method of spreading assessments, including incidental expenses, is in proper proportion to the benefits received on a front footage basis to lots fronting on Central Avenue between Filbert and Willow Streets.

KEY

L&L Parcel No. ①

Refer to the Alameda County
Assessor's Books for the actual
dimensions of each lot



ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 1
CENTRAL AVENUE



CITY OF NEWARK
ENGINEERING DIVISION

Scale: 1"=600'
Page 1 of 2



Description of Work

Maintenance and operation of 10 median island and buffer landscaping including the entrance features at both ends of the business park, and 2) maintenance and operation of the associated landscape irrigation system, and 3) the maintenance and operation of the median island lighting system including operating costs, and power and water costs.

L&L Parcel	Assessor's Parcel
1	92-116-35-1
2	92-116-80
3	92-116-55
4	92-116-66
6	92-116-50 (Por)
7	92-116-64 (Por)
8	92-116-65 (Por)
9	92-116-48
10	92-116-49
11	92-116-56
12	92-116-57
13	92-252-12
14	92-252-11
15	92-252-10
16	92-252-8
17	92-252-7
18	92-251-12
19	92-251-13 (Por)
20	92-251-14
21	92-252-15
22	92-252-2 (Por)

**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 1
CENTRAL AVENUE**



E.2 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 2 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 2. This district provides for the maintenance of median and in-tract buffer landscaping on Jarvis Avenue adjacent to and within the boundaries of Tract 5232, Dumbarton Technology Park, on Jarvis Avenue at Lido Boulevard, as well as the Newark Boulevard medians fronting the Raley’s and Safeway shopping centers. An annual public hearing is necessary to adopt the Engineer’s Report to provide funds for this district.

The total assessment for this district as provided in the Engineer’s Report is \$26,700 for the 2018-2019 fiscal year.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 2 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 2
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 2, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 2

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 2
CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 2, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of Jarvis Avenue median-island and in-tract buffer landscaping and landscape irrigation system, and lighting adjacent to and within the boundaries of Tract 5232 and the Dumbarton Industrial Park. Costs shall include all maintenance and operation cost including normal upkeep, operating expenses, management expenses, replanting costs, and power costs.
- b. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and easement areas adjacent to the public right-of-way on Dumbarton Court, Jarvis Avenue and Newark Boulevard and the 10-foot wide landscape easement in lots 6 and 7 of Tract 5232 adjoining the property within Parcel Map 5618.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

**LANDSCAPING AND LIGHTING DISTRICT NO. 2
2018-19 FISCAL YEAR**

Dumbarton Industrial Park (Tract 5232)
Raley's Shopping Center
Safeway/Orchard Supply Shopping Center

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$155,932
- Unencumbered Anticipated Expenses this Fiscal Year	
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
Utility Costs - Water/Electricity	\$0
Administration Costs	\$0
Ala. Cty. Collection Costs	
- Tree Replacement Fund	(\$25,000)
- Less Reserve Fund	(\$20,000)
Total Carryover/deficit:	\$110,932

	<u>2017-18 Budgeted</u>	<u>2017-18 Estimated</u>	<u>2018-19 Proposed</u>
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractural Maintenance Costs	2,411	1,720	6,000
- Communications	0	0	0
- Tree Pruning	14,900	0	15,000
- Irrigation Costs/Water/PG&E	4,500	2,200	4,500
- Irrigation Sprinkler Repairs	8,500	0	8,500
- Planting Replacement	78,000	0	91,000
- Bid Advertisement	0	0	0
Subtotal	\$108,311	\$3,920	\$125,000
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Review Consultant	150	150	150
Subtotal	\$150	\$150	\$150
Subtotal	\$108,461	\$4,070	\$125,150
Carryover/deficit			\$110,932
Subtotal			\$14,218

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)? N

INCIDENTAL EXPENSES

- Contract Administration (10%)	0
- Inspection (8%)	10,012
- PS&E for bid (8%)	0
- Assessment Engineering	2,000

Subtotal \$12,012

TOTAL ANNUAL COST \$26,230

COLLECTION CHARGES

- Alameda County Collection Charges (Collection Percentage)	1.70%	446
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TOTAL AMOUNT TO BE ASSESSED \$26,676

TOTAL AMOUNT TO BE ASSESSED (ROUNDED) \$26,700

EXHIBIT C - ASSESSMENT ROLL

LANDSCAPING AND LIGHTING DISTRICT NO. 2

2018-19 FISCAL YEAR

Dumbarton Industrial Park (Tract 5232)

Raley's Shopping Center

Safeway/Orchard Supply Shopping Center

L&L Parcel	Assessor's Parcel	Maximum Allowable Assessment	Total w/o Collection Charge	Collection Charge	Total Assessment
1	537-521-38	20,454.92	14,069.81	239.19	14,309.00
3	537-521-39	3,296.33	2,267.45	38.55	2,306.00
4	537-855-22	3,150.00	2,256.64	38.36	2,295.00
5	537-521-14	2,256.25	1,615.54	27.46	1,643.00
6	537-521-15	272.50	194.69	3.31	198.00
7	537-521-46	77.50	56.05	0.95	57.00
8	537-521-45	1,204.50	730.58	12.42	743.00
9	537-521-47	492.00	298.92	5.08	304.00
10	537-521-48	300.00	191.74	3.26	195.00
12	537-521-37	1,716.25	806.29	13.71	820.00
13	537-521-36	1,322.50	620.45	10.55	631.00
14	537-521-23-2	51.25	24.58	0.42	25.00
15	537-521-24-2	150.00	54.08	0.92	55.00
16	537-521-25	206.25	97.35	1.65	99.00
17	537-521-26	81.25	37.36	0.64	38.00
18	537-521-27	152.50	71.78	1.22	73.00
19	537-521-28	163.75	76.70	1.30	78.00
20	92A-2596-1	216.25	131.76	2.24	134.00
21	92A-2596-2	71.25	43.26	0.74	44.00
22	92A-2596-3	125.00	75.71	1.29	77.00
23	92A-2596-4	1,292.50	783.68	13.32	797.00
24	92A-2596-5	120.00	72.76	1.24	74.00
25	92A-2596-6	130.00	81.61	1.39	83.00
26	92A-2596-7	107.50	64.90	1.10	66.00
27	92A-2596-8	326.25	198.62	3.38	202.00
28	92A-2596-9	1,290.00	782.69	13.31	796.00
29	92A-2596-10	612.50	370.70	6.30	377.00
30	92A-2596-11	262.50	158.31	2.69	161.00
Totals			26,234.02	445.98	26,680.00

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 2

METHOD OF APPORTIONMENT OF ASSESSMENT

The proposed method of spreading assessments uses area to distribute costs in the proper proportion to benefits received.

Costs of the project for Jarvis Avenue west of Dumbarton Court and for Dumbarton Court, including proportional incidental expenses, will be spread on the basis of area to lots which front on Jarvis Avenue and Dumbarton Court. Costs incurred in conjunction with improvements on Jarvis Avenue east of Dumbarton Court and on Newark Boulevard, including proportional incidental expenses, will initially be charged to properties which front on this portion of Jarvis Avenue and on Newark Boulevard on the basis of area; after construction of buildings, these costs will be prorated on the basis the gross square footage of the building on the parcel to the total gross square footage of all of the buildings in the shopping center, with costs for vacant parcels based on the maximum building size permitted on the parcel.

Description of Work

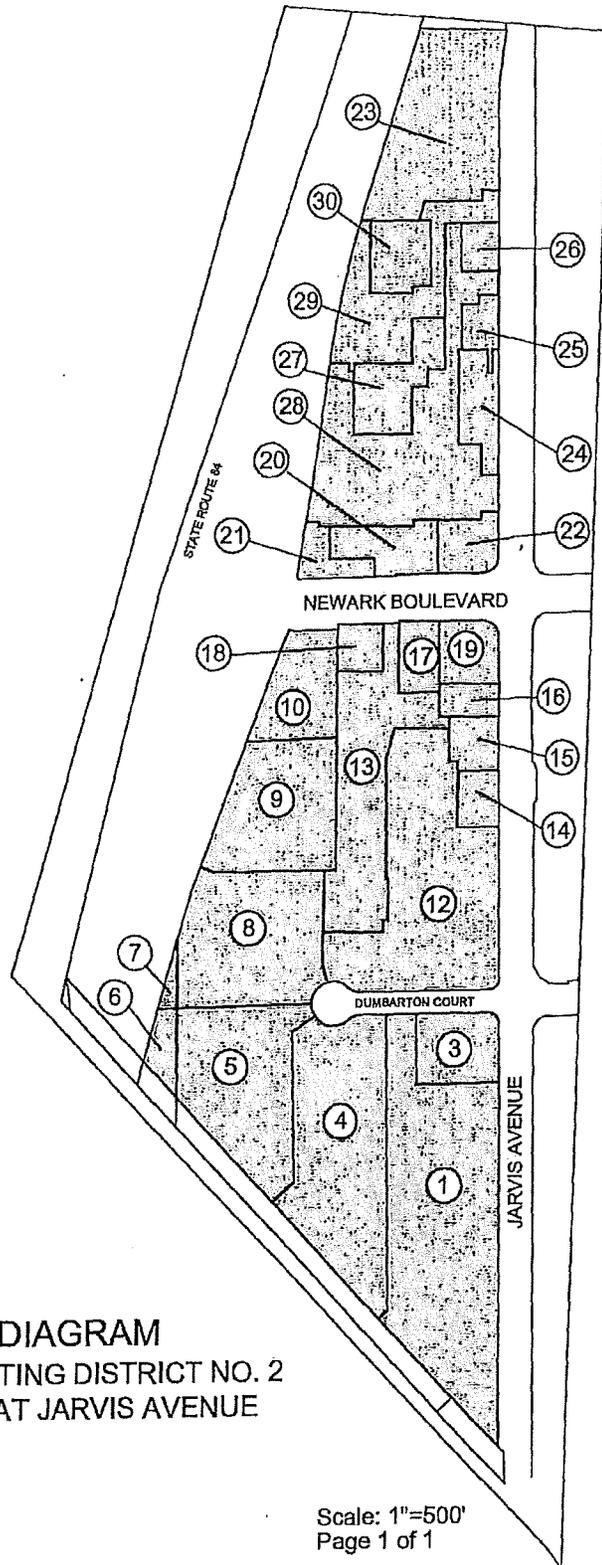
The maintenance of buffer landscaping and median landscaping (including irrigation systems) on Newark Boulevard and Jarvis Avenue fronting the district. Buffer landscaping maintenance is accomplished by the adjacent property owners while maintenance of median landscaping is accomplished under contract. Work includes maintenance of art elements.

L&L Parcel	Assessor's Parcel
1	537-521-38
3	537-521-39
4	537-855-22
5	537-521-14
6	537-521-15
7	537-521-46
8	537-521-45
9	537-521-47
10	537-521-48
12	537-521-37
13	537-521-36
14	537-521-23-2
15	537-521-24-2
16	537-521-25
17	537-521-26
18	537-521-27
19	537-521-28
20	92A-2596-1
21	92A-2596-2
22	92A-2596-3
23	92A-2596-4
24	92A-2596-5
25	92A-2596-6
26	92A-2596-7
27	92A-2596-8
28	92A-2596-9
29	92A-2596-10
30	92A-2596-11

KEY

L&L Parcel No. (1)

Refer to the Alameda County Assessor's Books for the actual dimensions of each lot



**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 2
NEWARK BOULEVARD AT JARVIS AVENUE**

E.3 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 4 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 4. This district provides for the maintenance of median landscaping on Stevenson Boulevard from the Nimitz Freeway to Eureka Drive (west) and on Cherry Street between Stevenson Boulevard and the Sportsfield Park. An annual public hearing is necessary to adopt the Engineer’s Report to provide funds for this district.

The total assessment for this district as provided in the Engineer’s Report is \$48,100 for the 2018-2019 fiscal year.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 4 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 4
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 4, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 4

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 4
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 4, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of Stevenson Boulevard median-island landscaping from the Nimitz Freeway to Cherry Street.
- b. The maintenance of median-island and up to 50 feet of green belt landscaping and street lighting adjacent to Cherry Street and the interior loop street within the boundaries of New Technology Park.
- c. The maintenance of landscaping across the Newark Unified School District parcel on Cherry Street.
- d. Costs to be assessed to properties within this Landscaping and Lighting District No. 4 shall include all maintenance and operation costs including normal upkeep, operating expenses, management expenses, replanting costs, and power costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
PART B - An estimate of the cost of improvement.
PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
PART D - Rules for spreading the assessment among the benefited parcels of land.
PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

**LANDSCAPING AND LIGHTING DISTRICT NO. 4
2018-19 FISCAL YEAR**

CHERRY STREET, STEVENSON BLVD. - New Technology Park
STEVENSON BLVD. (WEST OF CHERRY) - Stevenson Point Techpark

EXHIBIT B - ANNUAL BUDGET

	Cherry and East	West of Cherry	Total
CASH BALANCE CALCULATION			
- Cash Balance	\$331,107	\$110,369	\$441,476
- Unencumbered Anticipated Expenses this Fiscal Year			
Other Contractual Costs	\$0	\$0	\$0
Extra Work (Contractor)	\$0	\$110	\$110
Extra Work (City Forces)	\$0	\$720	\$720
Tree Pruning	\$500	\$0	\$500
Utility Costs - Water/Electricity	\$0	\$0	\$0
Administration Costs	\$900	\$900	\$1,800
Ala. Cty. Collection Costs	\$0	\$0	\$0
- Tree Replacement Fund	(\$52,500)	(\$17,500)	(\$70,000)
- Less Reserve Fund	(\$30,000)	(\$10,000)	(\$40,000)
Total Carryover/deficit:	\$247,207	\$81,139	\$328,346
	2017-18 Budgeted	2017-18 Estimated	2018-19 Proposed
LANDSCAPE & IRRIGATION SYSTEM COSTS			
<i>New Technology Park - Cherry Street and Stevenson Boulevard (East of Cherry St.)</i>			
- Contractual Maintenance Costs	700	460	1,500
- Sweeping	2,250	2,250	2,250
- Utility Costs - Water/Electricity	2,100	1,225	2,100
- Irrigation Repairs	11,100	200	11,100
- Planting Replacement	89,400	500	121,000
Subtotal	\$105,550	\$4,635	\$137,950
<i>Stevenson Point TechPark - Stevenson Boulevard (West of Cherry St.)</i>			
- Contractual Maintenance Costs	225	100	1,200
- Sweeping	750	750	750
- Utility Costs - Water/Electricity	2,100	446	2,100
- Irrigation Repairs	4,100	110	4,100
- Planting Replacement	25,375	0	41,550
Subtotal	\$32,550		\$49,700
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Consultant Review	150	150	150
Subtotal	150	150	150
Subtotal	\$138,250	\$4,785	\$187,800
Carryover/deficit			\$328,346
Subtotal			(\$140,546)

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)? N

INCIDENTAL EXPENSES

- Contract Administration (10%)	0
- Inspection (8%)	15,024
- PS&E for bids (8%)	0
- Assessment Engineering	0

Subtotal \$15,024

TOTAL ANNUAL COST \$47,254

Carryover to Use (\$804)

NEW COST TO PROPERTY OWNERS \$46,450

COLLECTION CHARGES

- Alameda County Collection Charges (Collection Percentage)	1.70%	\$804
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TOTAL AMOUNT TO BE ASSESSED \$48,058

New Technology Park - Amount to be Assessed \$36,063

Stevenson Point Techpark - Amount to be Assessed \$12,037

TOTAL AMOUNT TO BE ASSESSED (ROUNDED) \$48,100

**LANDSCAPING AND LIGHTING DISTRICT NO. 4
2018-19 FISCAL YEAR**

CHERRY STREET, STEVENSON BLVD. - New Technology Park
STEVENSON BLVD. (WEST OF CHERRY) - Stevenson Point Techpark

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	Area	% Total Area	Total w/o Collection Charge	Collection Charge	Total Assessment
<i>New Technology Park (Cherry Street and Stevenson Boulevard east of Cherry)</i>						
1	901-110-68	6.97	3.73%	1,324.48	22.52	1,347.00
2	901-110-69	1.78	0.95%	338.25	5.75	344.00
5	901-185-12	0.00	0.00%	0.00	0.00	0.00
6	901-185-13-8	80.13	42.93%	15,222.22	258.78	15,481.00
7	901-185-14	1.41	0.76%	267.45	4.55	272.00
T8270-1	901-200-19	15.77	8.45%	2,996.07	50.93	3,047.00
T8270-2	901-200-21	14.09	7.55%	2,676.50	45.50	2,722.00
T8270-3	901-200-22	8.10	4.34%	1,538.84	26.16	1,565.00
T8270-4	901-200-25	14.54	7.79%	2,762.05	46.95	2,809.00
T8270-5	901-200-26	3.88	2.08%	736.48	12.52	749.00
29	901-185-39	0.80	0.43%	152.41	2.59	155.00
13	901-185-40	4.03	2.16%	765.98	13.02	779.00
14	901-185-41	5.80	3.11%	1,101.28	18.72	1,120.00
15	901-185-42	8.74	4.68%	1,659.78	28.22	1,688.00
16	901-185-33	13.45	7.21%	2,554.57	43.43	2,598.00
17	901-185-43	7.18	3.85%	1,363.82	23.18	1,387.00
	Sub-Total	186.67	100.00%	\$35,460.18	\$602.82	\$36,063.00
<i>Stevenson Point Techpark (Stevenson Boulevard west of Cherry Street)</i>						
29	901-185-39	0.80	0.86%	102.26	1.74	104.00
13	901-185-40	4.03	4.35%	515.24	8.76	524.00
14	901-185-41	5.80	6.26%	741.40	12.60	754.00
15	901-185-42	8.74	9.44%	1,117.01	18.99	1,136.00
16	901-185-33	13.45	14.53%	1,719.76	29.24	1,749.00
17	901-185-43	7.18	7.75%	917.40	15.60	933.00
18	901-185-44	6.03	6.51%	770.89	13.11	784.00
19	901-185-51	3.67	3.96%	469.03	7.97	477.00
20	901-185-52	4.86	5.25%	621.44	10.56	632.00
21	901-185-53	3.78	4.08%	482.79	8.21	491.00
22	901-185-54	3.93	4.24%	501.47	8.53	510.00
23	901-185-55	4.03	4.35%	514.26	8.74	523.00
24	901-185-56	2.88	3.11%	367.75	6.25	374.00
25	901-185-57	0.79	0.85%	101.28	1.72	103.00
26	901-185-58	3.72	4.02%	475.91	8.09	484.00
27	901-185-59-2	3.90	4.21%	498.53	8.47	507.00
28	901-185-60-1	2.71	2.92%	346.12	5.88	352.00
30	901-185-49	12.31	13.29%	1,573.25	26.75	1,600.00
31	901-185-50	0.00	0.00%	0.00	0.00	0.00
	Sub-Total	92.60	100.00%	\$11,835.79	201.21	\$12,037.00
	Total	279.3		\$47,295.97	\$804.03	\$48,100.00

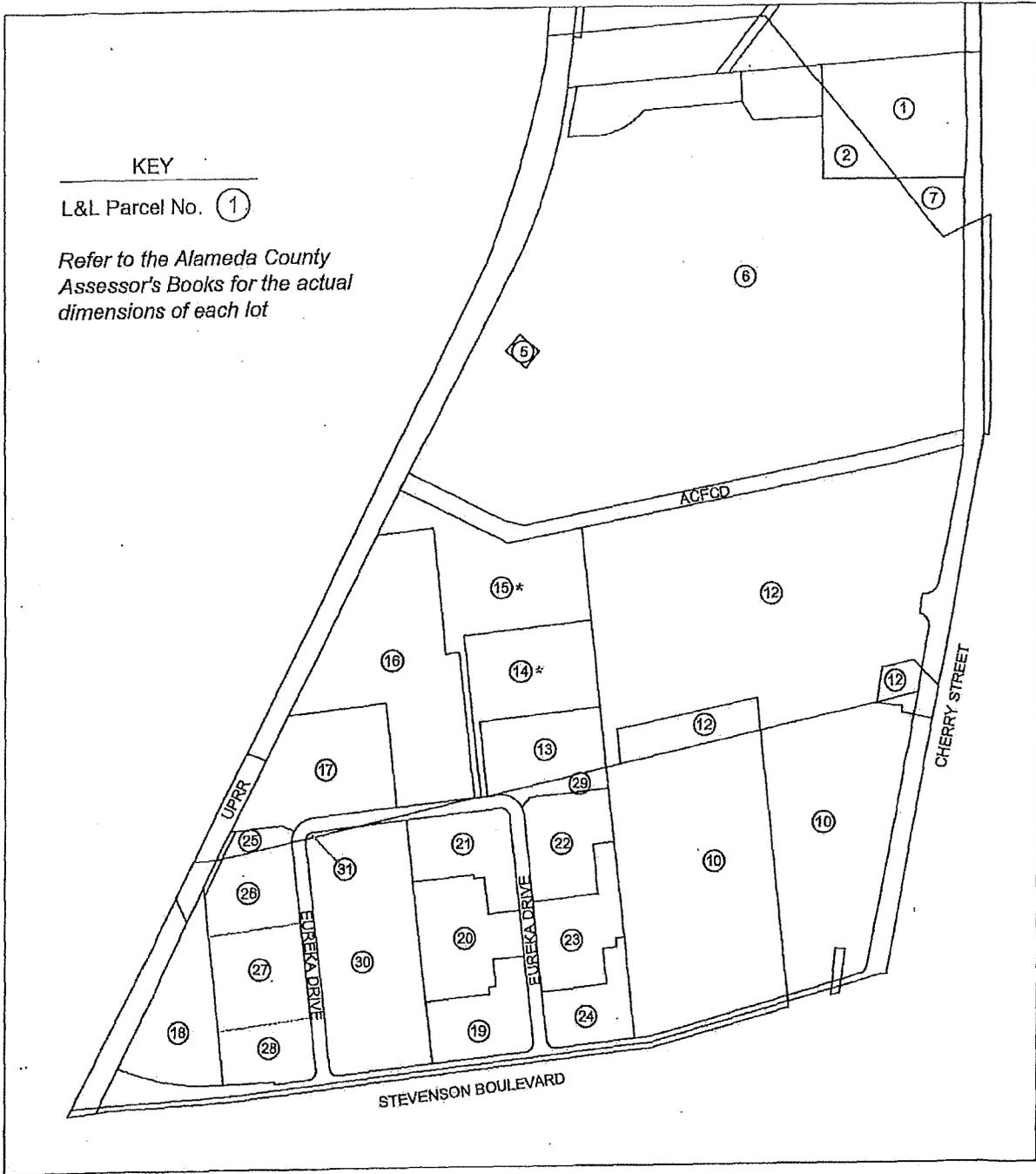
PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 4

METHOD OF APPORTIONMENT OF ASSESSMENT

The proposed method of spreading assessments uses area to distribute costs in the proper proportion to benefits received.

The total costs of the project, including incidental expenses, will be spread on an acreage basis to lots within the district boundaries.



ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 4
CHERRY STREET AND STEVENSON BOULEVARD
NEW TECHNOLOGY PARK
AND STEVENSON POINT TECHPARK



CITY OF NEWARK
 ENGINEERING DIVISION

Scale: None
 Page 1 of 2



Description of Work

The maintenance of 1) median landscaping and irrigation system on Stevenson Boulevard between the Nimitz Freeway to the railroad tracks west of Cherry Street, and 2) median landscaping and the irrigation system and up to 50' of greenbelt on Cherry Street, and 3) maintenance of landscaping installed across the frontage of Newark Memorial High School. All median maintenance is performed under contract; all other maintenance is performed by the adjacent property owners.

L&L Parcel	Assessor's Parcel
<i>New Technology Park</i>	
1	901-110-68
2	901-110-69
5	901-185-12
6	901-185-13-7
7	901-185-14
10	901-185-23
12	901-185-18
29	901-185-39
13	901-185-40
14	901-185-41
15	901-185-42
16	901-185-33
17	901-195-43
<i>Stevenson Point Techpark</i>	
29	901-185-39
13	901-185-40
14	901-185-41
15	901-185-42
16	901-185-33
17	901-185-43
18	901-185-44
19	901-185-51
20	901-185-52
21	901-185-53
22	901-185-54
23	901-185-55
24	901-185-56
25	901-185-57
26	901-185-58
27	901-185-59-2
28	901-185-60-1
30	901-185-49
31	901-185-50

ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 4
CHERRY STREET AND STEVENSON BOULEVARD
NEW TECHNOLOGY PARK
AND STEVENSON POINT TECHPARK



E.4 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 6 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 6. This district provides for the maintenance of median and greenbelt landscaping and the irrigation systems in the area formerly known as Redevelopment Area No. 2. The area is the property generally bounded by Balentine Drive, Cedar Boulevard, Stevenson Boulevard, and the Nimitz Freeway.

This district is currently inactive. All property owners in this district will receive a “zero” assessment for 2018-2019.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 6 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 6

(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 6, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 6

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 6
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 6, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of street lighting and landscaping within the public right-of-way and landscape irrigation systems within easement areas. Costs shall include all maintenance and operation costs including normal upkeep, operating expenses, management expenses, replacement and replanting costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

**LANDSCAPING AND LIGHTING DISTRICT NO. 6
2018-19 FISCAL YEAR**

REDEVELOPMENT AREA NO. 2 - Cedar Blvd., Stevenson Blvd.,
Balentine Drive and Joaquin Murieta Avenue

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	(\$32,164)
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$0
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
Tree Pruning	\$0
Utility Costs - Water/Electricity	\$0
Administration Costs	\$0
Ala. Cty. Collection Costs	\$0
- Less Reserve Fund	\$0
	\$0
Total Carryover/deficit:	(\$32,164)

	<u>2017-18 Budgeted</u>	<u>2017-18 Estimated</u>	<u>2018-19 Proposed</u>
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractual Maintenance Costs	0	805	0
- Sweeping	0	0	0
- Utility Costs - Water/Electricity	0	1,150	0
- Irrigation Repairs	0	0	0
- Annual Tree Pruning	0	0	0
- Planting Replacement	0	0	0
- Bid Advertisement	0	0	0
Subtotal	\$0	\$1,955	\$0
OTHER COSTS			
- Contingencies	0	0	0
- Computer tape for Alameda County	0	0	0
Subtotal	\$0	\$0	\$0
Subtotal	\$0	\$1,955	\$0
Carryover/deficit			(\$32,164)
Subtotal			\$32,164

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)?	N	
Inspection to be provided (Y/N)?	Y	
New Plans and specifications needed (Y/N)?	N	
Existing PS&E to be used (Y/N)?	Y	
Special Conditions:		
Contract costs previously deducted (Y/N)?	Y	
Rounded Administration Fee		0

INCIDENTAL EXPENSES

- Contract Administration (10%)		0
- Inspection (4%)		0
- Design, Engineering for bids (10%)		0
- Use of existing plans (4%)		0
- Assessment Engineering		0
	Subtotal	\$0
	TOTAL ANNUAL COST	\$32,164

COLLECTION CHARGES

- Alameda County Collection Charges		547
(Collection Percentage)	1.70%	
	TOTAL AMOUNT TO BE ASSESSED	\$0
	TOTAL AMOUNT TO BE ASSESSED (ROUNDED)	\$0

**LANDSCAPING AND LIGHTING DISTRICT NO. 6
2018-19 FISCAL YEAR**

REDEVELOPMENT AREA NO. 2 - Cedar Blvd., Stevenson Blvd.,

Note: All costs associated with this district at this time are for median landscaping on Cedar Boulevard and are therefore charged only to parcels with frontage on Cedar Boulevard and at Balentine Dr at Stevenson Blvd. on the basis of frontage

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	Cedar Blvd. Frontage	% Total Frontage	Total w/o Collection Charge	Collection Charge	Total Assessment
1	901-194-3					
2	901-194-4-3					
3	901-194-5					
4	901-195-1					
5	901-195-2					
6	901-195-3					
7	901-195-33					
8	901-195-32					
9	901-195-31					
10	901-195-6	221	9.71%	0.00	0.00	0.00
11	901-195-34	534	23.46%	0.00	0.00	0.00
12	901-195-37	163	7.16%	0.00	0.00	0.00
13	901-195-39	516	22.67%	0.00	0.00	0.00
14	901-195-10					
15	901-195-29					
16	901-195-15					
17	901-195-18					
18	901-195-19					
19	901-195-20					
20	901-195-22					
21	901-195-30					
22	901-195-27					
23	901-195-28					
24	901-197-1					
25	901-197-2					
26	901-197-3					
27	901-197-4					
28	901-197-5-1	24	1.05%	0.00	0.00	0.00
29	901-197-5-2	252	11.07%	0.00	0.00	0.00
30	901-197-6-1					
31	901-197-6-2	271	11.91%	0.00	0.00	0.00
32	901-197-7	135	5.93%	0.00	0.00	0.00
33	901-197-10					
34	901-197-11					
35	901-197-12					
36	901-197-13					
37	901-195-38	160	7.03%	0.00	0.00	0.00
	Totals	2,276	100.00%	\$0.00	\$0.00	\$0.00

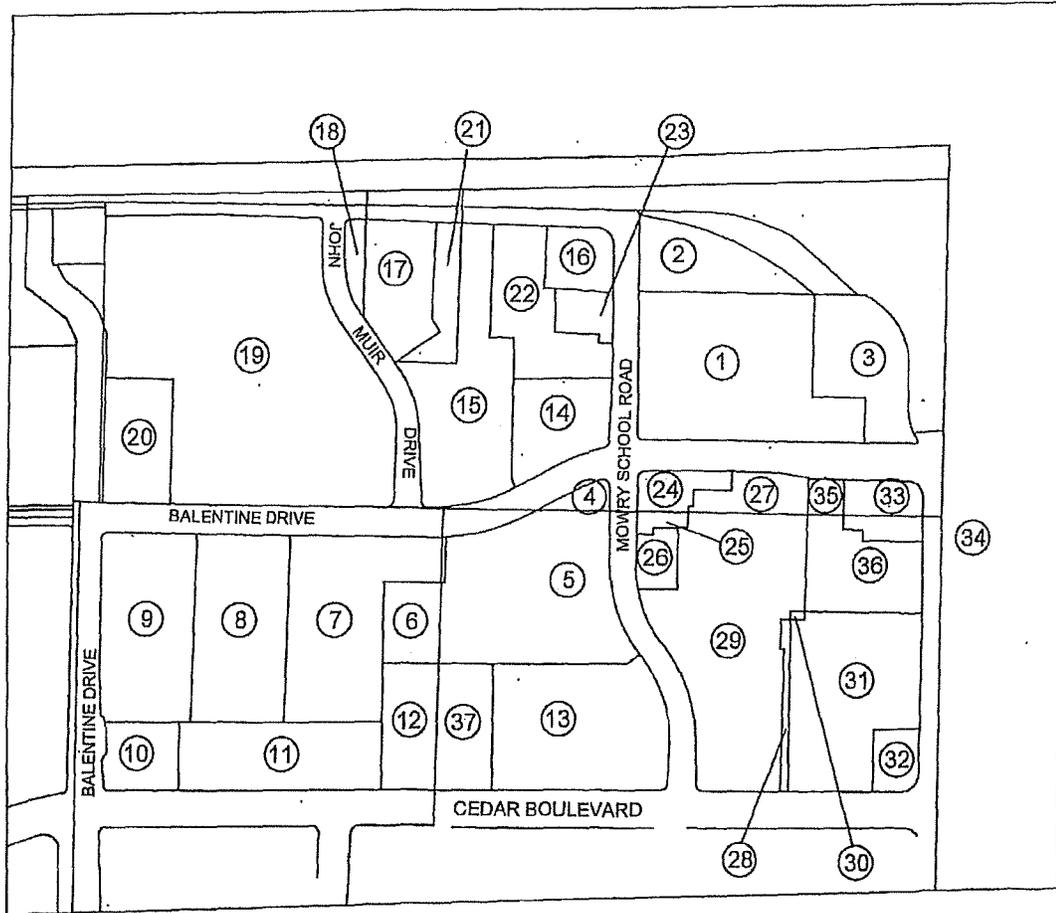
PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 6

METHOD OF APPORTIONMENT OF ASSESSMENT

The proposed method of spreading assessments uses area to distribute costs in the proper proportion to benefits received.

The cost of maintaining medians on Cedar Boulevard are spread on the basis of frontage of those parcels fronting Cedar Boulevard. All other maintenance costs together with assessment engineering costs are spread on an acreage basis to all parcels within the district. Administration costs are spread on the basis of a percentage of maintenance costs.



KEY

L&L Parcel No. (1)

*Refer to the Alameda County
Assessor's Books for the actual
dimensions of each lot*

ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 6
CEDAR BOULEVARD, BALENTINE DRIVE, MOWRY
SCHOOL ROAD



CITY OF NEWARK
ENGINEERING DIVISION

Scale: 1"=500'
 Page 1 of 2

Description of Work

The maintenance of buffer landscaping and median landscaping and the irrigation systems within the public right-of-way and easement areas along the Cedar Boulevard, Balentine Drive, John Muir Drive, Mowry School Road, and Stevenson Boulevard frontages of the properties within the district. (Note that the maintenance of medians on Stevenson Boulevard is included in L&L No. 4 and not this district.) Also included in this district is maintenance of the art element at the corner of Stevenson Boulevard and Balentine Drive.

All frontage maintenance is accomplished by the property owners. All median maintenance is performed under contract.

L&L Parcel	Assessor's Parcel
1	901-194-3
2	901-194-4-3
3	901-194-5
4	901-194-1
5	901-195-2
6	901-195-3
7	901-195-33
8	901-195-32
9	901-195-31
10	901-195-6
11	901-195-34
12	901-195-37
13	901-195-39
14	901-195-10
15	901-195-29
16	901-195-15
17	901-195-18
18	901-195-19
19	901-195-20
20	901-195-22
21	901-195-30
22	901-195-27
23	901-195-28
24	901-197-1
25	901-197-2
26	901-197-3
27	901-197-4
28	901-197-5-1
29	901-197-5-2
30	901-197-6-1
31	901-197-6-2
32	901-197-7
33	901-197-10
34	901-197-11
35	901-197-12
36	901-197-13
37	901-195-38

**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 6
CEDAR BOULEVARD, BALENTINE DRIVE, MOWRY
SCHOOL ROAD**



E.5 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 7 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 7. This district provides for the maintenance of Rosemont Square Shopping Center buffer landscaping and the landscape irrigation system within the public right-of-way and easement areas on Jarvis Avenue, Newark Boulevard, and Cedar Boulevard.

The total assessment for this district as provided in the Engineer’s Report is \$25,600 for the 2018-2019 fiscal year.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 7 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 7

(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 7, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 7

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 7
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 7, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

The maintenance of Rosemont Square Shopping Center buffer landscaping and landscape irrigation system within public right-of-way and easement areas. Costs shall include all maintenance and operation costs including normal upkeep, operating expenses, management expenses, replanting costs, and power costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 7

2018-19 FISCAL YEAR

NEWARK BLVD. - Rosemont Square

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$19,104
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$0
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
Tree Pruning	\$0
Utility Costs - Water/Electricity	\$0
Administration Costs	\$0
Ala. Cty. Collection Costs	(\$340)
- Less Reserve Fund	(\$10,000)
Total Carryover/deficit:	\$8,764

	<u>2017-18 Budgeted</u>	<u>2017-18 Estimated</u>	<u>2018-19 Proposed</u>
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractual Maintenance Costs	7,000	7,922	8,000
- Sweeping	1,000	1,000	1,000
- Utility Costs - Water/Electricity	8,000	16,340	16,000
- Irrigation Repairs	1,000	600	1,000
- Annual Tree Pruning	0	0	2,000
- Planting Replacement	0	0	1,400
- Bid Advertisement	0	0	0
Subtotal	\$17,000	\$25,862	\$29,400
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Consultant Review	150	150	150
Subtotal	\$150	\$150	\$150
Subtotal	\$17,150	\$26,012	\$29,550
Carryover/deficit			\$8,764
Subtotal			\$20,786

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)? N

INCIDENTAL EXPENSES

- Contract Administration (10%)	0
- Inspection (8%)	2,364
- Design, Engineering for bids (8%)	0
- Assessment Engineering	2,000
Subtotal	\$4,364

TOTAL ANNUAL COST \$25,150

SUBTOTAL 25,150.00

COLLECTION CHARGES

- Alameda County Collection Charges (Collection Percentage)	428
1.70%	

TOTAL AMOUNT TO BE ASSESSED \$25,578

TOTAL AMOUNT TO BE ASSESSED (ROUNDED) \$25,600

**LANDSCAPING AND LIGHTING DISTRICT NO. 7
2018-19 FISCAL YEAR**

NEWARK BLVD. - Rosemont Square

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	Building Area (SF)	% Total Area	Total w/o Collection Charge	Collection Charge	Total Assessment
1	92A-720-12	5,720	4.18%	1,052.00	17.88	1,069.88
2	92A-720-13	9,760	7.14%	1,795.00	30.52	1,825.52
3	92A-720-7	38,460	28.13%	7,074.00	120.26	7,194.26
4	92A-720-14	10,000	7.31%	1,839.00	31.26	1,870.26
5	92A-720-21	2,121	1.55%	390.00	6.63	396.63
6	92A-720-20	2,121	1.55%	390.00	6.63	396.63
7	92A-720-9	24,212	17.71%	4,453.00	75.70	4,528.70
8	92A-720-25	8,810	6.44%	1,620.00	27.54	1,647.54
9	92A-720-26	7,190	5.26%	1,322.00	22.47	1,344.47
10	92A-720-10	3,480	2.55%	640.00	10.88	650.88
11	92A-720-18	5,052	3.69%	929.00	15.79	944.79
12	92A-720-24	7,424	5.43%	1,366.00	23.22	1,389.22
13	92A-720-19	12,384	9.06%	2,278.00	38.73	2,316.73
Totals		136,734	100.00%	\$25,148.00	\$427.52	\$25,575.52

PART D

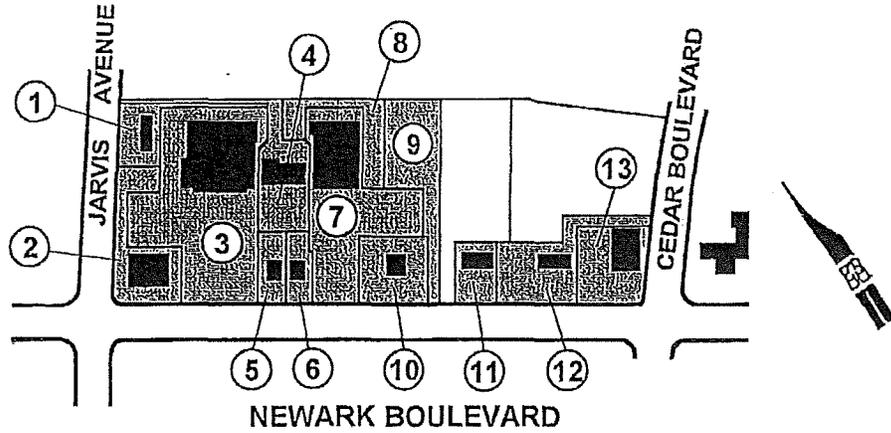
LANDSCAPING AND LIGHTING DISTRICT NO. 7

METHOD OF APPORTIONMENT OF ASSESSMENT

The total costs of the project, including incidental expenses, will be prorated on the gross square footage of the building on the parcel to the total gross square footage of all of the buildings in the shopping center. Costs for vacant parcels will be based on the maximum building size permitted on the parcel.

Description of Work

The maintenance of buffer landscaping and the irrigation system within the public right-of-way and easement areas along the Jarvis Avenue, Newark Boulevard, and Cedar Boulevard frontages of Rosement Shopping Center.



L&L Parcel	Assessor's Parcel
1	92A-720-12
2	92A-720-13
3	92A-720-7
4	92A-720-14
5	92A-720-21
6	92A-720-20
7	92A-720-9
8	92A-720-25
9	92A-720-26
10	92A-720-10
11	92A-720-18
12	92A-720-24
13	92A-720-19

KEY
 L&L Parcel No. ①

Refer to the Alameda County Assessor's Books for the actual dimensions of each lot

**ASSESSMENT DIAGRAM
 LANDSCAPING AND LIGHTING DISTRICT NO. 7
 NEWARK BOULEVARD AT JARVIS AVENUE**

 **CITY OF NEWARK
 DEVELOPMENT SERVICES**

Scale: 1"=500'
 Page 1 of 1

E.6 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 13 – from Assistant City Engineer Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 13. This district provides for the maintenance of landscaping within portions of the Citation Homes and Bren developments located on Thornton Avenue near Willow Street. An annual public hearing is necessary to adopt the Engineer’s Report to provide funds for this district.

Since this district performs its own maintenance of frontage landscaping, all property owners in this district will receive a “zero” assessment for 2018-2019.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 13 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 13
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 13, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 13

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 13
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 13, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. Maintenance of landscaping, landscape irrigation and lighting, within and adjacent to the right-of-ways of Thornton Avenue, Cedar Boulevard, Willow Street, Mahogany Place, Peachtree Avenue and Papaya Avenue including replacement and replanting costs, as well as landscaping, lighting, pathways, play areas and play equipment within the in-tract mini-parks.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

**LANDSCAPING AND LIGHTING DISTRICT NO. 13
2018-19 FISCAL YEAR**

CITATION HOMES - Cedar Boulevard at Willow Street
BREN HOMES - Thornton Avenue at Willow Street

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$3,462
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	0
Extra Work (Contractor)	0
Extra Work (City Forces)	0
PG&E	0
Water	0
Administration Costs	0
Ala. Cty. Collection Costs	0
- Less Reserve Fund	(\$3,462)
Total Carryover/deficit:	\$0

2017-18 Budgeted	2017-18 Estimated	2018-19 Proposed
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LANDSCAPE & IRRIGATION SYSTEM COSTS

- Contractual Maintenance Costs	0	0	0
- Sweeping	0	0	0
- Irrigation Costs/Water/PG&E	0	0	0
- Irrigation Sprinkler Repairs	0	0	0
- Planting Replacement	0	0	0
- Bid Advertisement	0	0	0
Subtotal	\$0	\$0	\$0

OTHER COSTS

- Contingencies	0	0	0
- Computer tape for Alameda County	0	0	0
Subtotal	\$0	\$0	\$0

Subtotal	\$0	\$0	\$0
Carryover/deficit			\$0
Subtotal			(\$0)

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)?	Y	
Contract costs previously deducted (Y/N)?	N	
Rounded Administration Fee		0

INCIDENTAL EXPENSES

- Contract Administration (10%)		0
- Inspection (8%)		0
- PS&E for bids (10%)		0
- Assessment Engineering		0
Subtotal		\$0
TOTAL ANNUAL COST		(\$0)

COLLECTION CHARGES

- Alameda County Collection Charges (Collection Percentage)	1.70%	0
TOTAL AMOUNT TO BE ASSESSED		(\$0)
TOTAL AMOUNT TO BE ASSESSED (ROUNDED)		\$0

**LANDSCAPING AND LIGHTING DISTRICT NO. 13
2018-19 FISCAL YEAR**

CITATION HOMES - Cedar Boulevard at Willow Street
BREN HOMES - Thornton Avenue at Willow Street

EXHIBIT C - ASSESSMENT ROLL

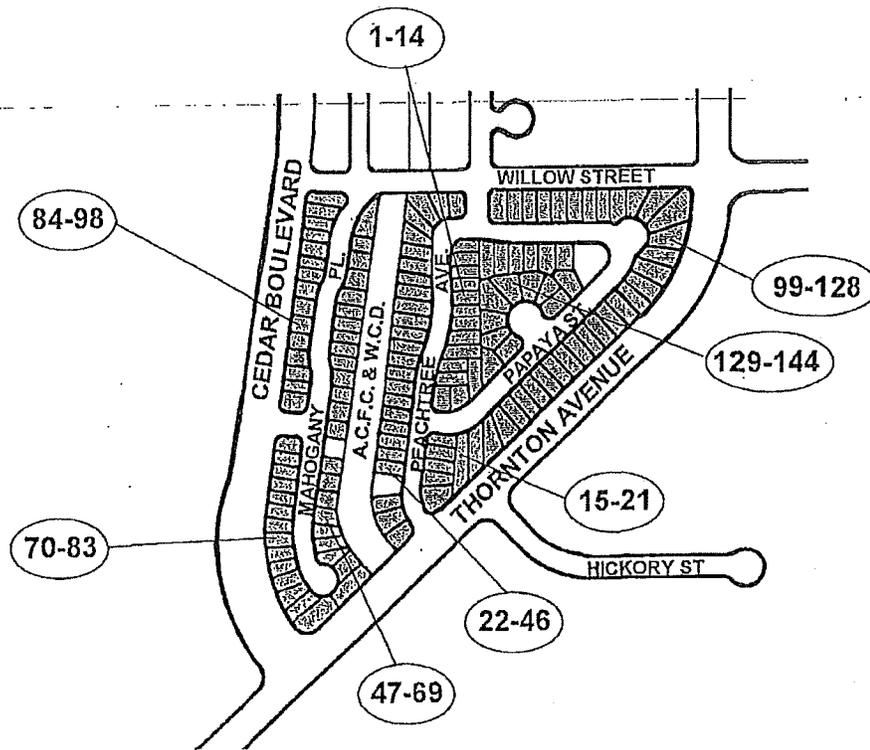
Assessment Amount per Parcel w/o Collection Charge -	\$0.00
Collection Charge per Parcel -	\$0.00
Total Assessment Amount per Parcel -	\$0.00
Total Number of Parcels -	107
Total w/o Collection Charge	\$0.00
Total Collection Charge -	\$0.00
Total Assessment Amount -	\$0.00

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 13

METHOD OF APPORTIONMENT OF ASSESSMENT

The total cost of the project, including incidental expenses, will be spread equally to each property in the district except common areas which will receive no assessment.



Description of Work

The maintenance of landscaping and the irrigation system within the public right-of-way and easement areas along the Thornton Avenue, Cedar Boulevard, Willow Street, Mahogany Place, Peachtree Avenue, Papaya Avenue plus maintenance of the mini-parks within these two subdivisions. Work within the medians along Thornton Avenue is performed under contract. All other maintenance is performed by the homeowners' associations.

KEY

L&L Parcel No. ①

Refer to the Alameda County Assessor's Books for the actual dimensions of each lot



**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 13
THORNTON AVENUE AT WILLOW STREET**

 **CITY OF NEWARK
DEVELOPMENT SERVICES**

Scale: 1"=500'
Page 1 of 2

L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
1	92A-451-6	41	92A-451-49	81	92A-451-91	121	92A-452-24
2	92A-451-7	42	92A-451-50	82	92A-451-92	122	92A-452-25
3	92A-451-8	43	92A-451-51	83	92A-451-93	123	92A-452-26
4	92A-451-9	44	92A-451-52	84	92A-451-94	124	92A-452-27
5	92A-451-10	45	92A-451-53	85	92A-451-95	125	92A-452-28
6	92A-451-11	46	92A-451-54	86	92A-451-96	126	92A-452-29
7	92A-451-12	47	92A-451-55	87	92A-451-97	127	92A-452-30
8	92A-451-13	48	92A-451-56	88	92A-451-98	128	92A-452-31
9	92A-451-14	49	92A-451-57	89	92A-451-99	129	92A-452-32
10	92A-451-15	50	92A-451-58	90	92A-451-100	130	92A-452-33
11	92A-451-16	51	92A-451-59	91	92A-451-101	131	92A-452-34
12	92A-451-17	52	92A-451-60	92	92A-451-102	132	92A-452-35
13	92A-451-18	53	92A-451-61	93	92A-451-103	133	92A-452-36
14	92A-451-19	54	92A-451-62	94	92A-451-104	134	92A-452-37
15	92A-451-20	55	92A-451-63	95	92A-451-105	135	92A-452-38
16	92A-451-21	56	92A-451-64	96	92A-451-106	136	92A-452-39
17	92A-451-22	57	92A-451-65	97	92A-451-107	137	92A-452-40
18	92A-451-23	58	92A-451-66	98	92A-451-108	138	92A-452-41
19	92A-451-24	59	92A-451-67	99	92A-452-2	139	92A-452-43
20	92A-451-25	60	92A-451-68	100	92A-452-3	140	92A-452-44
21	92A-451-26	61	92A-451-70	101	92A-452-4	141	92A-452-45
22	92A-451-29	62	92A-451-71	102	92A-452-5	142	92A-452-46
23	92A-451-30	63	92A-451-72	103	92A-452-6	143	92A-452-47
24	92A-451-31	64	92A-451-73	104	92A-452-7	144	92A-452-48
25	92A-451-33	65	92A-451-74	105	92A-452-8		
26	92A-451-34	66	92A-451-75	106	92A-452-9		
27	92A-451-35	67	92A-451-76	107	92A-452-10		
28	92A-451-36	68	92A-451-77	108	92A-452-11		
29	92A-451-37	69	92A-451-78	109	92A-452-12		
30	92A-451-38	70	92A-451-80	110	92A-452-13		
31	92A-451-39	71	92A-451-81	111	92A-452-14		
32	92A-451-40	72	92A-451-82	112	92A-452-15		
33	92A-451-41	73	92A-451-83	113	92A-452-16		
34	92A-451-42	74	92A-451-84	114	92A-452-17		
35	92A-451-43	75	92A-451-85	115	92A-452-18		
36	92A-451-44	76	92A-451-86	116	92A-452-19		
37	92A-451-45	77	92A-451-87	117	92A-452-20		
38	92A-451-46	78	92A-451-88	118	92A-452-21		
39	92A-451-47	79	92A-451-89	119	92A-452-22		
40	92A-451-48	80	92A-451-90	120	92A-452-23		

**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 13
THORNTON AVENUE AT WILLOW STREET**



**CITY OF NEWARK
DEVELOPMENT SERVICES**

E.7 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 15 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 15. This district provides for the maintenance of landscaping along Robertson Avenue at Iris Court. An annual public hearing is necessary to adopt the Engineer’s Report to provide funds for this district.

The total assessment for this district as provided in the Engineer’s Report is \$5,046 for the 2018-2019 fiscal year. The assessment per property is \$174.00.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 15 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 15
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 15, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 15

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 15
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 15, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of lighting within public right-of-way and landscaping and landscape irrigation system within easement areas adjacent to the public right-of-way on Robertson Avenue for Tract 5539.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 15
2018-19 FISCAL YEAR
 ROBERTSON AVENUE AT IRIS COURT

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$27,390
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$125
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
Tree Pruning	\$0
Utility Costs - Water/Electricity	\$80
Administration Costs	\$0
Ala. Cty. Collection Costs	\$0
- Less Reserve Fund	(\$10,000)
Total Carryover/deficit:	\$17,595

	<u>2017-18</u> <u>Budgeted</u>	<u>2017-18</u> <u>Estimated</u>	<u>2018-19</u> <u>Proposed</u>
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractual Maintenance Costs	700	400	2,000
- Sweeping	200	200	300
- Utility Costs - Water/Electricity	390	250	500
- Irrigation Repairs	450	0	500
- Annual Tree Pruning	2,000	0	2,278
- Planting Replacement	14,700	0	15,000
- Bid Advertisement	0	0	0
Subtotal	\$18,440	\$850	\$20,578
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Consultant Review	150	150	150
Subtotal	\$150	\$150	\$150
Subtotal	\$18,590	\$1,000	\$20,728
Carryover/deficit	(\$981)		\$17,595
Subtotal	\$19,571	\$1,000	\$3,133

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)? N

INCIDENTAL EXPENSES

- Contract Administration (10%)	0
- Inspection (8%)	829
- PS&E for bids (8%)	0
- Assessment Engineering	1,000

Subtotal \$1,829

TOTAL ANNUAL COST \$4,962

COLLECTION CHARGES

- Alameda County Collection Charges	84
(Collection Percentage) 1.70%	

TOTAL AMOUNT TO BE ASSESSED \$5,046

TOTAL AMOUNT TO BE ASSESSED (ROUNDED) \$5,000

LANDSCAPING AND LIGHTING DISTRICT NO. 15
2018-19 FISCAL YEAR
 ROBERTSON AVENUE AT IRIS COURT

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	Total w/o Collection Charge	Collection Charge	Total Assessment	
1	92A-2376-31	171.09	2.91	174.00	
2	92A-2376-32	171.09	2.91	174.00	
3	92A-2376-33	171.09	2.91	174.00	
4	92A-2376-34	171.09	2.91	174.00	
5	92A-2376-35	171.09	2.91	174.00	
6	92A-2376-36	171.09	2.91	174.00	
7	92A-2376-37	171.09	2.91	174.00	
8	92A-2376-38	171.09	2.91	174.00	
9	92A-2376-39	171.09	2.91	174.00	
10	92A-2376-40	171.09	2.91	174.00	
11	92A-2376-41	171.09	2.91	174.00	
12	92A-2376-42	171.09	2.91	174.00	
13	92A-2376-43	171.09	2.91	174.00	
14	92A-2376-44	171.09	2.91	174.00	
15	92A-2376-45	171.09	2.91	174.00	
16	92A-2376-46	171.09	2.91	174.00	
17	92A-2376-47	171.09	2.91	174.00	
18	92A-2376-48	171.09	2.91	174.00	
19	92A-2376-49	171.09	2.91	174.00	
20	92A-2376-50	171.09	2.91	174.00	
21	92A-2376-51	171.09	2.91	174.00	
22	92A-2376-52	171.09	2.91	174.00	
23	92A-2376-53	171.09	2.91	174.00	
24	92A-2376-54	171.09	2.91	174.00	
25	92A-2376-55	171.09	2.91	174.00	
26	92A-2376-56	171.09	2.91	174.00	
27	92A-2376-57	171.09	2.91	174.00	
28	92A-2376-58	171.09	2.91	174.00	
29	92A-2376-59	171.09	2.91	174.00	
Totals		0.00%	\$4,961.65	\$84.35	\$5,046.00

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 15

METHOD OF APPORTIONMENT OF ASSESSMENT

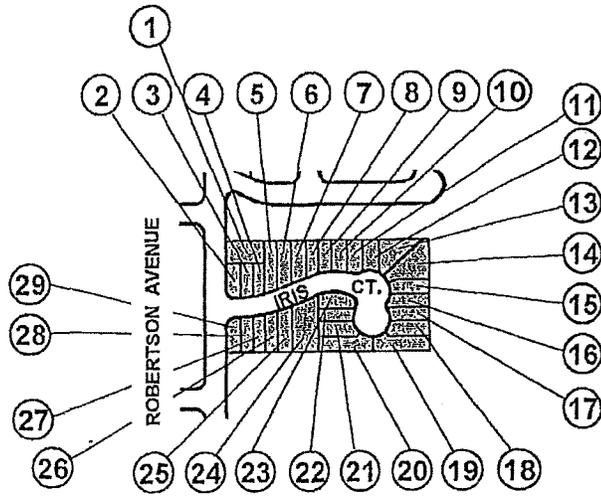
The total cost of the project, including incidental expenses, will be spread equally to each parcel in the district.

L&L Parcel	APN No.
1	92A-2376-31
2	92A-2376-32
3	92A-2376-33
4	92A-2376-34
5	92A-2376-35
6	92A-2376-36
7	92A-2376-37
8	92A-2376-38
9	92A-2376-39
10	92A-2376-40
11	92A-2376-41
12	92A-2376-42
13	92A-2376-43
14	92A-2376-44
15	92A-2376-45
16	92A-2376-46
17	92A-2376-47
18	92A-2376-48
19	92A-2376-49
20	92A-2376-50
21	92A-2376-51
22	92A-2376-52
23	92A-2376-53
24	92A-2376-54
25	92A-2376-55
26	92A-2376-56
27	92A-2376-57
28	92A-2376-58
29	92A-2376-59

KEY

L&L Parcel No. ①

Refer to the Alameda County Assessor's Books for the actual dimensions of each lot



BIRCH GROVE PARK

Description of Work

The maintenance of landscaping within easement areas and the public R/W along Robertson Avenue fronting this L&L district. All work is performed under contract.

**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 15
IRIS COURT**



**CITY OF NEWARK
DEVELOPMENT SERVICES**

Scale: 1"=500'
Page 1 of 1

E.8 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 16 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 16. This district provides for the maintenance of landscaping for Tract 6671 on Jarvis Avenue at Kiote Drive. An annual public hearing is necessary to adopt the Engineer’s Report to provide funds for this district.

The total assessment for this district as provided in the Engineer’s Report is \$19,900 for the 2018-2019 fiscal year. The assessment per property is \$210.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 16 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 16
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 16, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 16

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 16 CITY OF NEWARK, ALAMEDA COUNTY CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 16, City of Newark, Alameda County, California, makes this Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement along the street frontage of Kiote Drive in Tract 6671, and the landscaping, irrigation system, recreational facilities and the storm drainage pump station and filtration system for the mini-park common area shown on Parcel A.

Costs shall include all maintenance and operation costs, including normal upkeep, operating expenses, management expenses, replacement and replanting costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefitted parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefitted parcels of land.
- PART E - An assessment listing of each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 16
2018-19 FISCAL YEAR
 PULTE HOMES - Jarvis Avenue at Kiote Drive

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$70,548
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$400
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
PG&E	\$0
Water	\$2,500
Administration Costs	\$0
Ala. Cty. Collection Costs	\$0
- Tree Replacement Fund	(\$10,000)
- Less Reserve Fund	(\$20,000)
Total Carryover/deficit:	\$43,448

	<u>2017-18 Budgeted</u>	<u>2017-18 Estimated</u>	<u>2018-19 Proposed</u>
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractural Maintenance Costs - Landscaping	2,100	1,285	4,000
- Contractural Maintenance Costs - Storm Drain System	0	0	800
- Communication	0	0	0
- Annual Tree Pruning	8,000	0	8,000
- Irrigation Costs/Water/PG&E	6,500	6,220	6,500
- Irrigation Sprinkler Repairs	2,500	450	2,000
- Planting Replacement	34,250	0	35,000
- Bid Advertisement	0	0	0
Subtotal	\$53,350	\$7,955	\$56,300
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Consultant Review	150	150	150
Subtotal	\$150	\$150	\$150
Subtotal	\$53,500	\$8,105	\$56,450
Carryover/deficit	\$1,262	\$0	\$43,448
Subtotal	\$52,238	\$8,105	\$13,002

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)?	N	
Special Conditions:		
Contract costs previously deducted (Y/N)?	N	
Rounded Administration Fee		5,645

INCIDENTAL EXPENSES

- Contract Administration (10%)		0
- Inspection (8%)		4,516
- PS&E for bids (8%)		0
- Assessment Engineering		2,000
Subtotal		\$6,516
TOTAL ANNUAL COST		\$19,518

COLLECTION CHARGES

- Alameda County Collection Charges		332
(Collection Percentage)	1.70%	
TOTAL AMOUNT TO BE ASSESSED		\$19,850
TOTAL AMOUNT TO BE ASSESSED (ROUNDED)		\$19,900

LANDSCAPING AND LIGHTING DISTRICT NO. 16
2018-19 FISCAL YEAR
PULTE HOMES - Jarvis Avenue at Kiote Drive

EXHIBIT C - ASSESSMENT ROLL

Assessment Amount per Parcel w/o Collection Charge -	\$206.00
Collection Charge per Parcel -	\$3.50
Total Assessment Amount per Parcel -	\$209.50
Total Number of Parcels -	95
Total w/o Collection Charge	\$19,569.81
Total Collection Charge -	\$332.69
Total Assessment Amount -	\$19,902.50

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 16

METHOD OF APPORTIONMENT OF ASSESSMENT

The total cost of the project, including incidental expenses, will be spread evenly to each property in the district.

LANDSCAPING AND LIGHTING DISTRICT NO. 16
City of Newark
Alameda County, California

PART E - ASSESSMENT LISTING

ASSESS		ASSESS		ASSESS		ASSESS	
NO.	APN NO.	NO.	APN NO.	NO.	APN NO.	NO.	APN NO.
1	92A-2597-1	41	92A-2597-41	81	92A-2597-81		
2	92A-2597-2	42	92A-2597-42	82	92A-2597-82		
3	92A-2597-3	43	92A-2597-43	83	92A-2597-83		
4	92A-2597-4	44	92A-2597-44	84	92A-2597-84		
5	92A-2597-5	45	92A-2597-45	85	92A-2597-85		
6	92A-2597-6	46	92A-2597-46	86	92A-2597-86		
7	92A-2597-7	47	92A-2597-47	87	92A-2597-87		
8	92A-2597-8	48	92A-2597-48	88	92A-2597-88		
9	92A-2597-9	49	92A-2597-49	89	92A-2597-89		
10	92A-2597-10	50	92A-2597-50	90	92A-2597-90		
11	92A-2597-11	51	92A-2597-51	91	92A-2597-91		
12	92A-2597-12	52	92A-2597-52	92	92A-2597-92		
13	92A-2597-13	53	92A-2597-53	93	92A-2597-93		
14	92A-2597-14	54	92A-2597-54	94	92A-2597-94		
15	92A-2597-15	55	92A-2597-55	95	92A-2597-95		
16	92A-2597-16	56	92A-2597-56				
17	92A-2597-17	57	92A-2597-57				
18	92A-2597-18	58	92A-2597-58				
19	92A-2597-19	59	92A-2597-59				
20	92A-2597-20	60	92A-2597-60				
21	92A-2597-21	61	92A-2597-61				
22	92A-2597-22	62	92A-2597-62				
23	92A-2597-23	63	92A-2597-63				
24	92A-2597-24	64	92A-2597-64				
25	92A-2597-25	65	92A-2597-65				
26	92A-2597-26	66	92A-2597-66				
27	92A-2597-27	67	92A-2597-67				
28	92A-2597-28	68	92A-2597-68				
29	92A-2597-29	69	92A-2597-69				
30	92A-2597-30	70	92A-2597-70				
31	92A-2597-31	71	92A-2597-71				
32	92A-2597-32	72	92A-2597-72				
33	92A-2597-33	73	92A-2597-73				
34	92A-2597-34	74	92A-2597-74				
35	92A-2597-35	75	92A-2597-75				
36	92A-2597-36	76	92A-2597-76				
37	92A-2597-37	77	92A-2597-77				
38	92A-2597-38	78	92A-2597-78				
39	92A-2597-39	79	92A-2597-79				
40	92A-2597-40	80	92A-2597-80				

E.9 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 17 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 17. This district provides for the maintenance of landscaping for Tract 7004 on Newark Boulevard and Mayhews Landing Road. An annual public hearing is necessary to adopt the Engineer's Report to provide funds for this district.

The total assessment for this district as provided in the Engineer's Report is \$6,200 for the 2018-2019 fiscal year. The assessment per property is \$188.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 17 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 17
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 17, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 17

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the ____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 17
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 17, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of landscaping and the landscape irrigation system within the public right-of-way of the Newark Boulevard and Mayhews Landing Road frontages of Tract 7004.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 17

2018-19 FISCAL YEAR

TRACT 7004 - NEWARK BLVD. AND MAYHEWS LANDING RD.

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$11,304
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$0
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
Tree Pruning	\$0
Utility Costs - Water/Electricity	\$0
Administration Costs	\$0
Ala. Cty. Collection Costs	\$0
- Less Reserve Fund	(\$5,000)
Total Carryover/deficit:	\$6,304

LANDSCAPE & IRRIGATION SYSTEM COSTS

	<u>2017-18</u> <u>Budgeted</u>	<u>2017-18</u> <u>Estimated</u>	<u>2018-19</u> <u>Proposed</u>
- Contractual Maintenance Costs	2,100	1,520	2,400
- Sweeping	200	200	300
- Utility Costs - Water/Electricity	2,000	1,823	2,000
- Irrigation Repairs	500	0	500
- Annual Tree Pruning	500	0	700
- Planting Replacement	1,200	0	4,500
- Bid Advertisement	0		
Subtotal	\$6,500	\$3,543	\$10,400

OTHER COSTS

- Contingencies	0	0	0
- Assessment District Consultant Review	150	150	150
Subtotal	\$150	\$150	\$150
Subtotal	\$6,650	\$3,693	\$10,550
Carryover/deficit			\$6,304
Subtotal			\$4,246

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)? N

INCIDENTAL EXPENSES

- Contract Administration (10%)	0
- Inspection (8%)	844
- PS&E for bids (8%)	0
- Assessment Engineering	1,000

Subtotal \$1,844

TOTAL ANNUAL COST \$6,090

COLLECTION CHARGES

- Alameda County Collection Charges (Collection Percentage)	1.70%	104
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TOTAL AMOUNT TO BE ASSESSED \$6,194

TOTAL AMOUNT TO BE ASSESSED (ROUNDED) \$6,200

**LANDSCAPING AND LIGHTING DISTRICT NO. 17
2018-19 FISCAL YEAR**

TRACT 7004 - NEWARK BLVD. AND MAYHEWS LANDING RD.

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	Total w/o Collection Charge	Collection Charge	Total Assessment	
1	92A-623-89	184.86	3.14	188.00	
2	92A-623-90	184.86	3.14	188.00	
3	92A-623-91	184.86	3.14	188.00	
4	92A-623-92	184.86	3.14	188.00	
5	92A-623-93	184.86	3.14	188.00	
6	92A-623-94	184.86	3.14	188.00	
7	92A-623-95	184.86	3.14	188.00	
8	92A-623-96	184.86	3.14	188.00	
9	92A-623-97	184.86	3.14	188.00	
10	92A-623-98	184.86	3.14	188.00	
11	92A-623-99	184.86	3.14	188.00	
12	92A-623-100	184.86	3.14	188.00	
13	92A-623-101	184.86	3.14	188.00	
14	92A-623-102	184.86	3.14	188.00	
15	92A-623-103	184.86	3.14	188.00	
16	92A-623-104	184.86	3.14	188.00	
17	92A-623-105	184.86	3.14	188.00	
18	92A-623-106	184.86	3.14	188.00	
19	92A-623-107	184.86	3.14	188.00	
20	92A-623-108	184.86	3.14	188.00	
21	92A-623-109	184.86	3.14	188.00	
22	92A-623-110	184.86	3.14	188.00	
23	92A-623-111	184.86	3.14	188.00	
24	92A-623-112	184.86	3.14	188.00	
25	92A-623-113	184.86	3.14	188.00	
26	92A-623-114	184.86	3.14	188.00	
27	92A-623-115	184.86	3.14	188.00	
28	92A-623-116	184.86	3.14	188.00	
29	92A-623-117	184.86	3.14	188.00	
30	92A-623-118	184.86	3.14	188.00	
31	92A-623-119	184.86	3.14	188.00	
32	92A-623-120	184.86	3.14	188.00	
33	92A-623-121	184.86	3.14	188.00	
	Totals	0.00%	\$6,100.29	\$103.71	\$6,204.00

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 17

METHOD OF APPORTIONMENT OF ASSESSMENT

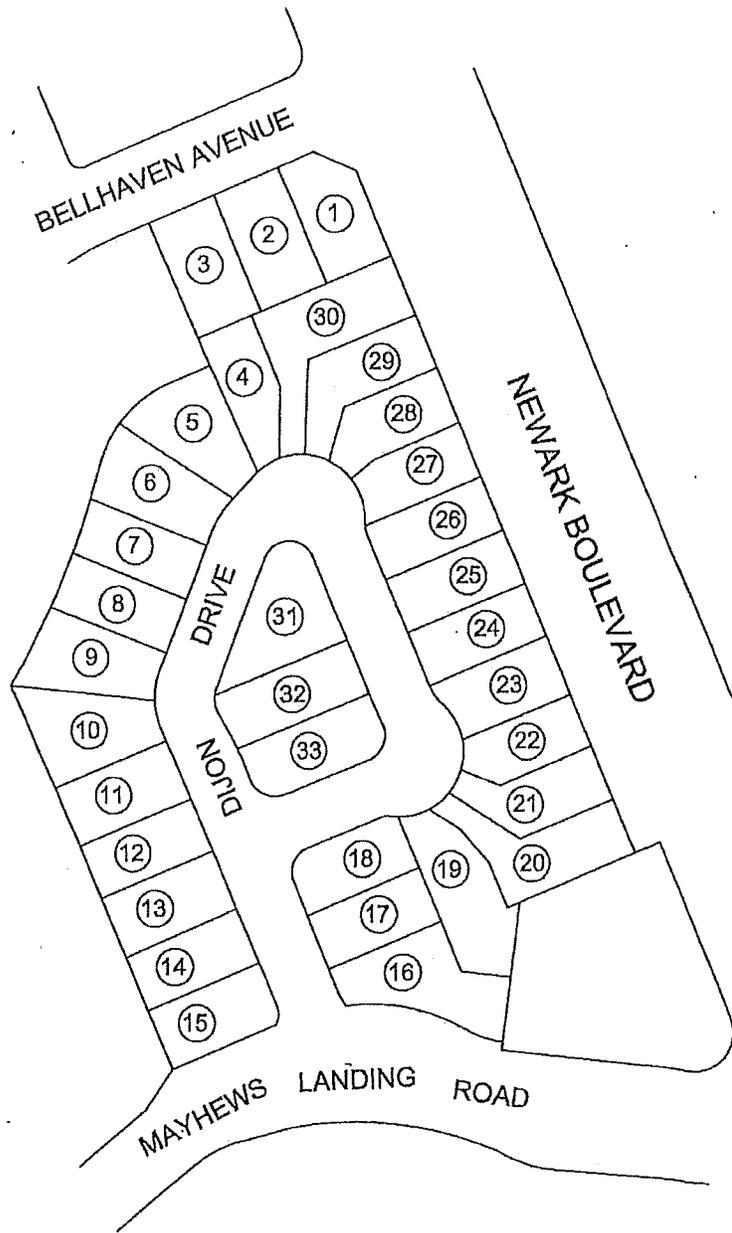
The total cost of the project, including incidental expenses, will be spread evenly to each property in the district.

KEY

L&L Parcel No. (1)

Refer to the Alameda County Assessor's Books for the actual dimensions of each lot

L&L Parcel	Assessor's Parcel
1	92A-623-089
2	92A-623-090
3	92A-623-091
4	92A-623-092
5	92A-623-093
6	92A-623-094
7	92A-623-095
8	92A-623-096
9	92A-623-097
10	92A-623-098
11	92A-623-099
12	92A-623-100
13	92A-623-101
14	92A-623-102
15	92A-623-103
16	92A-623-104
17	92A-623-105
18	92A-623-106
19	92A-623-107
20	92A-623-108
21	92A-623-109
22	92A-623-110
23	92A-623-111
24	92A-623-112
25	92A-623-113
26	92A-623-114
27	92A-623-115
28	92A-623-116
29	92A-623-117
30	92A-623-118
31	92A-623-119
32	92A-623-120
33	92A-623-121



Description of Work
 The maintenance of landscaping and the landscape irrigation system within the public right-of-way along the street frontages of Newark Boulevard and Mayhews Landing Road.

ASSESSMENT DIAGRAM
 LANDSCAPING AND LIGHTING DISTRICT NO. 17
 MER SOLIEL/TRACT 7004



CITY OF NEWARK
 ENGINEERING DIVISION

Scale: 1"= 150'
 Page 1 of 1

E.10 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 18 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 18. This district provides for the maintenance of landscaping in the medians in front of Tract 8130 on Cedar Boulevard between Central Avenue and Smith Avenue. An annual public hearing is necessary to adopt the Engineer's Report to provide funds for this district.

The total assessment for this district as provided in the Engineer's Report is approximately \$10,900 for the 2018-2019 fiscal year. The assessment per dwelling unit is approximately \$67.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 18 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 18
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 18, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 18

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2017.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 18
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 18, City of Newark, Alameda County, California, makes this Report, as directed by the City Council, pursuant to Section 22585 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of landscaping and the landscape irrigation system within the Cedar Boulevard street medians along the frontage of Tract 8130.

Costs shall include all maintenance and operation costs, including normal upkeep, operating expenses, management expenses, replacement and replanting costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefitted parcels of land within the district.
- PART D - Rules for spreading the assessment among the benefitted parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A

PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY

ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 18
2018-19 FISCAL YEAR
 TRACT 8130 - CEDAR BOULEVARD MEDIANS

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$25,227
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$0
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
Tree Pruning	\$0
Utility Costs - Water/Electricity	\$0
Administration Costs	\$0
Ala. Cty. Collection Costs	\$0
- Less Reserve Fund	(\$20,000)
Total Carryover/deficit:	\$5,227

	2017-18 Budgeted	2017-18 Estimated	2018-19 Proposed
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractual Maintenance Costs	5,800	0	6,000
- Sweeping	0	0	300
- Utility Costs - Water/Electricity	2,500	0	3,500
- Irrigation Repairs	500	0	500
- Annual Tree Pruning	500	0	500
- Planting Replacement	1,000	0	2,000
- Bid Advertisement		0	
Subtotal	\$10,300	\$0	\$12,800
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Consultant Review			150
Subtotal	\$0	\$0	\$150
Subtotal	\$10,300	\$0	\$12,950
Carryover/deficit			\$5,227
Subtotal			\$7,723

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)? N

INCIDENTAL EXPENSES

- Contract Administration (10%)		0
- Inspection (8%)		1,036
- PS&E for bids (8%)		0
- Assessment Engineering		2,000
	Subtotal	\$3,036
	TOTAL ANNUAL COST	\$10,759

COLLECTION CHARGES

- Alameda County Collection Charges		183
(Collection Percentage)	1.70%	
	TOTAL AMOUNT TO BE ASSESSED	\$10,942
	TOTAL AMOUNT TO BE ASSESSED (ROUNDED)	\$10,900

LANDSCAPING AND LIGHTING DISTRICT NO. 18

2018-19 FISCAL YEAR

TRACT 8130 - CEDAR BOULEVARD MEDIANS

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	No. of Units	Total w/o Collection Charge	Collection Charge	Total Assessment
1	092A-2598-016	12	787.25	13.38	800.63
2	092A-2598-017	10	656.04	11.15	667.20
3	092A-2598-018	10	656.04	11.15	667.20
4	092A-2598-019	12	787.25	13.38	800.63
5	092A-2598-020	10	656.04	11.15	667.20
6	092A-2598-021	14	918.46	15.61	934.07
7	092A-2598-022	7	459.23	7.81	467.04
8	092A-2598-023	5	328.02	5.58	333.60
9	092A-2599-018	1	65.60	1.12	66.72
10	092A-2599-019	1	65.60	1.12	66.72
11	092A-2599-020	1	65.60	1.12	66.72
12	092A-2599-021	1	65.60	1.12	66.72
13	092A-2599-022	1	65.60	1.12	66.72
14	092A-2599-023	1	65.60	1.12	66.72
15	092A-2599-024	1	65.60	1.12	66.72
16	092A-2599-025	1	65.60	1.12	66.72
17	092A-2599-026	1	65.60	1.12	66.72
18	092A-2599-027	1	65.60	1.12	66.72
19	092A-2599-028	1	65.60	1.12	66.72
20	092A-2599-029	1	65.60	1.12	66.72
21	092A-2599-030	1	65.60	1.12	66.72
22	092A-2599-031	1	65.60	1.12	66.72
23	092A-2599-032	1	65.60	1.12	66.72
24	092A-2599-033	1	65.60	1.12	66.72
25	092A-2599-034	1	65.60	1.12	66.72
26	092A-2599-035	1	65.60	1.12	66.72
27	092A-2599-036	1	65.60	1.12	66.72
28	092A-2599-037	1	65.60	1.12	66.72
29	092A-2599-038	1	65.60	1.12	66.72
30	092A-2599-039	1	65.60	1.12	66.72
31	092A-2599-040	1	65.60	1.12	66.72
32	092A-2599-041	1	65.60	1.12	66.72
33	092A-2599-042	1	65.60	1.12	66.72
34	092A-2599-043	1	65.60	1.12	66.72
35	092A-2599-044	1	65.60	1.12	66.72
36	092A-2599-045	1	65.60	1.12	66.72
37	092A-2599-046	1	65.60	1.12	66.72
38	092A-2599-047	1	65.60	1.12	66.72
39	092A-2599-048	1	65.60	1.12	66.72
40	092A-2599-049	1	65.60	1.12	66.72
41	092A-2599-050	1	65.60	1.12	66.72
42	092A-2599-051	1	65.60	1.12	66.72
43	092A-2599-052	1	65.60	1.12	66.72

EXHIBIT C - ASSESSMENT ROLL

L&L Parcel	Assessor's Parcel	No. of Units	Total w/o Collection Charge	Collection Charge	Total Assessment
44	092A-2599-053	1	65.60	1.12	66.72
45	092A-2599-054	1	65.60	1.12	66.72
46	092A-2599-055	1	65.60	1.12	66.72
47	092A-2599-056	1	65.60	1.12	66.72
48	092A-2599-057	1	65.60	1.12	66.72
49	092A-2599-058	1	65.60	1.12	66.72
50	092A-2599-059	1	65.60	1.12	66.72
51	092A-2599-060	1	65.60	1.12	66.72
52	092A-2599-061	1	65.60	1.12	66.72
53	092A-2599-062	1	65.60	1.12	66.72
54	092A-2599-063	1	65.60	1.12	66.72
55	092A-2599-064	1	65.60	1.12	66.72
56	092A-2599-065	1	65.60	1.12	66.72
57	092A-2599-066	1	65.60	1.12	66.72
58	092A-2599-067	1	65.60	1.12	66.72
59	092A-2599-068	1	65.60	1.12	66.72
60	092A-2599-069	1	65.60	1.12	66.72
61	092A-2599-070	1	65.60	1.12	66.72
62	092A-2599-071	1	65.60	1.12	66.72
63	092A-2599-072	1	65.60	1.12	66.72
64	092A-2599-073	1	65.60	1.12	66.72
65	092A-2599-074	1	65.60	1.12	66.72
66	092A-2599-075	1	65.60	1.12	66.72
67	092A-2599-076	1	65.60	1.12	66.72
68	092A-2599-077	1	65.60	1.12	66.72
69	092A-2599-078	1	65.60	1.12	66.72
70	092A-2599-079	1	65.60	1.12	66.72
71	092A-2599-080	1	65.60	1.12	66.72
72	092A-2599-081	1	65.60	1.12	66.72
73	092A-2599-082	1	65.60	1.12	66.72
74	092A-2599-083	1	65.60	1.12	66.72
75	092A-2599-084	1	65.60	1.12	66.72
76	092A-2599-085	1	65.60	1.12	66.72
77	092A-2599-086	1	65.60	1.12	66.72
78	092A-2599-087	1	65.60	1.12	66.72
79	092A-2599-088	1	65.60	1.12	66.72
80	092A-2599-089	1	65.60	1.12	66.72
81	092A-2599-090	1	65.60	1.12	66.72
82	092A-2599-091	1	65.60	1.12	66.72
83	092A-2599-092	1	65.60	1.12	66.72
84	092A-2599-093	1	65.60	1.12	66.72
85	092A-2599-094	1	65.60	1.12	66.72
86	092A-2599-095	1	65.60	1.12	66.72
87	092A-2599-096	1	65.60	1.12	66.72
88	092A-2599-097	1	65.60	1.12	66.72
89	092A-2599-098	1	65.60	1.12	66.72
90	092A-2599-099	1	65.60	1.12	66.72
91	092A-2599-100	1	65.60	1.12	66.72
92	092A-2599-101	1	65.60	1.12	66.72
Totals			10,759.10	182.90	10,942.00

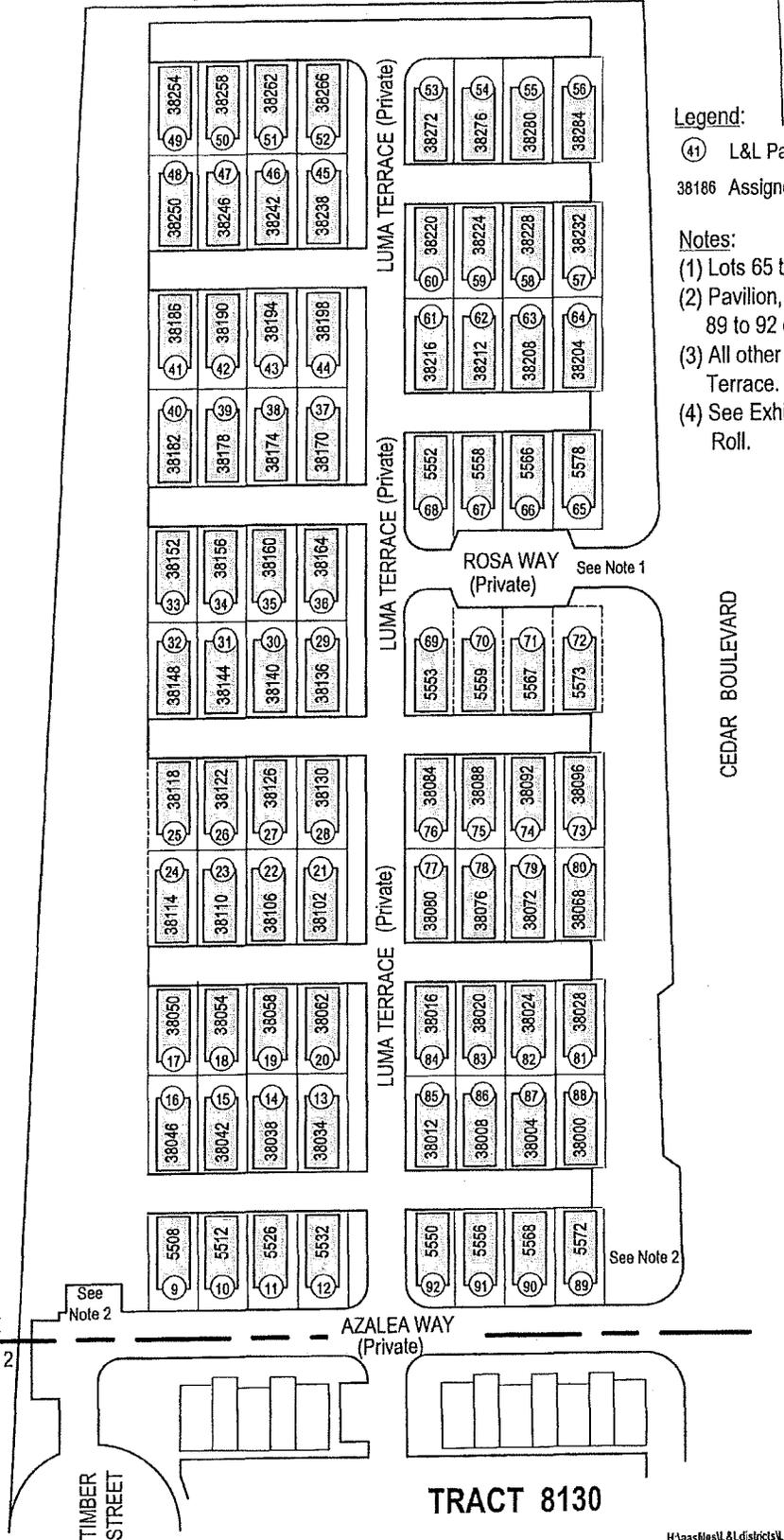
PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 18

METHOD OF APPORTIONMENT OF ASSESSMENT

The total cost of the project, including incidental expenses, will be spread evenly over each of the benefitted parcels of land based on the relative number of dwelling units per parcel to the total number of dwelling units (164) in the development.

Part E - Proposed Landscaping and Lighting District No. 18



TO SMITH AVENUE

Legend:

- ④ L&L Parcel Number
- 38186 Assigned Address to each lot

Notes:

- (1) Lots 65 to 72 on Rosa Way.
- (2) Pavilion, Lots 9 to 12 and 89 to 92 on Azalea Way.
- (3) All other addresses on Luma Terrace.
- (4) See Exhibit C for Assessment Roll.

CEDAR BOULEVARD



Not to Scale

MATCH LINE
See Page 2 of 2

See Note 2

AZALEA WAY
(Private)

See Note 2

ROBERTSON AVE.



TO CENTRAL AVENUE

TRACT 8130

Part E Proposed Landscaping and Lighting District No. 18



ROBERTSON AVE.

See Page 1 of 2

MATCH LINE

AZALEA WAY
(Private)

HM - 5507	
5509	
5515	
5521	8
5527	(5 units)
5533	

Note: All addresses on Lots 7 and 8 are on Azalea Way.

HM - 5549	
5551	
5557	
5563	7
5569	(7 units)
5575	
5583	
5589	

Legend:

⑥ L&L 18 Parcel No.

37592 Condominium Unit Address

HM-37920 House Meter and Primary Building Address

HM - 37968	
37978	
37976	
37974	
37972	
37970	
LUMA TERRACE (Private)	
Note: All addresses on Lots 5 and 6 are on Luma Terrace.	
⑤ (10 units)	
HM - 37980	
37982	
37984	
37986	
37988	
37990	

HM - 37920	
37934	
37932	
37930	
37928	
37926	
37924	
37922	
HM - 37948	
37950	
37952	
37954	
37956	
37958	
37960	
37962	

⑥ (14 units)

Note:
See Exhibit C for Assessment Roll.

MADEIROS PROPERTY
37900 CEDAR, Units A-K
(Not a part of L&L No. 18)

HM - 37826	
37838	
37836	
37834	
37832	
37830	
37828	
HM - 37850	
37852	
37854	
37856	
37858	
37860	
37862	

④ (12 units)

HM - 37810	
37810	
37808	
37806	
37804	
37802	
HM - 37814	
37816	
37818	
37820	
37822	
37824	

③ (10 units)



Not to Scale

HM - 37772	
37784	
37782	
37780	
37778	
37776	
37774	
HM - 37786	
37788	
37790	
37792	
37794	
37796	
37798	

① (12 units)

HM - 37748	
37758	
37756	
37754	
37752	
37750	
HM - 37760	
37762	
37764	
37766	
37768	
37770	

② (10 units)

Note: All addresses on Lots 1 through 4 are on Taro Terrace.



TO CENTRAL AVENUE

CEDAR BOULEVARD

TIMBER STREET

E.11 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 19 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 19. This district provides for the maintenance of landscaping and street lighting in the medians, traffic circles and planter areas on Willow Street, Central Avenue, Enterprise Drive, Seawind Way and other public streets, and the maintenance of other public improvements within the Bayside Newark Transit Oriented Development area for Tracts 8085, 8098 and 8157. An annual public hearing is necessary to adopt the Engineer's Report to provide funds for this district.

The total assessment for this district as provided in the Engineer's Report is approximately \$68,000 for the 2018-2019 fiscal year.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 19 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 19
(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 19, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 19

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 19
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 19, City of Newark, Alameda County, California, makes this Report, as directed by the City Council, pursuant to Section 22585 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report fully described in the following Engineer's Reports incorporated herein by reference and available in the Office of the Engineer:

1. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 1), Tract 8085 (Bayshores), approved by the City Council of the City of Newark pursuant to Resolution No. 10,568.
2. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 2), Tract 8157 (Lighthouse), Annexation No.1, approved by the City Council of the City of Newark pursuant to Resolution No. 10,692.
3. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 3), Senior Housing Project (Tract 8157), Annexation No. 2, approved by the City Council of the City of Newark pursuant to Resolution No. 10,694.
4. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 4), Tract 8098 (Glass Bay), Annexation No. 3, approved by the City Council of the City of Newark pursuant to Resolution No. 10,714.

Costs shall include all maintenance and operation costs, including normal upkeep, operating expenses, management expenses, replacement and replanting costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefitted parcels of land within the district.
- PART D - Rules for spreading the assessment among the benefitted parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A

PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY

ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 19
2018-19 FISCAL YEAR

Tract 8085 (Zone 1), Tract 8157 (Zone 2), Senior Housing (Zone 3), Tract 8098 (Zone 4)

EXHIBIT B - ANNUAL BUDGET

See attached assessment rolls as follows:

1. Tract 8085 (Bayshores), Zone 1
2. Tract 8157 (Lighthouse), Zone 2, Annexation No. 1
3. Senior Housing Project (Tract 8157), Zone 3, Annexation No.2
4. Tract 8098 (Glass Bay), Zone 4, Annexation No. 3

TOTAL AMOUNT TO BE ASSESSED	\$67,973
TOTAL AMOUNT TO BE ASSESSED (ROUNDED)	\$68,000

City of Newark
Landscape and Lighting District No. 19
Tract 8085 (Bayshores), Zone 1

FY 2018-19 Cost Estimate Summary

Item	Cost/Yr
Landscape Maintenance	
Landscape Maintenance	\$20,362.50
Street Lighting Maintenance	<u>\$4,871.50</u>
Total Maintenance Cost	\$25,234.00
Administrative Cost	\$11,760.10
Reserves	
Operating Reserve (10% of Total Maintenance Cost)	\$2,523.40
Annual Capital Replacement Reserve	<u>\$11,766.56</u>
Total Reserves	\$14,289.96
Total Maintenance, Administrative and Reserve Costs	\$51,284.06
Less: Beginning Balance	\$0.00
Less: Required Contribution from General Fund	<u>(\$9,731.72)</u>
Total Assessment Amount - District No. 19	\$41,552.34

City of Newark
Landscape and Lighting District No. 19
Tract 8157 (Lighthouse), Zone 2, Annexation No. 1
FY 2018-19 Cost Estimate Summary

Item	Cost/Yr
Maintenance	
Landscape Maintenance	\$1,488.33
Street Lighting Maintenance	<u>779.44</u>
Total Maintenance Cost	\$2,267.77
Administrative Cost	\$2,201.81
Reserves	
Operating Reserve (10% of Total Maintenance Cost)	\$226.78
Annual Capital Replacement Reserve	<u>1,725.59</u>
Total Reserves	\$1,952.37
Total Maintenance, Administrative and Reserve Costs	\$6,421.95
Less: Beginning Balance	0.00
Less: Required Contribution from Other Zones or General Fund	<u>(2,498.27)</u>
Total Assessment Amount for Zone 2 - Lighthouse	\$3,923.68

City of Newark
Landscape and Lighting District No. 19
Newark Senior Housing (Tract 8157), Zone 3, Annexation No .2

FY 2018-19 Cost Estimate Summary

Item	Cost/Yr
Maintenance	
Landscape Maintenance	\$892.01
Street Lighting Maintenance	<u>389.72</u>
Total Maintenance Cost	\$1,281.73
Administrative Cost	\$1,905.31
Reserves	
Operating Reserve (10% of Total Maintenance Cost)	\$128.17
Annual Capital Replacement Reserve	<u>873.78</u>
Total Reserves	\$1,001.95
Total Maintenance, Administrative and Reserve Costs	\$4,188.99
Less: Beginning Balance	0.00
Less: Required Contribution from Other Zones or General Fund	<u>(1,468.74)</u>
Total Assessment Amount for Zone 3 - Newark Senior Housing	\$2,720.25

City of Newark
Landscape and Lighting District No. 19
Tract 8098 (Glass Bay), Zone 4, Annexation No. 3
Fiscal Year 2018-19 Cost Estimate Summary

Item	Cost/Year
Landscape Maintenance	
Landscape Maintenance	\$9,978.65
Street Lighting Maintenance	<u>3,215.19</u>
Total Maintenance Cost	\$13,193.84
Administrative Cost	\$5,530.81
Reserves	
Operating Reserve (10% of Total Maintenance Cost)	\$1,319.38
Annual Capital Replacement Reserve	<u>7,476.78</u>
Total Reserves	\$8,796.16
Total Maintenance, Administrative and Reserve Costs	\$27,520.81
Less: Beginning Balance	0.00
Less: Required Contribution from General Fund	<u>(7,743.43)</u>
Total Assessment Amount - Annexation No. 3	\$19,777.38

LANDSCAPING AND LIGHTING DISTRICT NO. 19
2018-19 FISCAL YEAR

Tract 8085 (Zone 1), Tract 8157 (Zone 2), Senior Housing (Zone 3), Tract 8098 (Zone 4)

EXHIBIT C - ASSESSMENT ROLL

See attached assessment rolls as follows:

1. Tract 8085 (Bayshores), Zone 1
2. Tract 8157 (Lighthouse), Zone 2, Annexation No. 1
3. Senior Housing Project (Tract 8157), Zone 3, Annexation No.2
4. Tract 8098 (Glass Bay), Zone 4, Annexation No. 3

City of Newark
Landscape and Lighting District No. 19, Zone 1, Tract 8085 (Bayshores)
FY 2018-19 Assessment Roll

LOCATION	APN	PARCEL TYPE	UNITS	EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19 MAXIMUM ASSESSMENT	2018-19 APPLIED ASSESSMENT
Phase 1 - Village 1 - Lot #1	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #2	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #3	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #4	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #5	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #6	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #7	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #8	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #9	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #10	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #11	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #12	Por. 092-0115-008 & 010	CONDO	9.00	0.75	6.75	\$87.34	\$589.55	\$589.54
Phase 1 - Village 1 - Lot #13	Por. 092-0115-008 & 010	TWNHM	5.00	0.75	3.75	\$87.34	\$327.53	\$327.52
Phase 1 - Village 1 - Lot #14	Por. 092-0115-008 & 010	TWNHM	8.00	0.75	6.00	\$87.34	\$524.04	\$524.04
Phase 1 - Village 1 - Lot #15	Por. 092-0115-008 & 010	TWNHM	8.00	0.75	6.00	\$87.34	\$524.04	\$524.04
Phase 1 - Village 1 - Lot #16	Por. 092-0115-008 & 010	TWNHM	8.00	0.75	6.00	\$87.34	\$524.04	\$524.04
Phase 1 - Village 1 - Lot #17	Por. 092-0115-008 & 010	TWNHM	8.00	0.75	6.00	\$87.34	\$524.04	\$524.04
Phase 1 - Village 1 - Lot #18	Por. 092-0115-008 & 010	TWNHM	7.00	0.75	5.25	\$87.34	\$458.54	\$458.54
Phase 1 - Village 1 - Lot #19	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 1 - Village 1 - Lot #20	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 1 - Village 1 - Lot #21	Por. 092-0115-008 & 010	TWNHM	5.00	0.75	3.75	\$87.34	\$327.53	\$327.52
Phase 1 - Village 3 - Lot #22	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #23	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #24	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #25	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #26	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #27	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #28	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #29	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1 - Village 3 - Lot #30	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34

City of Newark
Landscape and Lighting District No. 19, Zone 1, Tract 8085 (Bayshores)
FY 2018-19 Assessment Roll

Phase 1- Village 3 - Lot #97	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #98	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #99	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #100	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #101	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #102	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #103	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #104	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #105	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #106	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #107	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #108	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #109	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #110	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #111	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #112	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #113	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #114	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #115	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #116	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 3 - Lot #117	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #118	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #119	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #120	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #121	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #122	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #123	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #124	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #125	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #126	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #127	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #128	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 4A - Lot #129	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34

City of Newark
Landscape and Lighting District No. 19, Zone 1, Tract 8085 (Bayshores)
FY 2018-19 Assessment Roll

Phase 1- Village 5 - Lot #196	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #197	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #198	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #199	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #200	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #201	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #202	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #203	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #204	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #205	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #206	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #207	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #208	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #209	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #210	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #211	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #212	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #213	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #214	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #215	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 1- Village 5 - Lot #216	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 2- Village 2 - Lot #1	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 2- Village 2 - Lot #2	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 2- Village 2 - Lot #3	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 2- Village 2 - Lot #4	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 2- Village 2 - Lot #5	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 2- Village 2 - Lot #6	Por. 092-0115-008 & 010	TWNHM	11.00	0.75	8.25	\$87.34	\$720.56	\$720.56
Phase 2- Village 2 - Lot #7	Por. 092-0115-008 & 010	TWNHM	10.00	0.75	7.50	\$87.34	\$655.06	\$655.06
Phase 2- Village 2 - Lot #8	Por. 092-0115-008 & 010	TWNHM	10.00	0.75	7.50	\$87.34	\$655.06	\$655.06
Phase 3- Village 3 - Lot #1	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #2	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #3	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #4	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34

City of Newark
Landscape and Lighting District No. 19, Zone 1, Tract 8085 (Bayshores)
FY 2018-19 Assessment Roll

Phase 3- Village 3 - Lot #5	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #6	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #7	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #8	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #9	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #10	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #11	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #12	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #13	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #14	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #15	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #16	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #17	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #18	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #19	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #20	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #21	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #22	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #23	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 3 - Lot #24	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #25	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #26	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #27	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #28	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #29	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #30	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #31	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #32	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #33	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #34	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #35	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #36	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 4B - Lot #37	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34

City of Newark
Landscape and Lighting District No. 19, Zone 1, Tract 8085 (Bayshores)
FY 2018-19 Assessment Roll

Phase 3- Village 5 - Lot #71	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #72	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #73	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #74	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #75	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #76	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #77	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #78	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #79	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #80	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #81	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
Phase 3- Village 5 - Lot #82	Por. 092-0115-008 & 010	SFR	1.00	1.00	1.00	\$87.34	\$87.34	\$87.34
			542.00		475.75		\$41,552.34	\$41,552.00

City of Newark
Landscape and Lighting District No. 19
Tract 8157 (Lighthouse), Zone 2, Annexation No. 1

FY 2018-19 Assessment Roll

Lot No.	APN	OWNER	PARCEL TYPE	UNITS	EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19 MAXIMUM ASSESSMENT	2018-19 APPLIED ASSESSMENT
1	092 -0260-011	Lennar Homes	CONDO	8.00	0.75	6.00	\$59.45	\$356.70	\$356.70
2	092 -0260-012	Lennar Homes	CONDO	8.00	0.75	6.00	\$59.45	\$356.70	\$356.70
3	092 -0260-013	Lennar Homes	CONDO	5.00	0.75	3.75	\$59.45	\$222.94	\$222.94
4	092 -0260-014	Lennar Homes	CONDO	5.00	0.75	3.75	\$59.45	\$222.94	\$222.94
5	092 -0260-015	Lennar Homes	CONDO	6.00	0.75	4.50	\$59.45	\$267.52	\$267.52
6	092 -0260-016	Lennar Homes	CONDO	6.00	0.75	4.50	\$59.45	\$267.52	\$267.52
7	092 -0260-017	Lennar Homes	CONDO	8.00	0.75	6.00	\$59.45	\$356.70	\$356.70
8	092 -0260-018	Lennar Homes	CONDO	8.00	0.75	6.00	\$59.45	\$356.70	\$356.70
9	092 -0260-019	Lennar Homes	CONDO	6.00	0.75	4.50	\$59.45	\$267.52	\$267.52
10	092 -0260-020	Lennar Homes	CONDO	6.00	0.75	4.50	\$59.45	\$267.52	\$267.52
11	092 -0260-021	Lennar Homes	CONDO	6.00	0.75	4.50	\$59.45	\$267.52	\$267.52
12	092 -0260-022	Lennar Homes	CONDO	8.00	0.75	6.00	\$59.45	\$356.70	\$356.70
13	092 -0260-023	Lennar Homes	CONDO	8.00	0.75	6.00	\$59.45	\$356.70	\$356.70
		TOTALS:		88.00		66.00		\$3,923.68	\$3,923.68

Total Assessment Amount - Zone 2 \$3,923.68

City of Newark
Landscape and Lighting District No. 19
Senior Housing (Tract 8157), Zone 3, Annexation No. 2

FY 2018-19 Assessment Roll

APN	OWNER	PARCEL TYPE	UNITS	EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19 MAXIMUM ASSESSMENT	2018-19 APPLIED ASSESSMENT
092 -0260-011	NEWARK 618, LP	APT	75.00	0.75	56.25	\$48.36	\$2,720.25	\$2,720.25
	TOTALS:		75.00		56.25		\$2,720.25	\$2,720.25

City of Newark
Landscape and Lighting District No. 19
Tract 8098 (Glass Bay), Zone 4, Annexation No. 3

Fiscal Year 2018-19 Assessment Roll

Lot No.	APN	OWNER	PARCEL TYPE	UNITS	EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19 MAXIMUM ASSESSMENT	2018-19 APPLIED ASSESSMENT
1	092 -0259-024	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
2	092 -0259-025	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
3	092 -0259-026	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
4	092 -0259-027	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
5	092 -0259-028	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
6	092 -0259-029	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
7	092 -0259-030	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
8	092 -0259-031	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
9	092 -0259-032	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
10	092 -0259-033	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
11	092 -0259-034	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
12	092 -0259-035	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
13	092 -0259-036	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
14	092 -0259-037	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
15	092 -0259-038	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
16	092 -0259-039	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
17	092 -0259-040	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
18	092 -0259-041	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
19	092 -0259-042	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
20	092 -0259-043	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
21	092 -0259-044	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
22	092 -0259-045	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
23	092 -0259-046	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
24	092 -0259-047	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
25	092 -0259-048	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14

Lot No.	APN	OWNER	PARCEL TYPE	UNITS	EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19	2018-19
								MAXIMUM ASSESSMENT	APPLIED ASSESSMENT
26	092-0259-049	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
27	092-0259-050	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
28	092-0259-051	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
29	092-0259-052	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
30	092-0259-053	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
31	092-0259-054	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
32	092-0259-055	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
33	092-0259-056	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
34	092-0259-057	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
35	092-0259-058	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
36	092-0259-059	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
37	092-0259-060	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
38	092-0259-061	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
39	092-0259-062	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
40	092-0259-063	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
41	092-0259-064	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
42	092-0259-065	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
43	092-0259-066	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
44	092-0259-067	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
45	092-0259-068	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
46	092-0259-069	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
47	092-0259-070	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
48	092-0259-071	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
49	092-0259-072	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
50	092-0259-073	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
51	092-0259-074	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
52	092-0259-075	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
53	092-0259-076	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
54	092-0259-077	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
55	092-0259-078	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
56	092-0259-079	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14

Lot No.	APN	OWNER	PARCEL		EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19	2018-19
			TYPE	UNITS				MAXIMUM ASSESSMENT	APPLIED ASSESSMENT
57	092 -0259-080	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
58	092 -0259-081	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
59	092 -0259-082	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
60	092 -0259-083	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
61	092 -0259-084	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
62	092 -0259-085	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
63	092 -0259-086	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
64	092 -0259-087	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
65	092 -0259-088	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
66	092 -0259-089	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
67	092 -0259-090	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
68	092 -0259-091	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
69	092 -0259-092	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
70	092 -0259-093	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
71	092 -0259-094	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
72	092 -0259-095	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
73	092 -0259-096	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
74	092 -0259-097	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
75	092 -0259-098	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
76	092 -0259-099	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
77	092 -0259-100	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
78	092 -0259-101	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
79	092 -0259-102	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
80	092 -0259-103	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
81	092 -0259-104	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
82	092 -0259-105	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
83	092 -0259-106	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
84	092 -0259-107	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
85	092 -0259-108	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
86	092 -0259-109	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
87	092 -0259-110	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14

Lot No.	APN	OWNER	PARCEL		EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19	2018-19
			TYPE	UNITS				MAXIMUM ASSESSMENT	APPLIED ASSESSMENT
88	092-0259-111	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
89	092-0259-112	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
90	092-0259-113	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
91	092-0259-114	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
92	092-0259-115	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
93	092-0259-116	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
94	092-0259-117	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
95	092-0259-118	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
96	092-0259-119	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
97	092-0259-120	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
98	092-0259-121	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
99	092-0259-122	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
100	092-0259-123	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
101	092-0259-124	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
102	092-0259-125	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
103	092-0259-126	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
104	092-0259-127	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
105	092-0259-128	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
106	092-0259-129	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
107	092-0259-130	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
108	092-0259-131	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
109	092-0259-132	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
110	092-0259-133	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
111	092-0259-134	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
112	092-0259-135	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
113	092-0259-136	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
114	092-0259-137	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
115	092-0259-138	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
116	092-0259-139	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
117	092-0259-140	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
118	092-0259-141	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14

Lot No.	APN	OWNER	PARCEL		EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19	2018-19
			TYPE	UNITS				MAXIMUM ASSESSMENT	APPLIED ASSESSMENT
119	092 -0259-142	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
120	092 -0259-143	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
121	092 -0259-144	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
122	092 -0259-145	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
123	092 -0259-146	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
124	092 -0259-147	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
125	092 -0259-148	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
126	092 -0259-149	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
127	092 -0259-150	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
128	092 -0259-151	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
129	092 -0259-152	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
130	092 -0259-153	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
131	092 -0259-154	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
132	092 -0259-155	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
133	092 -0259-156	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
134	092 -0259-157	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
135	092 -0259-158	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
136	092 -0259-159	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
137	092 -0259-160	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
138	092 -0259-161	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
139	092 -0259-162	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
140	092 -0259-163	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
141	092 -0259-164	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
142	092 -0259-165	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
143	092 -0259-166	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
144	092 -0259-167	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
145	092 -0259-168	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
146	092 -0259-169	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
147	092 -0259-170	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
148	092 -0259-171	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
149	092 -0259-172	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14

Lot No.	APN	OWNER	PARCEL TYPE	UNITS	EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19	2018-19
								MAXIMUM ASSESSMENT	APPLIED ASSESSMENT
150	092 -0259-173	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
151	092 -0259-174	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
152	092 -0259-175	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
153	092 -0259-176	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
154	092 -0259-177	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
155	092 -0259-178	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
156	092 -0259-179	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
157	092 -0259-180	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
158	092 -0259-181	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
159	092 -0259-182	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
160	092 -0259-183	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
161	092 -0259-184	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
162	092 -0259-185	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
163	092 -0259-186	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
164	092 -0259-187	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
165	092 -0259-188	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
166	092 -0259-189	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
167	092 -0259-190	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
168	092 -0259-191	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
169	092 -0259-192	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
170	092 -0259-193	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
171	092 -0259-194	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
172	092 -0259-195	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
173	092 -0259-196	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
174	092 -0259-197	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
175	092 -0259-198	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
176	092 -0259-199	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
177	092 -0259-200	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
178	092 -0259-201	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
179	092 -0259-202	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
180	092 -0259-203	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14

Lot No.	APN	OWNER	PARCEL		EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19	2018-19
			TYPE	UNITS				MAXIMUM ASSESSMENT	APPLIED ASSESSMENT
181	092 -0259-204	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
182	092 -0259-205	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
183	092 -0259-206	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
184	092 -0259-207	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
185	092 -0259-208	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
186	092 -0259-209	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
187	092 -0259-210	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
188	092 -0259-211	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
189	092 -0259-212	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
190	092 -0259-213	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
191	092 -0259-214	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
192	092 -0259-215	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
193	092 -0259-216	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
194	092 -0259-217	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
195	092 -0259-218	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
196	092 -0259-219	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
197	092 -0259-220	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
198	092 -0259-221	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
199	092 -0259-222	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
200	092 -0259-223	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
201	092 -0259-224	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
202	092 -0259-225	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
203	092 -0259-226	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
204	092 -0259-227	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
205	092 -0259-228	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
206	092 -0259-229	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
207	092 -0259-230	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
208	092 -0259-231	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
209	092 -0259-232	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
210	092 -0259-233	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
211	092 -0259-234	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14

Lot No.	APN	OWNER	PARCEL		EDU FACTOR	TOTAL EDU'S	RATE PER EDU	2018-19	2018-19
			TYPE	UNITS				MAXIMUM ASSESSMENT	APPLIED ASSESSMENT
212	092 -0259-235	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
213	092 -0259-236	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
214	092 -0259-237	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
215	092 -0259-238	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
216	092 -0259-239	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
217	092 -0259-240	Trumark Homes	SFR	1.00	1.00	1.00	\$91.14	\$91.14	\$91.14
		TOTALS:		217.00		217.00		\$19,777.38	\$19,777.38

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 19

METHOD OF APPORTIONMENT OF ASSESSMENT

The total cost of the project, including incidental expenses, are described in detail in each of the Engineer's Reports, incorporated herein by reference and available in the Office of the Engineer, as follows:

1. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 1), Tract 8085 (Bayshores), approved by the City Council of the City of Newark pursuant to Resolution No. 10,568.
2. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 2), Tract 8157 (Lighthouse), Annexation No.1, approved by the City Council of the City of Newark pursuant to Resolution No. 10,692.
3. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 3), Senior Housing Project (Tract 8157), Annexation No. 2, approved by the City Council of the City of Newark pursuant to Resolution No. 10,694.
4. Engineer's Report for Landscaping and Lighting District No. 19 (Zone 4), Tract 8098 (Glass Bay), Annexation No. 3, approved by the City Council of the City of Newark pursuant to Resolution No. 10,714.

PART E

LANDSCAPING AND LIGHTING DISTRICT NO. 19

ASSESSMENT DIAGRAMS

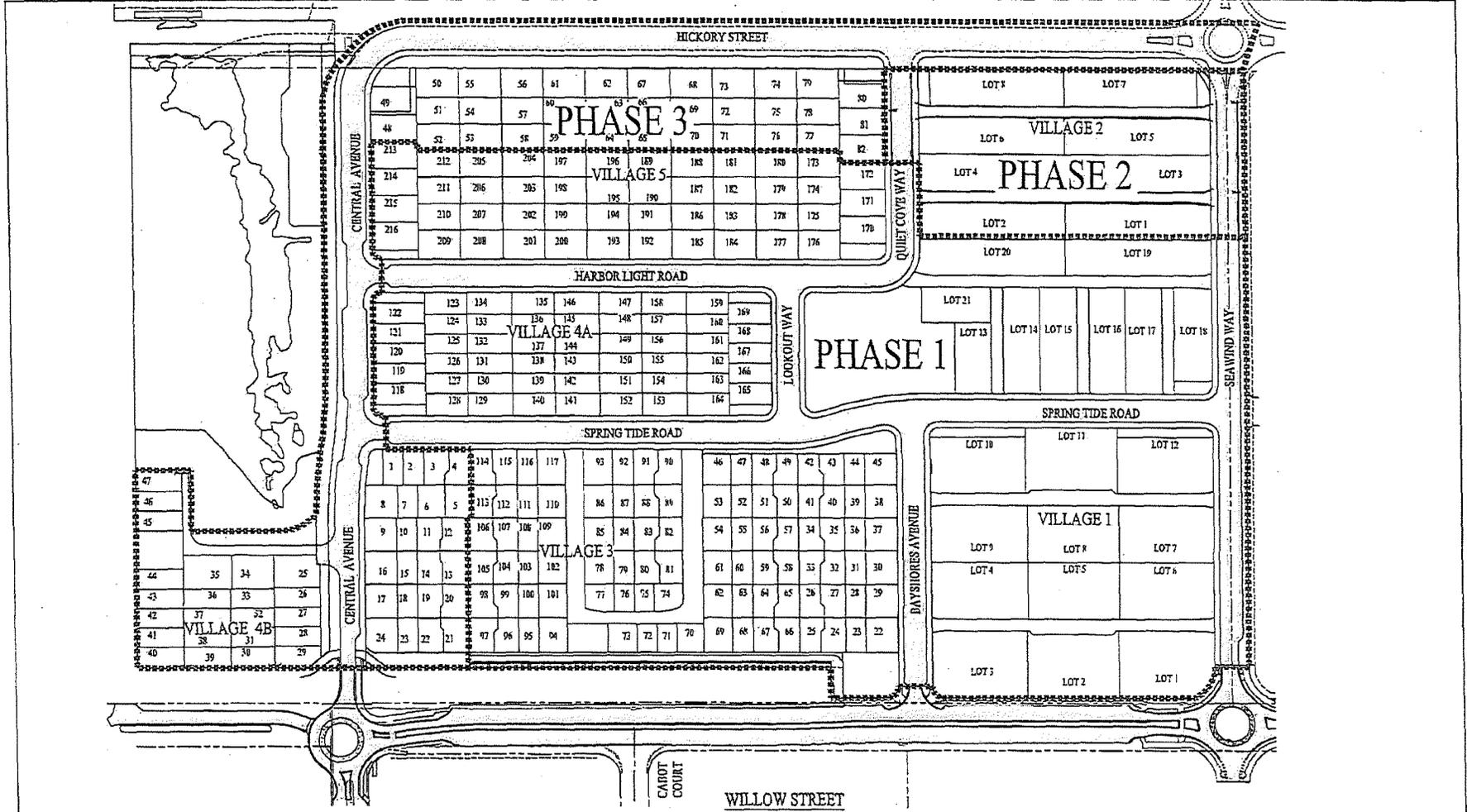
See attached Assessment Diagrams for Landscaping & Lighting District No. 19:

Zone 1 – Tract 8085 (Bayshores)

Zone 2 – Tract 8157 (Lighthouse), Annexation No.1

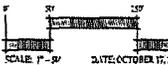
Zone 3 – Newark Senior Housing (Tract 8157), Annexation No. 2

Zone 4- Tract 8098 (Glass Bay), Annexation No. 3



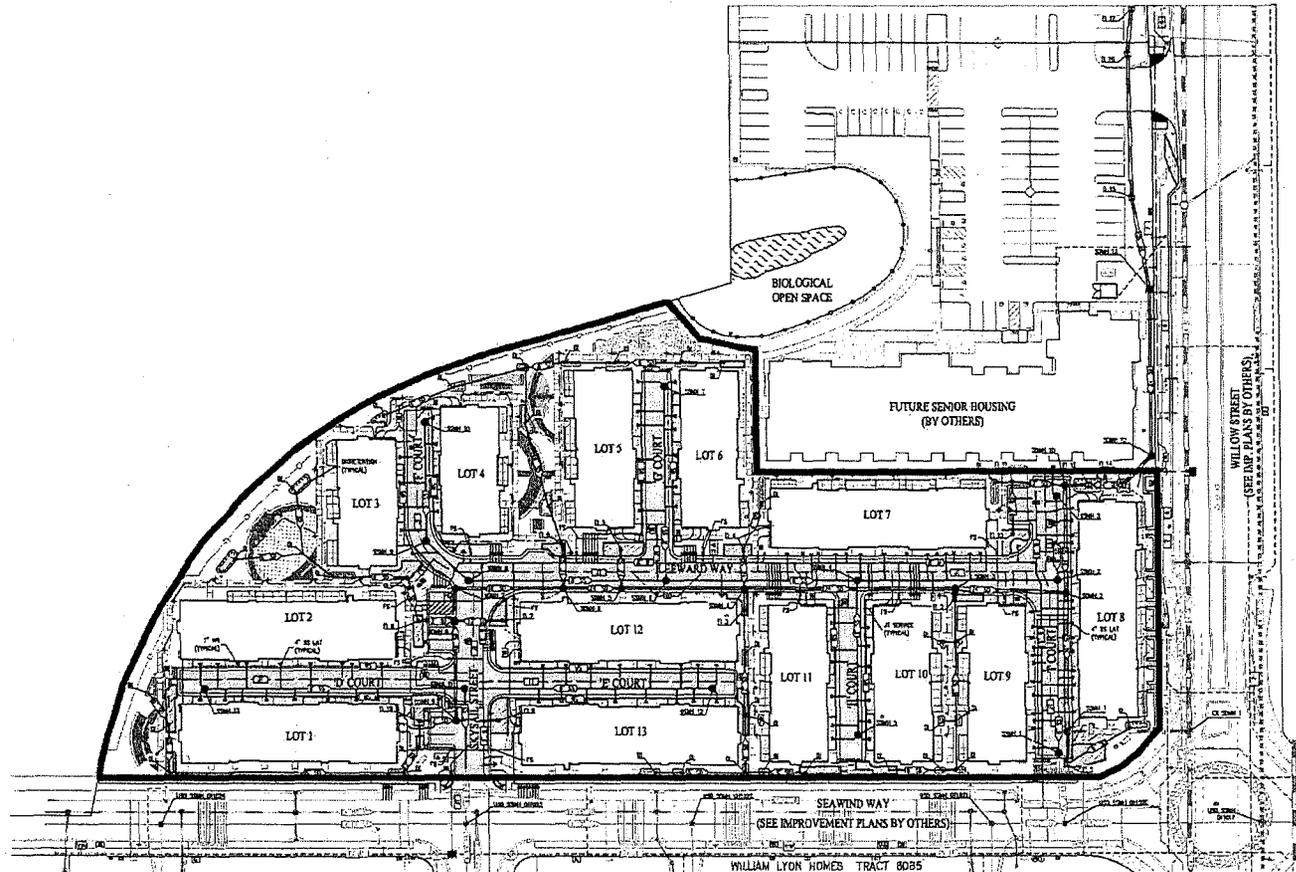
ASSESSMENT DIAGRAM EXHIBIT
 BAYSHORES - TRACT 8085

CITY OF NEWARK ALAMEDA COUNTY CALIFORNIA


Cathryn, Barben
 & Glendon, Inc.
 600 Third Street, Suite 200
 San Francisco, California 94107
 DATE: OCTOBER 17, 2016

**ASSESSMENT DIAGRAM OF
LANDSCAPE AND LIGHTING DISTRICT NO. 19
ANNEXATION NO. 1 (LIGHTHOUSE)
CITY OF NEWARK, COUNTY OF ALAMEDA STATE OF CALIFORNIA**



LEGEND:

———— ANNEXATION BOUNDARY

NOTES:

REFERENCE IS HEREBY MADE TO THE MAPS OF RECORD IN THE OFFICE OF THE ASSESSOR OF THE COUNTY OF ALAMEDA FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF ANY PARCELS SHOWN HEREIN, WHICH MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH PARCELS.

1. FILED IN THE OFFICE OF THE CITY CLERK, CITY OF NEWARK, THIS _____ DAY OF _____, 2017.

CITY CLERK

2. RECORDED IN THE OFFICE OF THE CITY ENGINEER, CITY OF NEWARK, THIS _____ DAY OF _____, 2017.

CITY ENGINEER
CITY OF NEWARK

3. AN ASSESSMENT WAS LEVIED BY THE CITY COUNCIL ON THE LOTS, PIECES, AND PARCELS OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM. SAID ASSESSMENT WAS LEVIED ON THE _____ DAY OF _____, 2017; THE ASSESSMENT DIAGRAM AND THE ASSESSMENT ROLL WERE RECORDED IN THE OFFICE OF THE CITY ENGINEER, AS THE SUPERINTENDENT OF STREETS, OF THE CITY OF NEWARK ON THE _____ DAY OF _____, 2017. REFERENCE IS MADE TO THE ASSESSMENT ROLL RECORDED IN THE OFFICE OF THE CITY ENGINEER FOR THE EXACT AMOUNT OF EACH ASSESSMENT LEVIED AGAINST EACH PARCEL OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM.

CITY ENGINEER
CITY OF NEWARK

4. FILED THIS _____ DAY OF _____, 2017, AT THE HOUR OF _____ O'CLOCK ____ M. IN BOOK _____ OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AT PAGE _____, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA.

COUNTY RECORDER,
COUNTY OF ALAMEDA

**ASSESSMENT DIAGRAM OF
LANDSCAPE AND LIGHTING DISTRICT NO. 19
ANNEXATION NO. 1 (LIGHTHOUSE)
CITY OF NEWARK, COUNTY OF ALAMEDA
STATE OF CALIFORNIA**

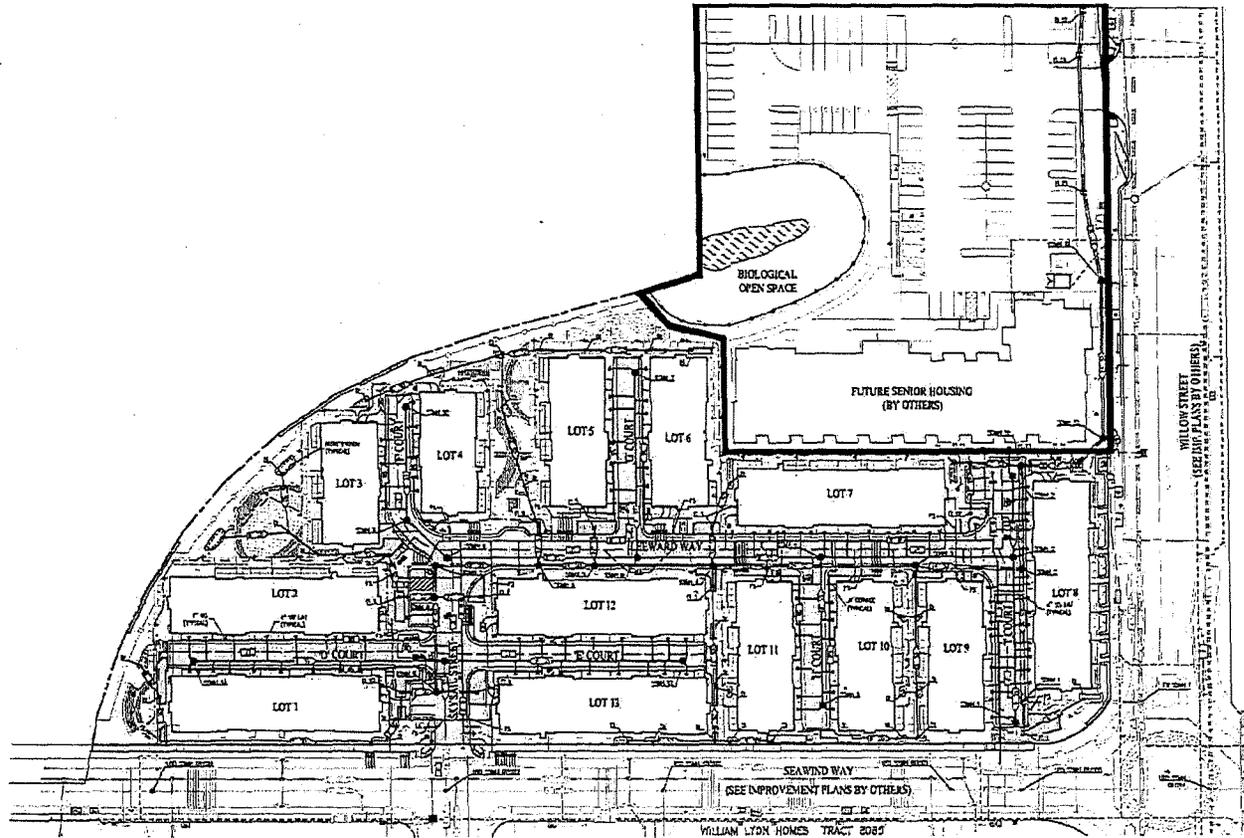


Harris & Associates

DATE: AUGUST 23, 2017

SHEET: 1 OF 1

**ASSESSMENT DIAGRAM OF
LANDSCAPE AND LIGHTING DISTRICT NO. 19
ANNEXATION NO. 2 (NEWARK SENIORS HOUSING)
CITY OF NEWARK, COUNTY OF ALAMEDA STATE OF CALIFORNIA**



LEGEND:

———— ANNEXATION BOUNDARY

NOTES:

REFERENCE IS HEREBY MADE TO THE MAPS OF RECORD IN THE OFFICE OF THE ASSESSOR OF THE COUNTY OF ALAMEDA FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF ANY PARCELS SHOWN HEREIN, WHICH MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH PARCELS.

1. FILED IN THE OFFICE OF THE CITY CLERK, CITY OF NEWARK, THIS _____ DAY OF _____, 2017.

CITY CLERK

2. RECORDED IN THE OFFICE OF THE CITY ENGINEER, CITY OF NEWARK, THIS _____ DAY OF _____, 2017.

CITY ENGINEER
CITY OF NEWARK

3. AN ASSESSMENT WAS LEVIED BY THE CITY COUNCIL ON THE LOTS, PIECES, AND PARCELS OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM. SAID ASSESSMENT WAS LEVIED ON THE _____ DAY OF _____, 2017; THE ASSESSMENT DIAGRAM AND THE ASSESSMENT ROLL WERE RECORDED IN THE OFFICE OF THE CITY ENGINEER, AS THE SUPERINTENDENT OF STREETS, OF THE CITY OF NEWARK ON THE _____ DAY OF _____, 2017. REFERENCE IS MADE TO THE ASSESSMENT ROLL RECORDED IN THE OFFICE OF THE CITY ENGINEER FOR THE EXACT AMOUNT OF EACH ASSESSMENT LEVIED AGAINST EACH PARCEL OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM.

CITY ENGINEER
CITY OF NEWARK

4. FILED THIS _____ DAY OF _____, 2017, AT THE HOUR OF _____ O'CLOCK _____ M. IN BOOK _____ OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AT PAGE _____ IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA.

COUNTY RECORDER,
COUNTY OF ALAMEDA

ASSESSMENT DIAGRAM OF
LANDSCAPE AND LIGHTING DISTRICT NO. 19
ANNEXATION NO. 2 (NEWARK SENIORS HOUSING)
CITY OF NEWARK, COUNTY OF ALAMEDA
STATE OF CALIFORNIA

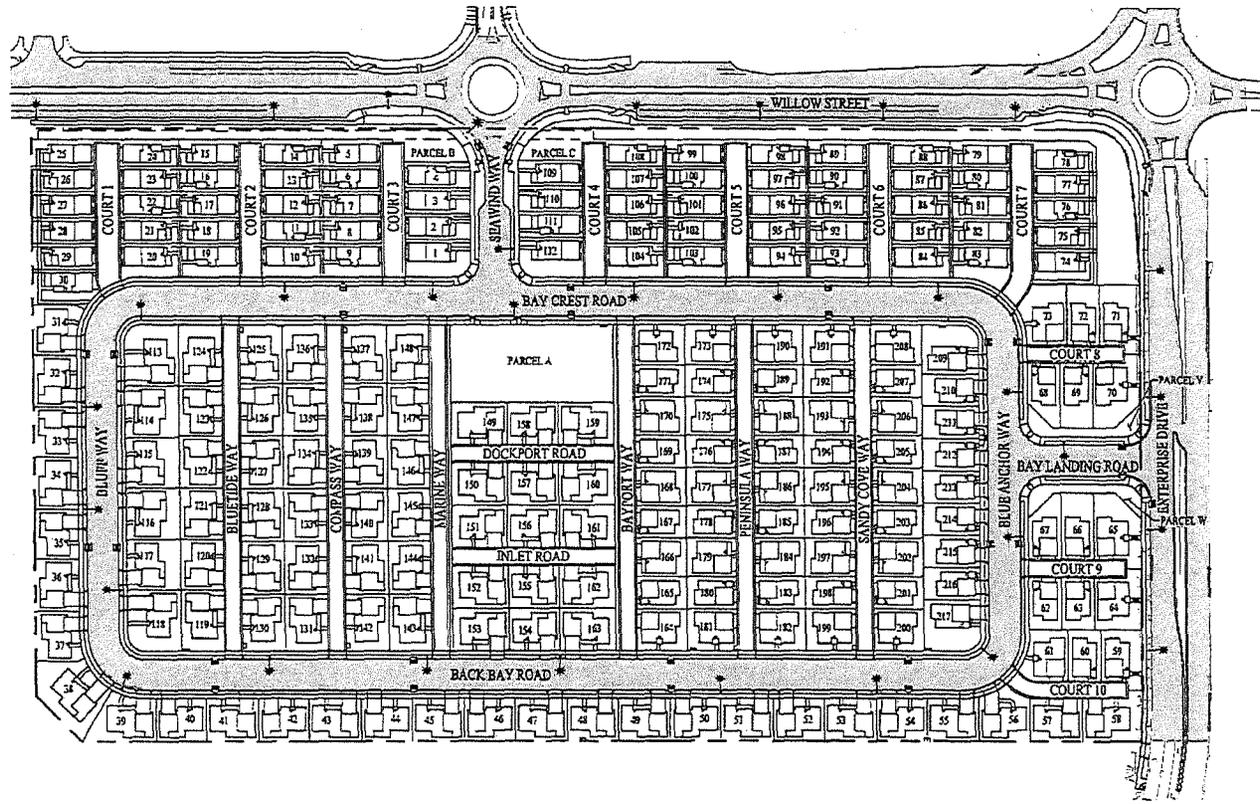


Harris & Associates

DATE: AUGUST 23, 2017

SHEET: 1 OF 1

**ASSESSMENT DIAGRAM OF
LANDSCAPE AND LIGHTING DISTRICT NO. 19
ANNEXATION NO. 3 (TRACT 8098 - GLASS BAY)
CITY OF NEWARK, COUNTY OF ALAMEDA STATE OF CALIFORNIA**



GRAPHIC SCALE
1" = 150'

LEGEND:

	ANNEXATION BOUNDARY
	ASSESSMENT NUMBER
	PUBLIC STREET

NOTES:
REFERENCE IS HEREBY MADE TO THE MAPS OF RECORD IN THE OFFICE OF THE ASSESSOR OF THE COUNTY OF ALAMEDA FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF ANY PARCELS SHOWN HEREIN, WHICH MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH PARCELS.

1. FILED IN THE OFFICE OF THE CITY CLERK CITY OF NEWARK, THIS _____ DAY OF _____, 2017.

CITY CLERK

2. RECORDED IN THE OFFICE OF THE CITY ENGINEER, CITY OF NEWARK, THIS _____ DAY OF _____, 2017.

CITY ENGINEER
CITY OF NEWARK

3. AN ASSESSMENT WAS LEVIED BY THE CITY COUNCIL ON THE LOTS, PIECES, AND PARCELS OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM. SAID ASSESSMENT WAS LEVIED ON THE _____ DAY OF _____, 2017; THE ASSESSMENT DIAGRAM AND THE ASSESSMENT ROLL WERE RECORDED IN THE OFFICE OF THE CITY ENGINEER, AS THE SUPERINTENDENT OF STREETS, OF THE CITY OF NEWARK ON THE _____ DAY OF _____, 2017. REFERENCE IS MADE TO THE ASSESSMENT ROLL RECORDED IN THE OFFICE OF THE CITY ENGINEER FOR THE EXACT AMOUNT OF EACH ASSESSMENT LEVIED AGAINST EACH PARCEL OF LAND SHOWN ON THIS ASSESSMENT DIAGRAM.

CITY ENGINEER
CITY OF NEWARK

4. FILED THIS _____ DAY OF _____, 2017, AT THE HOUR OF _____ O'CLOCK _____ M. IN BOOK _____ OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AT PAGE _____ IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA.

COUNTY RECORDER,
COUNTY OF ALAMEDA

ASSESSMENT DIAGRAM OF
LANDSCAPE AND LIGHTING DISTRICT NO. 19
ANNEXATION NO. 3 (TRACT 8098 - GLASS BAY)
CITY OF NEWARK, COUNTY OF ALAMEDA
STATE OF CALIFORNIA



Harris & Associates

DATE: AUGUST 23, 2017 SHEET: 1 OF 1

E.12 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 10 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 10. This district is a consolidated district which includes miscellaneous developments at several locations. These locations and the work involved are as follows:

- 10a. The maintenance of Jarvis Avenue and Lido Boulevard median-island and street landscaping, and lighting adjacent to the boundaries of Tract 5318, Lexington Square.
- 10b. Maintenance of landscaping and the landscape irrigation system within easement areas adjacent to the public right-of-way on the north side of Central Avenue between the Nimitz Freeway and Timber Street.
- 10c. Maintenance of landscaping and the landscape irrigation system within easement areas adjacent to the public right-of-way on Morton Avenue for Geomax.
- 10d. Maintenance of landscaping and the landscape irrigation system within easement areas adjacent to the public right-of-way on Enterprise Court and Enterprise Drive for Parcel 1 of Tentative Parcel Map 5109.
- 10e. Maintenance of landscaping and the landscape irrigation system adjacent to Cedar Boulevard south of Mowry Avenue for Jiffy Lube.
- 10f. Maintenance of landscaping and the landscape irrigation system for the apartment complex at the intersection of Rich Avenue and Magnolia Street.
- 10g. Maintenance of landscaping and the landscape irrigation system within easement areas on Smith Avenue and Cedar Boulevard for the Cedar Boulevard Neighborhood Church.
- 10h. Maintenance of landscaping and the landscape irrigation system within easement areas for the parcel adjacent to Eucalyptus Grove Park.
- 10i. Maintenance of landscaping and the landscape irrigation system within easement areas and the public right-of-way on Cherry Street for Thoro Systems.
- 10j. Maintenance of landscaping and the landscape irrigation system within the public right-of-way and easement areas for the King & Lyons development at Thornton Avenue and Willow Street.
- 10k. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Central Avenue for Bay Mirror.

- 10l. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and easement areas on Cedar Boulevard near Moores Avenue for Empire Tractor.
- 10m. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Mowry Avenue for the property at the northeast corner of Mowry Avenue and Cedar Boulevard.
- 10n. The maintenance of street lighting within the public right-of-way and landscaping and the landscape irrigation system within the public right-of-way and easement areas adjacent to the public right-of-way on Cedar Boulevard and Balentine Drive for TJ Maxx.
- 10o. The maintenance of street lighting within the public right-of-way and landscaping and the landscape irrigation system within the public right-of-way and the easement areas adjacent to the public right-of-way on Newark Boulevard and Cedar Boulevard for Lido Faire Shopping Center.
- 10p. The maintenance of street lighting within the public right-of-way and landscaping and the landscape irrigation system within the public right-of-way on Sycamore Street for B.K. Mills.
- 10q. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Magnolia Street for the Moose Lodge.
- 10r. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Central Avenue at the Southern Pacific railroad right-of-way for Leslie Salt Company.
- 10s. The maintenance of landscaping and the landscape irrigation system within landscape easement areas on Cedar Boulevard at Central Avenue for Parcel 1 of Parcel Map 4073.
- 10t. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cedar Boulevard north of Lake Boulevard for Lot 5 of Tract 5361.
- 10u. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Magnolia Street south of Graham Avenue for Parcel 1 of Parcel Map 6178.
- 10v. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Smith Avenue west of Cherry Street for Parcel 4 of Parcel Map 1425.

- 10w. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cedar Boulevard and Mowry Avenue for Parcels 1, 2, 3, and 6 of Parcel Map 3028.
- 10x. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on the cul-de-sac of Enterprise Court at 37569 Enterprise Court.
- 10y. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Magnolia Street and Graham Avenue at 37088 Magnolia Street (formerly 6963 Graham Avenue).
- 10z. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on the Thornton Avenue and Locust Street frontage of 37010 Locust Street.
- 10aa. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Enterprise Drive and Hickory Street at 8610 Enterprise Drive.
- 10ac. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Thornton Avenue and Sycamore Street at 7275 Thornton Avenue.
- 10ad. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Thornton Avenue at 6152 Thornton Avenue.
- 10ae. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cedar Boulevard south of Mowry Avenue.
- 10af. The maintenance of landscaping, the landscape irrigation system, and the concrete block wall within the public right-of-way and adjacent easement areas on Mowry Avenue and Cedar Boulevard for the shopping center that includes 5789 Mowry Avenue.
- 10ag. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Hickory Street at 37137 Hickory Street.
- 10ah. The maintenance of median-island landscaping and lighting, and street frontage landscaping up to 30 feet in width along all streets within the boundaries of Bridgeway Technology Park on Fircrest Street.
- 10ai. The maintenance of lighting within public right-of-way and landscaping and landscape irrigation system within easement areas adjacent to the public right-of-way along Dairy

Avenue, Newark Boulevard, and Thornton Avenue for the Foxwood condominium project.

- 10aj. The maintenance of lighting within public right-of-way and landscaping and landscape irrigation system within easement areas adjacent to the public right-of-way on Magnolia Street, Graham Avenue, and Sycamore Street for the Summerhill Apartments.
- 10ak. The maintenance of lighting within public right-of-way and landscaping and landscape irrigation system within easement areas adjacent to the public right-of-way on Cherry Street and Dairy Avenue for the Summerhill Apartments.
- 10al. Maintenance of landscaping, landscape irrigation and lighting within the entire street right-of-way of Potrero Avenue; the easterly portion of Cherry Street, Buena Vista Drive and Parada Street contiguous to Tract 5869; and the easterly portion of Parada Street contiguous to Tract 5810; and the northerly portion of Stevenson Boulevard contiguous to Tract 5810, excluding the median islands within Cherry Street and Stevenson Boulevard.
- 10am. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and easement areas on Smith Avenue for the Oatey Company.
- 10an. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Thornton Avenue at Cedar Boulevard for Newark Square shopping center.
- 10ao. The maintenance and/or construction of landscaping and the irrigation system within the public right-of-way and adjacent easement areas on the Mowry School Road frontage of the property to the rear of Fremont Ford.
- 10ap. The construction and maintenance of landscaping and an irrigation system within the public right-of-way and adjacent easement areas on Morton Avenue for Morton Salt.
- 10aq. Construction and maintenance of landscaping and the landscape irrigation system within the public right-of-way and easement areas on the Cedar Boulevard frontage of the shopping center on the northwest corner of Newark Boulevard and Cedar Boulevard.
- 10ar. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Central Avenue and on Clark Avenue for Matheson Gas.
- 10as. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Smith Avenue at 6565 Smith Avenue.

- 10at. The construction and/or maintenance of the Art in Public Places Element required in accordance with Newark City Council Resolution No. 5682 within the public right-of-way and/or adjacent easement areas on Parcels 1 and 2 of Tract 5343.
- 10au. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Newark Boulevard at 35193 Newark Boulevard.
- 10av. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cedar Boulevard at 37300 Cedar Boulevard.
- 10aw. The maintenance and/or construction of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Fircrest Street at Assessor's Parcel No. 537-460-12-3.
- 10ax. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Enterprise Drive and Willow Street at 8400 Enterprise Drive.
- 10ay. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Mowry Avenue and Cherry Street.
- 10az. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Balentine Drive at Parcel 1 of Parcel Map 6692.
- 10ba. The maintenance and/or construction of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cherry Street north of Thornton Avenue.
- 10bb. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Jarvis Avenue and Newark Boulevard.
- 10bc. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cherry Street south of Robertson Avenue.
- 10bd. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Filbert Street and Central Avenue.
- 10be. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement along the street frontage on Balentine Drive.

Since this district is for properties responsible for their own maintenance, all property owners for all subdistricts in this district will receive a “zero” assessment for 2018-2019.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 10 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 10

(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 10, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 10

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 10
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 10, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- 10a. The maintenance of Jarvis Avenue and Lido Boulevard median-island and street landscaping, and lighting adjacent to the boundaries of Tract 5318, Lexington Square.
- 10b. Maintenance of landscaping and the landscape irrigation system within easement areas adjacent to the public right-of-way on the north side of Central Avenue between the Nimitz Freeway and Timber Street.
- 10c. Maintenance of landscaping and the landscape irrigation system within easement areas adjacent to the public right-of-way on Morton Avenue for Geomax.
- 10d. Maintenance of landscaping and the landscape irrigation system within easement areas adjacent to the public right-of-way on Enterprise Court and Enterprise Drive for Parcel 1 of Tentative Parcel Map 5109.
- 10e. Maintenance of landscaping and the landscape irrigation system adjacent to Cedar Boulevard south of Mowry Avenue for Jiffy Lube.
- 10f. Maintenance of landscaping and the landscape irrigation system for the apartment complex at the intersection of Rich Avenue and Magnolia Street.
- 10g. Maintenance of landscaping and the landscape irrigation system within easement areas on Smith Avenue and Cedar Boulevard for the Cedar Boulevard Neighborhood Church.
- 10h. Maintenance of landscaping and the landscape irrigation system within easement areas for the parcel adjacent to Eucalyptus Grove Park.
- 10i. Maintenance of landscaping and the landscape irrigation system within easement areas and the public right-of-way on Cherry Street for Thoro Systems.
- 10j. Maintenance of landscaping and the landscape irrigation system within the public right-of-way and easement areas for the King & Lyons development at Thornton Avenue and Willow Street.

- 10k. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Central Avenue for Bay Mirror.
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- 10o. The maintenance of street lighting within the public right-of-way and landscaping and the landscape irrigation system within the public right-of-way and the easement areas adjacent to the public right-of-way on Newark Boulevard and Cedar Boulevard for Lido Faire Shopping Center.
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- 10s. The maintenance of landscaping and the landscape irrigation system within landscape easement areas on Cedar Boulevard at Central Avenue for Parcel 1 of Parcel Map 4073.
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- 10u. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Magnolia Street south of Graham Avenue for Parcel 1 of Parcel Map 6178.
- 10v. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Smith Avenue west of Cherry Street for Parcel 4 of Parcel Map 1424.

- 10w. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cedar Boulevard and Mowry Avenue for Parcels 1, 2, 3, and 6 of Parcel Map 3028.
- 10x. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on the cul-de-sac of Enterprise Court at 37569 Enterprise Court.
- 10y. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Magnolia Street and Graham Avenue at 37088 Magnolia Street (formerly 6963 Graham Avenue).
- 10z. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on the Thornton Avenue and Locust Street frontage of 37010 Locust Street.
- 10aa. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Enterprise Drive and Hickory Street at 8610 Enterprise Drive.
- 10ac. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Thornton Avenue and Sycamore Street at 7275 Thornton Avenue.
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- 10ai. The maintenance of lighting within public right-of-way and landscaping and landscape irrigation system within easement areas adjacent to the public right-of-way along Dairy Avenue, Newark Boulevard, and Thornton Avenue for the Foxwood

condominium project.

- 10aj. The maintenance of lighting within public right-of-way and landscaping and landscape irrigation system within easement areas adjacent to the public right-of-way on Magnolia Street, Graham Avenue, and Sycamore Street for the Summerhill Apartments.
- 10ak. The maintenance of lighting within public right-of-way and landscaping and landscape irrigation system within easement areas adjacent to the public right-of-way on Cherry Street and Dairy Avenue for the Summerhill Apartments.
- 10al. Maintenance of landscaping, landscape irrigation and lighting within the entire street right-of-way of Potrero Avenue; the easterly portion of Cherry Street, Buena Vista Drive and Parada Street contiguous to Tract 5869; and the easterly portion of Parada Street contiguous to Tract 5810; and the northerly portion of Stevenson Boulevard contiguous to Tract 5810, excluding the median islands within Cherry Street and Stevenson Boulevard.
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- 10ao. The maintenance and/or construction of landscaping and the irrigation system within the public right-of-way and adjacent easement areas on the Mowry School Road frontage of the property to the rear of Fremont Ford.
- 10ap. The construction and maintenance of landscaping and an irrigation system within the public right-of-way and adjacent easement areas on Morton Avenue for Morton Salt.
- 10aq. Construction and maintenance of landscaping and the landscape irrigation system within the public right-of-way and easement areas on the Cedar Boulevard frontage of the shopping center on the northwest corner of Newark Boulevard and Cedar Boulevard.
- 10ar. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Central Avenue and on Clark Avenue for Matheson Gas.
- 10as. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Smith Avenue at 6565 Smith Avenue.
- 10at. The construction and/or maintenance of the Art in Public Places Element required in accordance with Newark City Council Resolution No. 5682 within the public right-of-way and/or adjacent easement areas on Parcels 1 and 2 of Tract 5343.

- 10au. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Newark Boulevard at 35193 Newark Boulevard.
- 10av. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cedar Boulevard at 37300 Cedar Boulevard.
- 10aw. The maintenance and/or construction of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Fircrest Street at Assessor's Parcel No. 537-460-12-3.
- 10ax. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Enterprise Drive and Willow Street at 8400 Enterprise Drive.
- 10ay. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Mowry Avenue and Cherry Street.
- 10az. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Balentine Drive at Parcel 1 of Parcel Map 6692.
- 10ba. The maintenance and/or construction of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cherry Street north of Thornton Avenue.
- 10bb. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Jarvis Avenue and Newark Boulevard.
- 10bc. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Cherry Street south of Robertson Avenue.
- 10bd. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement areas on Filbert Street and Central Avenue.
- 10be. The maintenance of landscaping and the landscape irrigation system within the public right-of-way and adjacent easement along the street frontage on Balentine Drive.

Costs shall include all maintenance and operation costs including normal upkeep, operating expenses, management expenses, replacement and replanting costs.

This report consists of the following:

PART A - Plans and specifications for the improvement.

PART B - An estimate of the cost of improvement.

PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.

PART D - Rules for spreading the assessment among the benefited parcels of land.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 10

2018-2019 Fiscal Year

Consolidated (Inactive) District

EXHIBIT B - ANNUAL BUDGET

LANDSCAPE & IRRIGATION SYSTEM COSTS

	2017-18 Budgeted	2017-18 Estimated	2018-19 Proposed
- Contractual Maintenance Costs	0	0	0
- Sweeping	0	0	0
- Irrigation Costs/Water/PG&E	0	0	0
- Irrigation Sprinkler Repairs	0	0	0
- Planting Replacement	0	0	0
- Bid Advertisement	0	0	0
Subtotal	\$0	\$0	\$0

OTHER COSTS

- Contingencies	0	0	0
- Computer tape for Alameda County	0	0	0
Subtotal	\$0	\$0	\$0

Subtotal \$0 \$0 \$0

INCIDENTAL EXPENSES

- Contract Administration (10%)			0
- Inspection (4%)			0
- Design, Engineering for bids (10%)			0
- Use of existing plans (4%)			0
- Assessment Engineering			0

Subtotal \$0

TOTAL ANNUAL COST \$0

COLLECTION CHARGES

- Alameda County Collection Charges			0
(Collection Percentage)	.170%		

TOTAL AMOUNT TO BE ASSESSED \$0

TOTAL AMOUNT TO BE ASSESSED (ROUNDED) \$0

LANDSCAPING AND LIGHTING DISTRICT NO. 10

2018-2019 Fiscal Year

Consolidated (Inactive) District

EXHIBIT C - ASSESSMENT ROLL

Note: Total assessment for each parcel is \$0.00

L&L Parcel	Assessor's Parcel No.	L&L Parcel	Assessor's Parcel No.	L&L Parcel	Assessor's Parcel No.
Zone 10a - Lexington Square					
1	92A-2594-1	31	92A-2594-31	61	92A-2594-61
2	92A-2594-2	32	92A-2594-32	62	92A-2594-62
3	92A-2594-3	33	92A-2594-33	63	92A-2594-63
4	92A-2594-4	34	92A-2594-34	64	92A-2594-64
5	92A-2594-5	35	92A-2594-35	65	92A-2594-65
6	92A-2594-6	36	92A-2594-36	66	92A-2594-66
7	92A-2594-7	37	92A-2594-37	67	92A-2594-67
8	92A-2594-8	38	92A-2594-38	68	92A-2594-68
9	92A-2594-9	39	92A-2594-39	69	92A-2594-69
10	92A-2594-10	40	92A-2594-40	70	92A-2594-70
11	92A-2594-11	41	92A-2594-41	71	92A-2594-71
12	92A-2594-12	42	92A-2594-42	72	92A-2594-72
13	92A-2594-13	43	92A-2594-43	73	92A-2594-73
14	92A-2594-14	44	92A-2594-44	74	92A-2594-74
15	92A-2594-15	45	92A-2594-45	75	92A-2594-75
16	92A-2594-16	46	92A-2594-46	76	92A-2594-76
17	92A-2594-17	47	92A-2594-47	77	92A-2594-77
18	92A-2594-18	48	92A-2594-48	78	92A-2594-78
19	92A-2594-19	49	92A-2594-49	79	92A-2594-79
20	92A-2594-20	50	92A-2594-50		
21	92A-2594-21	51	92A-2594-51		
22	92A-2594-22	52	92A-2594-52		
23	92A-2594-23	53	92A-2594-53		
24	92A-2594-24	54	92A-2594-54		
25	92A-2594-25	55	92A-2594-55		
26	92A-2594-26	56	92A-2594-56		
27	92A-2594-27	57	92A-2594-57		
28	92A-2594-28	58	92A-2594-58		
29	92A-2594-29	59	92A-2594-59		
30	92A-2594-30	60	92A-2594-60		

Zone 10b - Central Avenue at i-880

1	92A-2010-8
2	92A-2010-9
3	92A-2010-10
4	92A-2010-11
5	92A-2010-12
6	92A-2010-13

Zone 10c - Morton Avenue

1	537-751-2
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h:\afiles\LL Districts\Annual Budgets\2017 ll10 prelim - 6/18/2018

- 2 537-751-3
- 3 537-751-4

Zone 10d - Enterprise Drive at Enterprise Ct.

- 1 92-251-15
- 2 92-251-16
- 3 92-251-17
- 4 92-251-18
- 5 92-251-19
- 6 92-251-20
- 7 92-251-21

Zone 10e - Cedar Boulevard south of Mowry Avenue

- 1 901-188-15

Zone 10f - Rich Avenue at Magnolia Street

- 1 92-53-2

Zone 10g - Cedar Boulevard at Smith Avenue

- 1 92A-2375-4-3

Zone 10h - Cedar Boulevard south of Mowry Avenue

- 1 901-111-7
- 2 901-111-8
- 3 901-111-9

Zone 10i - Cherry Street at Smith Avenue

- 1 92A-2300-6-12

Zone 10j - Thornton Avenue at Willow Street

- 1 92-100-11-4

Zone 10k - Central Avenue opposite Sycamore Street

- 1 92A-2165-14

Zone 10l - Cedar Boulevard at Moores Avenue

- 1 92A-2585-12-1
- 2 92A-2585-31

Zone 10m - Mowry Avenue at Cedar Boulevard

- 1 92A-2549-67
- 2 92A-2549-68

Zone 10n - Cedar Boulevard at Balentine Drive

- 1 901-111-5

Zone 10o - Lido Faire Shopping Center

- 1 92A-601-8-2

Zone 10p - Sycamore Street at SPRR

- 1 92-68-5

Zone 10q - Magnolia Street at Rich Avenue

- 1 92-52-1-4

Zone 10r - Cargill Salt Company

1 537-751-7

Zone 10s - Cedar Boulevard north of Central Avenue

1 92A-2010-8

Zone 10t - Holy Redeemer Church

1 92A-750-8

Zone 10u - Magnolia Street south of Graham Avenue

1 92-61-13

Zone 10v - Evergreen Oil Company

1 92A-2300-10-3

Zone 10w - Cedar Boulevard south of Mowry Avenue

1 901-188-1

2 901-188-2

3 901-188-3

4 901-188-4

5 901-188-5

6 901-188-8

Zone 10x - Enterprise Court

1 92-251-10

Zone 10y - Magnolia Street at Graham Avenue

1 92-52-17-2

Zone 10z - Thornton Avenue at Locust Street

1 92-126-20

Zone 10aa - Enterprise Drive west of Willow Street

1 92-115-5

Zone 10ab - Inland Container Co.

1 92A-2000-1-6

2 92A-1115-1-7

3 92A-1110-1-1

Zone 10 ac - Thornton Avenue at Sycamore Street

1 92-32-11-02

Zone 10ad - Thornton Avenue west of Newark Boulevard

1 92A-1036-31-2

Zone 10ae - Cedar Boulevard south of Mowry Avenue

1 901-188-7

Zone 10 af - Mowry Avenue opposite Newpark Mall

1 92A-2587-4

Zone 10 ag - Hickory Street

1 537-555-25

2 537-555-26

Zone 10ah - Fircrest Street

- 1 537-460-13
- 2 537-460-14
- 3 537-460-15
- 4 537-460-16
- 5 537-460-17
- 6 537-460-18
- 7 537-460-19
- 8 537-460-20
- 9 537-460-21
- 10 537-460-22
- 11 537-460-23
- 12 537-460-24
- 13 537-460-25 (Por)
- 14 537-500-4
- 15 537-500-5
- 16 537-500-6
- 17 537-500-7

Zone 10ai - Foxwood

L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
1	92A-2595-14	41	92A-2595-56	81	92A-2595-98
2	92A-2595-15	42	92A-2595-57	82	92A-2595-100
3	92A-2595-16	43	92A-2595-58	83	92A-2595-101
4	92A-2595-17	44	92A-2595-59	84	92A-2595-102
5	92A-2595-18	45	92A-2595-60	85	92A-2595-103
6	92A-2595-19	46	92A-2595-61	86	92A-2595-104
7	92A-2595-20	47	92A-2595-62	87	92A-2595-105
8	92A-2595-21	48	92A-2595-63	88	92A-2595-106
9	92A-2595-22	49	92A-2595-64	89	92A-2595-107
10	92A-2595-23	50	92A-2595-65	90	92A-2595-108
11	92A-2595-24	51	92A-2595-67	91	92A-2595-109
12	92A-2595-25	52	92A-2595-68	92	92A-2595-110
13	92A-2595-26	53	92A-2595-69	93	92A-2595-111
14	92A-2595-27	54	92A-2595-70	94	92A-2595-112
15	92A-2595-28	55	92A-2595-71	95	92A-2595-113
16	92A-2595-29	56	92A-2595-72	96	92A-2595-114
17	92A-2595-30	57	92A-2595-73	97	92A-2595-115
18	92A-2595-31	58	92A-2595-74	98	92A-2595-116
19	92A-2595-32	59	92A-2595-75	99	92A-2595-117
20	92A-2595-33	60	92A-2595-76	100	92A-2595-118
21	92A-2595-34	61	92A-2595-77	101	92A-2595-119
22	92A-2595-35	62	92A-2595-78	102	92A-2595-120
23	92A-2595-36	63	92A-2595-79	103	92A-2595-121
24	92A-2595-37	64	92A-2595-80	104	92A-2595-122
25	92A-2595-39	65	92A-2595-81	105	92A-2595-123
26	92A-2595-40	66	92A-2595-82	106	92A-2595-124
27	92A-2595-41	67	92A-2595-84	107	92A-2595-126
28	92A-2595-42	68	92A-2595-85	108	92A-2595-127
29	92A-2595-43	69	92A-2595-86	109	92A-2595-128
30	92A-2595-44	70	92A-2595-87	110	92A-2595-129
31	92A-2595-45	71	92A-2595-88	111	92A-2595-130
32	92A-2595-46	72	92A-2595-89	112	92A-2595-131
33	92A-2595-47	73	92A-2595-90	113	92A-2595-132
34	92A-2595-48	74	92A-2595-91	114	92A-2595-133
35	92A-2595-49	75	92A-2595-92	115	92A-2595-134
36	92A-2595-50	76	92A-2595-93	116	92A-2595-135
37	92A-2595-51	77	92A-2595-94	117	92A-2595-137
38	92A-2595-52	78	92A-2595-95	118	92A-2595-138
39	92A-2595-54	79	92A-2595-96	119	92A-2595-139
40	92A-2595-55	80	92A-2595-97	120	92A-2595-140

Zone 10ai - Foxwood (Cont)

L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
121	92A-2595-141	151	92A-2595-173	181	92A-2595-205
122	92A-2595-142	152	92A-2595-174	182	92A-2595-206
123	92A-2595-143	153	92A-2595-176	183	92A-2595-207
124	92A-2595-144	154	92A-2595-177		
125	92A-2595-145	155	92A-2595-178		
126	92A-2595-146	156	92A-2595-179		
127	92A-2595-147	157	92A-2595-180		
128	92A-2595-148	158	92A-2595-181		
129	92A-2595-149	159	92A-2595-182		
130	92A-2595-151	160	92A-2595-183		
131	92A-2595-152	161	92A-2595-184		
132	92A-2595-153	162	92A-2595-185		
133	92A-2595-154	163	92A-2595-186		
134	92A-2595-155	164	92A-2595-187		
135	92A-2595-156	165	92A-2595-188		
136	92A-2595-157	166	92A-2595-189		
137	92A-2595-158	167	92A-2595-190		
138	92A-2595-160	168	92A-2595-191		
139	92A-2595-161	169	92A-2595-192		
140	92A-2595-162	170	92A-2595-193		
141	92A-2595-163	171	92A-2595-194		
142	92A-2595-164	172	92A-2595-196		
143	92A-2595-165	173	92A-2595-197		
144	92A-2595-166	174	92A-2595-198		
145	92A-2595-167	175	92A-2595-199		
146	92A-2595-168	176	92A-2595-200		
147	92A-2595-169	177	92A-2595-201		
148	92A-2595-170	178	92A-2595-202		
149	92A-2595-171	179	92A-2595-203		
150	92A-2595-172	180	92A-2595-204		

Zone 10aj - Sycamore Street at Graham Avenue

1 92-53-5

Zone 10ak - Cherry Street north of Thornton Avenue

1 92A-919-28-2

Zone 10a1 - Nantuckett Commons

1	901-193-215	36	901-193-250	71	901-193-285
2	901-193-216	37	901-193-251	72	901-193-286
3	901-193-217	38	901-193-252	73	901-193-287
4	901-193-218	39	901-193-253	74	901-193-288
5	901-193-219	40	901-193-254	75	901-193-289
6	901-193-220	41	901-193-255	76	901-193-290
7	901-193-221	42	901-193-256	77	901-193-291
8	901-193-222	43	901-193-257	78	901-193-292
9	901-193-223	44	901-193-258	79	901-193-293
10	901-193-224	45	901-193-259	80	901-193-294
11	901-193-225	46	901-193-260	81	901-193-295
12	901-193-226	47	901-193-261	82	901-193-296
13	901-193-227	48	901-193-262	83	901-193-297
14	901-193-228	49	901-193-263	84	901-193-298
15	901-193-229	50	901-193-264	85	901-193-299
16	901-193-230	51	901-193-265	86	901-193-300
17	901-193-231	52	901-193-266	87	901-193-301
18	901-193-232	53	901-193-267	88	901-193-302
19	901-193-233	54	901-193-268	89	901-193-303
20	901-193-234	55	901-193-269	90	901-193-304
21	901-193-235	56	901-193-270	91	901-193-305
22	901-193-236	57	901-193-271	92	901-193-306
23	901-193-237	58	901-193-272	93	901-193-307
24	901-193-238	59	901-193-273	94	901-193-308
25	901-193-239	60	901-193-274	95	901-193-309
26	901-193-240	61	901-193-275	96	901-193-310
27	901-193-241	62	901-193-276	97	901-193-311
28	901-193-242	63	901-193-277	98	901-193-312
29	901-193-243	64	901-193-278	99	901-193-313
30	901-193-244	65	901-193-279	100	901-193-314
31	901-193-245	66	901-193-280		
32	901-193-246	67	901-193-281		
33	901-193-247	68	901-193-282		
34	901-193-248	69	901-193-283		
35	901-193-249	70	901-193-284		

Zone 10a1 - Nantuckett Commons (cont)

101	901-193-315	151	901-193-365	201	901-193-415
102	901-193-316	152	901-193-366	202	901-193-416
103	901-193-317	153	901-193-367	203	901-193-417
104	901-193-318	154	901-193-368	204	901-193-418
105	901-193-319	155	901-193-369	205	901-193-419
106	901-193-320	156	901-193-370	206	901-193-420
107	901-193-321	157	901-193-371	207	901-193-421
108	901-193-322	158	901-193-372	208	901-193-422
109	901-193-323	159	901-193-373	209	901-193-423
110	901-193-324	160	901-193-374	210	901-193-424
111	901-193-325	161	901-193-375	211	901-193-425
112	901-193-326	162	901-193-376	212	901-193-426
113	901-193-327	163	901-193-377	213	901-193-427
114	901-193-328	164	901-193-378	214	901-193-428
115	901-193-329	165	901-193-379	215	901-193-429
116	901-193-330	166	901-193-380	216	901-193-430
117	901-193-331	167	901-193-381	217	901-193-431
118	901-193-332	168	901-193-382	218	901-193-432
119	901-193-333	169	901-193-383	219	901-193-433
120	901-193-334	170	901-193-384	220	901-193-434
121	901-193-335	171	901-193-385	221	901-193-435
122	901-193-336	172	901-193-386	222	901-193-436
123	901-193-337	173	901-193-387	223	901-193-437
124	901-193-338	174	901-193-388	224	901-193-438
125	901-193-339	175	901-193-389	225	901-193-439
126	901-193-340	176	901-193-390	226	901-193-440
127	901-193-341	177	901-193-391	227	901-193-441
128	901-193-342	178	901-193-392	228	901-193-442
129	901-193-343	179	901-193-393	229	901-193-443
130	901-193-344	180	901-193-394	230	901-193-444
131	901-193-345	181	901-193-395	231	901-193-445
132	901-193-346	182	901-193-396	232	901-193-446
133	901-193-347	183	901-193-397	233	901-193-447
134	901-193-348	184	901-193-398	234	901-193-448
135	901-193-349	185	901-193-399	235	901-193-449
136	901-193-350	186	901-193-400	236	901-193-450
137	901-193-351	187	901-193-401	237	901-193-451
138	901-193-352	188	901-193-402	238	901-193-452
139	901-193-353	189	901-193-403	239	901-193-453
140	901-193-354	190	901-193-404	240	901-193-454
141	901-193-355	191	901-193-405	241	901-193-455
142	901-193-356	192	901-193-406	242	901-193-456
143	901-193-357	193	901-193-407	243	901-193-457
144	901-193-358	194	901-193-408	244	901-193-458
145	901-193-359	195	901-193-409	245	901-193-459
146	901-193-360	196	901-193-410	246	901-193-460
147	901-193-361	197	901-193-411	247	901-193-461
148	901-193-362	198	901-193-412	248	901-193-462
149	901-193-363	199	901-193-413	249	901-193-463
150	901-193-364	200	901-193-414	250	901-193-464

Zone 10a1 - Nantuckett Commons (cont)

251	901-193-465	301	901-193-515	351	901-193-565
252	901-193-466	302	901-193-516	352	901-193-566

253	901-193-467	303	901-193-517	353	901-193-567
254	901-193-468	304	901-193-518	354	901-193-568
255	901-193-469	305	901-193-519	355	901-193-569
256	901-193-470	306	901-193-520	356	901-193-570
257	901-193-471	307	901-193-521	357	901-193-571
258	901-193-472	308	901-193-522	358	901-193-572
259	901-193-473	309	901-193-523	359	901-193-573
260	901-193-474	310	901-193-524	360	901-193-574
261	901-193-475	311	901-193-525	361	901-193-575
262	901-193-476	312	901-193-526	362	901-193-576
263	901-193-477	313	901-193-527	363	901-193-577
264	901-193-478	314	901-193-528	364	901-193-578
265	901-193-479	315	901-193-529	365	901-193-579
266	901-193-480	316	901-193-530	366	901-193-580
267	901-193-481	317	901-193-531	367	901-193-581
268	901-193-482	318	901-193-532	368	901-193-582
269	901-193-483	319	901-193-533	369	901-193-583
270	901-193-484	320	901-193-534	370	901-193-584
271	901-193-485	321	901-193-535	371	901-193-585
272	901-193-486	322	901-193-536	372	901-193-586
273	901-193-487	323	901-193-537	373	901-193-587
274	901-193-488	324	901-193-538	374	901-193-588
275	901-193-489	325	901-193-539	375	901-193-589
276	901-193-490	326	901-193-540	376	901-193-590
277	901-193-491	327	901-193-541	377	901-193-591
278	901-193-492	328	901-193-542	378	901-193-592
279	901-193-493	329	901-193-543	379	901-193-593
280	901-193-494	330	901-193-544	380	901-193-594
281	901-193-495	331	901-193-545	381	901-193-595
282	901-193-496	332	901-193-546	382	901-193-596
283	901-193-497	333	901-193-547	383	901-193-597
284	901-193-498	334	901-193-548	384	901-193-598
285	901-193-499	335	901-193-549	385	901-193-599
286	901-193-500	336	901-193-550	386	901-193-600
287	901-193-501	337	901-193-551	387	901-193-601
288	901-193-502	338	901-193-552	388	901-193-602
289	901-193-503	339	901-193-553	389	901-193-603
290	901-193-504	340	901-193-554	390	901-193-604
291	901-193-505	341	901-193-555	391	901-193-605
292	901-193-506	342	901-193-556	392	901-193-606
293	901-193-507	343	901-193-557	393	901-193-607
294	901-193-508	344	901-193-558	394	901-193-608
295	901-193-509	345	901-193-559	395	901-193-609
296	901-193-510	346	901-193-560	396	901-193-610
297	901-193-511	347	901-193-561	397	901-193-611
298	901-193-512	348	901-193-562	398	901-193-612
299	901-193-513	349	901-193-563	399	901-193-613
300	901-193-514	350	901-193-564	400	901-193-614

Zone 10aI - Nantucket Commons (cont)

401	901-193-615	451	901-193-665	501	901-193-715
402	901-193-616	452	901-193-666	502	901-193-716
403	901-193-617	453	901-193-667	503	901-193-717
404	901-193-618	454	901-193-668	504	901-193-718
405	901-193-619	455	901-193-669	505	901-193-719

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406	901-193-620	456	901-193-670	506	901-193-720
407	901-193-621	457	901-193-671	507	901-193-721
408	901-193-622	458	901-193-672	508	901-193-722
409	901-193-623	459	901-193-673	509	901-193-723
410	901-193-624	460	901-193-674	510	901-193-724
411	901-193-625	461	901-193-675	511	901-193-725
412	901-193-626	462	901-193-676	512	901-193-726
413	901-193-627	463	901-193-677	513	901-193-727
414	901-193-628	464	901-193-678	514	901-193-728
415	901-193-629	465	901-193-679	515	901-193-729
416	901-193-630	466	901-193-680	516	901-193-730
417	901-193-631	467	901-193-681	517	901-193-731
418	901-193-632	468	901-193-682	518	901-193-732
419	901-193-633	469	901-193-683	519	901-193-733
420	901-193-634	470	901-193-684	520	901-193-734
421	901-193-635	471	901-193-685	521	901-193-735
422	901-193-636	472	901-193-686	522	901-193-736
423	901-193-637	473	901-193-687	523	901-193-737
424	901-193-638	474	901-193-688	524	901-193-738
425	901-193-639	475	901-193-689	525	901-193-739
426	901-193-640	476	901-193-690	526	901-193-740
427	901-193-641	477	901-193-691	527	901-193-741
428	901-193-642	478	901-193-692	528	901-193-742
429	901-193-643	479	901-193-693	529	901-193-743
430	901-193-644	480	901-193-694	530	901-193-744
431	901-193-645	481	901-193-695	531	901-193-745
432	901-193-646	482	901-193-696	532	901-193-746
433	901-193-647	483	901-193-697	533	901-193-747
434	901-193-648	484	901-193-698	534	901-193-748
435	901-193-649	485	901-193-699	535	901-193-749
436	901-193-650	486	901-193-700	536	901-193-750
437	901-193-651	487	901-193-701	537	901-193-751
438	901-193-652	488	901-193-702	538	901-193-752
439	901-193-653	489	901-193-703	539	901-193-753
440	901-193-654	490	901-193-704	540	901-193-754
441	901-193-655	491	901-193-705	541	901-193-755
442	901-193-656	492	901-193-706	542	901-193-756
443	901-193-657	493	901-193-707	543	901-193-757
444	901-193-658	494	901-193-708	544	901-193-758
445	901-193-659	495	901-193-709	545	901-193-759
446	901-193-660	496	901-193-710	546	901-193-760
447	901-193-661	497	901-193-711	547	901-193-761
448	901-193-662	498	901-193-712	548	901-193-762
449	901-193-663	499	901-193-713	549	901-193-763
450	901-193-664	500	901-193-714	550	901-193-764

Zone 10al - Nantucket Commons (cont)

551	901-193-765
552	901-193-766
553	901-193-767
554	901-193-768
555	901-193-769
556	901-193-770
557	901-193-771
558	901-193-772

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559	901-193-773
560	901-193-774
561	901-193-775
562	901-193-776

No Assessment (Common Areas)

563	901-191-5
564	901-191-6
565	901-191-7
566	901-192-5
567	901-192-6

Zone 10am - Oatey Company

1	92A-2300-12-2
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Zone 10an - Newark Square Shopping Center

1	92A-1006-7
2	92A-1006-12
3	92A-1006-13

Zone 10ao - Mowry School Road

1	901-111-2
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Zone 10ap - Morton Salt Company

1	537-751-6
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Zone 10aq - Lido Faire Shopping Center

1	92A-601-8-2
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Zone 10ar - Matheson Gas

1	92-73-11
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Zone 10as - Smith Avenue West of Cherry Street

1	92A-2300-1-26
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Zone 10at - Overlake Place

1	537-460-13
2	537-460-14

Zone 10au - Long John Silvers

1	92A-601-5
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Zone 10at - Cedar Boulevard s/o SPRR

1	92A-2010-4
2	92A-2010-5
3	92A-2010-6
4	92A-2010-7

Zone 10aw - Fircrest Street

1	537-460-12-3
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Zone 10ax - Enterprise Drive at Willow Street

1 92-116-58

Zone 10ay - Mowry Avenue at Cherry Street

1 92A-2500-6
2 92A-2500-7
3 92A-2500-8
4 92A-2500-9

Zone 10az - Singer Buick/Cadillac

1 901-195-31

Zone 10ba - Cherry Street north of Thrornton Avenue

1 92-29-10-2
2 92-29-11-2

Zone 10bb - Chevron/Newark Boulevard at Jarvis Avenue

1 92A-601-1-57

Zone 10bc - Cherry Street south of Robertson Avenue

1 92A-2300-20

Zone 10bd - Filbert Street at Central Avenue

1 92-155-18

Zone 10be - Saturn of Newark

1 901-195-33

PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 10

METHOD OF APPORTIONMENT OF ASSESSMENT

The total cost of the project, including incidental costs, will be spread on the basis of frontage to each property in the district fronting the work to be done.

E.13 Hearing to consider annual levy of assessment in conjunction with Landscaping and Lighting District No. 11 – from Public Works Director Fajeau. (RESOLUTION)

Background/Discussion – The City Council has set June 28, 2018, as the date for the public hearing for the annual levy of assessments in conjunction with Landscaping and Lighting District No. 11. This district provides for the maintenance of landscaped medians on Edgewater Drive and Parkshore Drive within the Lake Area.

The total assessment for this district as provided in the Engineer’s Report is \$24,600 for the 2018-2019 fiscal year. There are a total of 1,127 properties within this district. The assessment per property is approximately \$22, which is the same amount charged per property last year.

Attachment

Action - Upon conclusion of the public hearing, it is recommended that the City Council, by resolution, approve the diagram and assessment and levy the annual assessment for Landscaping and Lighting District No. 11 for the 2018-2019 fiscal year.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK CONFIRMING DIAGRAM AND ASSESSMENT
AND LEVYING ASSESSMENT FOR FISCAL YEAR 2018-2019

ASSESSMENT DISTRICT NO. 11

(Pursuant to the Landscaping and Lighting Act of 1972)

The City Council of the City of Newark resolves:

1. Pursuant to Chapter 3 of the Landscaping and Lighting Act of 1972, the City Council directed the City Engineer, Engineer of Work for Assessment District No. 11, to prepare and file an annual report for Fiscal Year 2018-2019.
2. The Engineer of Work filed the annual report on May 24, 2018, and the City Council adopted its resolution of intention to levy and collect assessments within the Landscaping and Lighting District for Fiscal Year 2018-2019 and set a public hearing to be held on June 28, 2018, in the meeting place of the City Council, 37101 Newark Boulevard, Newark, California, 94560. Notice of the hearing was given in the time and manner required by law.
3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest.
4. The City Council hereby confirms the diagram and assessment as set forth in the annual report of the Engineer of Work and hereby levies the assessment set forth therein for Fiscal Year 2018-2019.

ANNUAL ENGINEER'S REPORT
LANDSCAPING AND LIGHTING DISTRICT NO. 11

The undersigned respectfully submits the enclosed report as directed by the City Council.

DATED: May 24, 2018

SOREN E. FAJEAU, City Engineer
Engineer of Work

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment Diagram thereto attached, was filed with me on the 24th day of May, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

I HEREBY CERTIFY that the enclosed Annual Engineer's Report, together with Assessment and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Newark, Alameda County, California, on the _____ day of _____, 2018.

SHEILA HARRINGTON, City Clerk
City of Newark
Alameda County, California

By _____

ANNUAL
ENGINEER'S REPORT

LANDSCAPING AND LIGHTING DISTRICT NO. 11
CITY OF NEWARK, ALAMEDA COUNTY
CALIFORNIA

SOREN E. FAJEAU, City Engineer, for Landscaping and Lighting District No. 11, City of Newark, Alameda County, California, makes this Annual Report, as directed by the City Council, pursuant to Section 22485 of the Streets and Highways Code (Landscaping and Lighting Act of 1972).

The improvements which are the subject of this Report are briefly described as follows:

- a. The maintenance of landscaped medians on Edgewater Drive, Lake Boulevard and Parkshore Drive. Cost shall include all maintenance and operational costs including normal upkeep, operating expenses, management expenses, replacement and replanting costs.

This report consists of the following:

- PART A - Plans and specifications for the improvement.
- PART B - An estimate of the cost of improvement.
- PART C - An assessment of the estimated cost of the improvements on each benefited parcel of land within the district.
- PART D - Rules for spreading the assessment among the benefited parcels of land.
- PART E - An assessment diagram showing each parcel of land within the assessment district.

Respectfully submitted,

SOREN E. FAJEAU

PART A
PLANS AND SPECIFICATIONS THOUGH BOUND SEPARATELY
ARE FILED AS PART OF THIS REPORT

**LANDSCAPING AND LIGHTING DISTRICT NO. 11
2018-19**

LAKE AREA - Edgewater & Parkshore Drive Medians

EXHIBIT B - ANNUAL BUDGET

CASH BALANCE CALCULATION

- Cash Balance	\$78,273
- Other Revenue - LARA	\$0
- Unencumbered Anticipated Expenses this Fiscal Year	
Other Contractual Costs	\$1,525
Extra Work (Contractor)	\$0
Extra Work (City Forces)	\$0
Budget Adjustment	\$0
Water	\$0
Administration Costs	\$0
Ala. Cty. Collection Costs	(\$745)
- Less Reserve Fund	(\$25,000)
Total Carryover/deficit:	\$54,053

	<u>2017-18 Budgeted</u>	<u>2017-18 Estimated</u>	<u>2018-19 Proposed</u>
LANDSCAPE & IRRIGATION SYSTEM COSTS			
- Contractual Maintenance Costs	8,115	4,955	12,000
Parkshore and Edgewater Median Landscaping			
- Jarvis Avenue Landscaping	0	0	0
- Extra Work -	7,500	400	10,000
- Irrigation Costs/Water/PG&E	0	0	400
- Irrigation Sprinkler Repairs (Battery Replacement)	450	0	1,000
- Planting Replacement	36,700	0	47,000
- Bid Advertisement	0	0	0
Subtotal	\$52,765	\$5,355	\$70,400
OTHER COSTS			
- Contingencies	0	0	0
- Assessment District Consultant Review	150	150	150
Subtotal	\$150	\$150	\$150
Subtotal	\$52,915	\$5,505	\$70,550
Carryover/deficit			\$54,053
Subtotal			\$16,497

Note: Following questions will insert appropriate costs into Incidental Expenses:

Contract to be bid (Y/N)? N

INCIDENTAL EXPENSES

- Contract Administration (10%)		0
- Inspection (8%)		5,644
- PS&E for bids (8%)		0
- Assessment Engineering		2,000
	Subtotal	\$7,644
	TOTAL ANNUAL COST	\$24,141

COLLECTION CHARGES

- Alameda County Collection Charges		410
(Collection Percentage)	1.70%	
	TOTAL AMOUNT TO BE ASSESSED	\$24,551
	TOTAL AMOUNT TO BE ASSESSED (ROUNDED)	\$24,600

LANDSCAPING AND LIGHTING DISTRICT NO. 11 2018-19

LAKE AREA - Edgewater & Parkshore Drive Medians

EXHIBIT C - ASSESSMENT ROLL

Assessment Amount per Parcel w/o Collection Charge -	\$21.44
Collection Charge per Parcel -	\$0.36
Total Assessment Amount per Parcel -	\$21.80
Total Number of Parcels -	1,127
Total w/o Collection Charge	\$24,157.92
Total Collection Charge -	\$410.68
Total Assessment Amount -	\$24,568.60
Maximum Amount per Parcel per Proposition 218 Limits -	\$25.00

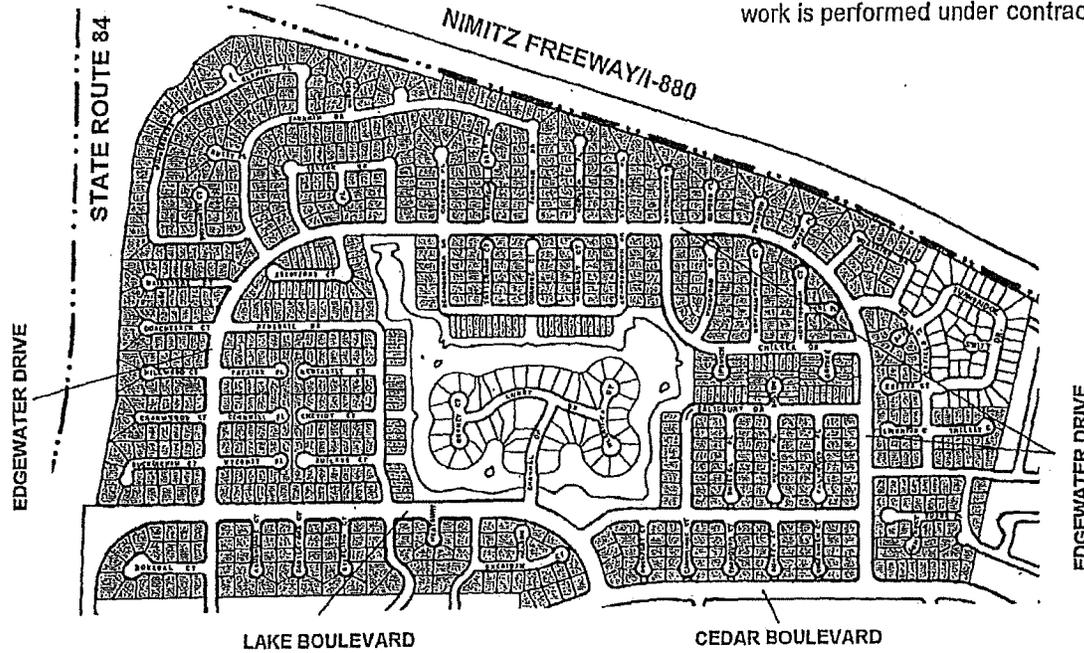
PART D

LANDSCAPING AND LIGHTING DISTRICT NO. 11

METHOD OF APPORTIONMENT OF ASSESSMENT

The total cost of the project, including incidental expenses, will be spread equally to each property in the district.

Description of Work
The maintenance of landscaped medians and the landscape irrigation systems on Edgewater Drive and Parkshore Drive. All work is performed under contract.



Refer to the Alameda County Assessor's Books for the actual dimensions of each lot



**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 11
EDGEWATER DRIVE/LAKE AREA**



**CITY OF NEWARK
DEVELOPMENT SERVICES**

Scale: 1"=250'
Page 1 of 8

L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
1	92A-724-7	38	92A-724-44	75	92A-724-82	112	92A-725-29
2	92A-724-8	39	92A-724-45	76	92A-724-83	113	92A-725-30
3	92A-724-9	40	92A-724-46	77	92A-724-84	114	92A-725-31
4	92A-724-10	41	92A-724-47	78	92A-724-85	115	92A-725-32
5	92A-724-11	42	92A-724-48	79	92A-724-86	116	92A-725-34
6	92A-724-12	43	92A-724-49	80	92A-724-87	117	92A-725-35
7	92A-724-13	44	92A-724-50	81	92A-724-88	118	92A-725-36
8	92A-724-14	45	92A-724-51	82	92A-724-89	119	92A-725-38
9	92A-724-15	46	92A-724-52	83	92A-724-90	120	92A-725-39
10	92A-724-16	47	92A-724-53	84	92A-724-91	121	92A-725-40
11	92A-724-17	48	92A-724-54	85	92A-724-92	122	92A-725-41
12	92A-724-18	49	92A-724-55	86	92A-724-93	123	92A-725-42
13	92A-724-19	50	92A-724-56	87	92A-724-94	124	92A-725-43
14	92A-724-20	51	92A-724-57	88	92A-725-5	125	92A-725-44
15	92A-724-21	52	92A-724-58	89	92A-725-6	126	92A-725-45
16	92A-724-22	53	92A-724-59	90	92A-725-7	127	92A-725-46
17	92A-724-23	54	92A-724-60	91	92A-725-8	128	92A-725-47
18	92A-724-24	55	92A-724-61	92	92A-725-9	129	92A-725-48
19	92A-724-25	56	92A-724-62	93	92A-725-10	130	92A-725-49
20	92A-724-26	57	92A-724-63	94	92A-725-11	131	92A-725-50
21	92A-724-27	58	92A-724-64	95	92A-725-12	132	92A-725-51
22	92A-724-28	59	92A-724-66	96	92A-725-13	133	92A-725-52
23	92A-724-29	60	92A-724-67	97	92A-725-14	134	92A-725-58
24	92A-724-30	61	92A-724-68	98	92A-725-15	135	92A-725-60
25	92A-724-31	62	92A-724-69	99	92A-725-16	136	92A-725-62
26	92A-724-32	63	92A-724-70	100	92A-725-17	137	92A-725-64
27	92A-724-33	64	92A-724-71	101	92A-725-18	138	92A-725-66
28	92A-724-34	65	92A-724-72	102	92A-725-19	139	92A-726-3
29	92A-724-35	66	92A-724-73	103	92A-725-20	140	92A-726-4
30	92A-724-36	67	92A-724-74	104	92A-725-21	141	92A-726-5
31	92A-724-37	68	92A-724-75	105	92A-725-22	142	92A-726-6
32	92A-724-38	69	92A-724-76	106	92A-725-23	143	92A-726-7
33	92A-724-39	70	92A-724-77	107	92A-725-24	144	92A-726-8
34	92A-724-40	71	92A-724-78	108	92A-725-25	145	92A-726-9
35	92A-724-41	72	92A-724-79	109	92A-725-26	146	92A-726-10
36	92A-724-42	73	92A-724-80	110	92A-725-27	147	92A-726-11
37	92A-724-43	74	92A-724-81	111	92A-725-28	148	92A-726-12



L&L Parcel	APN No.						
149	92A-726-13	197	92A-726-61	245	92A-727-19	293	92A-727-69
150	92A-726-14	198	92A-726-62	246	92A-727-20	294	92A-727-70
151	92A-726-15	199	92A-726-63	247	92A-727-21	295	92A-727-71
152	92A-726-16	200	92A-726-64	248	92A-727-22	296	92A-727-72
153	92A-726-17	201	92A-726-65	249	92A-727-23	297	92A-727-73
154	92A-726-18	202	92A-726-66	250	92A-727-24	298	92A-727-74
155	92A-726-19	203	92A-726-67	251	92A-727-25	299	92A-727-75
156	92A-726-20	204	92A-726-68	252	92A-727-26	300	92A-727-76
157	92A-726-21	205	92A-726-69	253	92A-727-27	301	92A-727-77
158	92A-726-22	206	92A-726-70	254	92A-727-29	302	92A-727-78
159	92A-726-23	207	92A-726-71	255	92A-727-30	303	92A-727-79
160	92A-726-24	208	92A-726-72	256	92A-727-31	304	92A-727-80
161	92A-726-25	209	92A-726-73	257	92A-727-32	305	92A-727-81
162	92A-726-26	210	92A-726-74	258	92A-727-33	306	92A-727-83
163	92A-726-27	211	92A-726-75	259	92A-727-34	307	92A-727-84
164	92A-726-28	212	92A-726-76	260	92A-727-35	308	92A-727-85
165	92A-726-29	213	92A-726-77	261	92A-727-36	309	92A-727-86
166	92A-726-30	214	92A-726-78	262	92A-727-37	310	92A-727-87
167	92A-726-31	215	92A-726-79	263	92A-727-38	311	92A-727-88
168	92A-726-32	216	92A-726-80	264	92A-727-39	312	92A-727-89
169	92A-726-33	217	92A-726-81	265	92A-727-40	313	92A-727-90
170	92A-726-34	218	92A-726-82	266	92A-727-41	314	92A-727-91
171	92A-726-35	219	92A-726-83	267	92A-727-42	315	92A-727-92
172	92A-726-36	220	92A-726-84	268	92A-727-43	316	92A-727-93
173	92A-726-37	221	92A-726-85	269	92A-727-44	317	92A-727-94
174	92A-726-38	222	92A-726-86	270	92A-727-45	318	92A-727-95
175	92A-726-39	223	92A-726-87	271	92A-727-46	319	92A-727-96
176	92A-726-40	224	92A-726-88	272	92A-727-47	320	92A-727-97
177	92A-726-41	225	92A-726-89	273	92A-727-48	321	92A-727-98
178	92A-726-42	226	92A-726-90	274	92A-727-49	322	92A-727-99
179	92A-726-43	227	92A-726-91	275	92A-727-50	323	92A-727-100
180	92A-726-44	228	92A-726-92	276	92A-727-51	324	92A-727-101
181	92A-726-45	229	92A-727-3	277	92A-727-52	325	92A-727-102
182	92A-726-46	230	92A-727-4	278	92A-727-53	326	92A-727-103
183	92A-726-47	231	92A-727-5	279	92A-727-54	327	92A-727-104
184	92A-726-48	232	92A-727-6	280	92A-727-56	328	92A-727-105
185	92A-726-49	233	92A-727-7	281	92A-727-57	329	92A-727-106
186	92A-726-50	234	92A-727-8	282	92A-727-58	330	92A-727-107
187	92A-726-51	235	92A-727-9	283	92A-727-59	331	92A-727-108
188	92A-726-52	236	92A-727-10	284	92A-727-60	332	92A-727-110
189	92A-726-53	237	92A-727-11	285	92A-727-61	333	92A-727-111
190	92A-726-54	238	92A-727-12	286	92A-727-62	334	92A-727-112
191	92A-726-55	239	92A-727-13	287	92A-727-63	335	92A-727-113
192	92A-726-56	240	92A-727-14	288	92A-727-64	336	92A-727-114
193	92A-726-57	241	92A-727-15	289	92A-727-65	337	92A-727-115
194	92A-726-58	242	92A-727-16	290	92A-727-66	338	92A-727-116
195	92A-726-59	243	92A-727-17	291	92A-727-67	339	92A-727-117
196	92A-726-60	244	92A-727-18	292	92A-727-68	340	92A-727-118

**ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 11**



**CITY OF NEWARK
DEVELOPMENT SERVICES**

L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
341	92A-727-119	389	92A-728-6	437	92A-728-54	485	92A-728-103
342	92A-727-120	390	92A-728-7	438	92A-728-55	486	92A-728-104
343	92A-727-121	391	92A-728-8	439	92A-728-56	487	92A-728-105
344	92A-727-122	392	92A-728-9	440	92A-728-57	488	92A-728-106
345	92A-727-123	393	92A-728-10	441	92A-728-58	489	92A-728-107
346	92A-727-124	394	92A-728-11	442	92A-728-59	490	92A-728-108
347	92A-727-125	395	92A-728-12	443	92A-728-60	491	92A-728-109
348	92A-727-126	396	92A-728-13	444	92A-728-61	492	92A-728-110-1
349	92A-727-127	397	92A-728-14	445	92A-728-62	493	92A-728-111-1
350	92A-727-128	398	92A-728-15	446	92A-728-63	494	92A-728-112
351	92A-727-129	399	92A-728-16	447	92A-728-64	495	92A-728-113
352	92A-727-130	400	92A-728-17	448	92A-728-65	496	92A-728-114
353	92A-727-131	401	92A-728-18	449	92A-728-66	497	92A-728-115
354	92A-727-132	402	92A-728-19	450	92A-728-67	498	92A-728-116
355	92A-727-133	403	92A-728-20	451	92A-728-68	499	92A-728-117
356	92A-727-134	404	92A-728-21	452	92A-728-69	500	92A-728-118
357	92A-727-135	405	92A-728-22	453	92A-728-70	501	92A-728-119
358	92A-727-136	406	92A-728-23	454	92A-728-71	502	92A-728-120
359	92A-727-137	407	92A-728-24	455	92A-728-72	503	92A-728-121
360	92A-727-138	408	92A-728-25	456	92A-728-74	504	92A-728-122
361	92A-727-139	409	92A-728-26	457	92A-728-75	505	92A-728-123
362	92A-727-140	410	92A-728-27	458	92A-728-76	506	92A-728-124
363	92A-727-141	411	92A-728-28	459	92A-728-77	507	92A-728-125
364	92A-727-142	412	92A-728-29	460	92A-728-78	508	92A-728-126
365	92A-727-143	413	92A-728-30	461	92A-728-79	509	92A-728-127
366	92A-727-144	414	92A-728-31	462	92A-728-80	510	92A-728-128
367	92A-727-145	415	92A-728-32	463	92A-728-81	511	92A-728-129
368	92A-727-146	416	92A-728-33	464	92A-728-82	512	92A-729-1
369	92A-727-147	417	92A-728-34	465	92A-728-83	513	92A-729-2
370	92A-727-148	418	92A-728-35	466	92A-728-84	514	92A-729-3
371	92A-727-149	419	92A-728-36	467	92A-728-85	515	92A-729-4
372	92A-727-150	420	92A-728-37	468	92A-728-86	516	92A-729-5
373	92A-727-151	421	92A-728-38	469	92A-728-87	517	92A-729-6
374	92A-727-152	422	92A-728-39	470	92A-728-88	518	92A-729-7
375	92A-727-153	423	92A-728-40	471	92A-728-89	519	92A-729-8
376	92A-727-154	424	92A-728-41	472	92A-728-90	520	92A-729-9
377	92A-727-155	425	92A-728-42	473	92A-728-91	521	92A-729-10
378	92A-727-156	426	92A-728-43	474	92A-728-92	522	92A-729-11
379	92A-727-157	427	92A-728-44	475	92A-728-93	523	92A-729-12
380	92A-727-158	428	92A-728-45	476	92A-728-94	524	92A-729-13
381	92A-727-159	429	92A-728-46	477	92A-728-95	525	92A-729-14
382	92A-727-160	430	92A-728-47	478	92A-728-96	526	92A-729-15
383	92A-727-161	431	92A-728-48	479	92A-728-97	527	92A-729-16
384	92A-728-1	432	92A-728-49	480	92A-728-98	528	92A-729-17
385	92A-728-2	433	92A-728-50	481	92A-728-99	529	92A-729-18
386	92A-728-3	434	92A-728-51	482	92A-728-100	530	92A-729-19
387	92A-728-4	435	92A-728-52	483	92A-728-101	531	92A-729-20
388	92A-728-5	436	92A-728-53	484	92A-728-102	532	92A-729-21

ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 11



(d:\pm\VV11b.pm5)

L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
533	92A-729-22	581	92A-729-70	629	92A-715-11	677	92A-715-60
534	92A-729-23	582	92A-729-71	630	92A-715-12	678	92A-715-61
535	92A-729-24	583	92A-729-72	631	92A-715-13	679	92A-715-62
536	92A-729-25	584	92A-729-73	632	92A-715-14	680	92A-715-63
537	92A-729-26	585	92A-729-74	633	92A-715-15	681	92A-715-65
538	92A-729-27	586	92A-729-75-1	634	92A-715-16	682	92A-715-66
539	92A-729-28	587	92A-729-76-1	635	92A-715-17-1	683	92A-715-67
540	92A-729-29	588	92A-729-77	636	92A-715-18-2	684	92A-715-68
541	92A-729-30	589	92A-729-78	637	92A-715-19	685	92A-715-69
542	92A-729-31	590	92A-729-79	638	92A-715-20	686	92A-715-70
543	92A-729-32	591	92A-729-80	639	92A-715-21	687	92A-715-71
544	92A-729-33	592	92A-729-81	640	92A-715-22	688	92A-715-72
545	92A-729-34	593	92A-729-82	641	92A-715-23	689	92A-715-73
546	92A-729-35	594	92A-729-83	642	92A-715-24	690	92A-715-74
547	92A-729-36	595	92A-729-84	643	92A-715-25	691	92A-715-75
548	92A-729-37	596	92A-729-85	644	92A-715-26	692	92A-715-76
549	92A-729-38	597	92A-729-86	645	92A-715-27	693	92A-715-77
550	92A-729-39	598	92A-729-87	646	92A-715-28	694	92A-715-78
551	92A-729-40	599	92A-729-88	647	92A-715-29	695	92A-715-79
552	92A-729-41	600	92A-729-89	648	92A-715-30	696	92A-715-80
553	92A-729-42	601	92A-729-90	649	92A-715-31	697	92A-715-81
554	92A-729-43	602	92A-729-91	650	92A-715-32	698	92A-715-82
555	92A-729-44	603	92A-729-92	651	92A-715-33	699	92A-715-83
556	92A-729-45	604	92A-729-93	652	92A-715-34	700	92A-715-84
557	92A-729-46	605	92A-729-94	653	92A-715-35	701	92A-715-85
558	92A-729-47	606	92A-729-95	654	92A-715-36	702	92A-715-86
559	92A-729-48	607	92A-729-96	655	92A-715-37	703	92A-715-87
560	92A-729-49	608	92A-729-97	656	92A-715-38	704	92A-715-88
561	92A-729-50	609	92A-729-98	657	92A-715-40	705	92A-715-89
562	92A-729-51	610	92A-729-99	658	92A-715-41	706	92A-715-90
563	92A-729-52	611	92A-729-100	659	92A-715-42	707	92A-715-91
564	92A-729-53	612	92A-729-101	660	92A-715-43	708	92A-715-92
565	92A-729-54	613	92A-729-102	661	92A-715-44	709	92A-715-93
566	92A-729-55	614	92A-729-103	662	92A-715-45	710	92A-715-94
567	92A-729-56	615	92A-729-104	663	92A-715-46	711	92A-715-95
568	92A-729-57	616	92A-729-105	664	92A-715-47	712	92A-715-96
569	92A-729-58	617	92A-729-106	665	92A-715-48	713	92A-715-97
570	92A-729-59	618	92A-729-107	666	92A-715-49	714	92A-715-98
571	92A-729-60	619	92A-715-1	667	92A-715-50	715	92A-715-99
572	92A-729-61	620	92A-715-2	668	92A-715-51	716	92A-715-100
573	92A-729-62	621	92A-715-3	669	92A-715-52	717	92A-715-101
574	92A-729-63	622	92A-715-4	670	92A-715-53	718	92A-715-102
575	92A-729-64	623	92A-715-5	671	92A-715-54	719	92A-715-103
576	92A-729-65	624	92A-715-6	672	92A-715-55	720	92A-715-104
577	92A-729-66	625	92A-715-7	673	92A-715-56	721	92A-715-105
578	92A-729-67	626	92A-715-8	674	92A-715-57	722	92A-715-106
579	92A-729-68	627	92A-715-9	675	92A-715-58	723	92A-715-107
580	92A-729-69	628	92A-715-10	676	92A-715-59	724	92A-715-108

ASSESSMENT DIAGRAM
LANDSCAPING AND LIGHTING DISTRICT NO. 11



CITY OF NEWARK
DEVELOPMENT SERVICES

L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
725	92A-716-1	773	92A-716-51	821	92A-716-100	869	92A-713-13
726	92A-716-2	774	92A-716-52	822	92A-716-101	870	92A-713-14
727	92A-716-3	775	92A-716-53	823	92A-716-102	871	92A-713-15
728	92A-716-4	776	92A-716-54	824	92A-716-103	872	92A-713-16
729	92A-716-5	777	92A-716-55	825	92A-716-104	873	92A-713-17
730	92A-716-6	778	92A-716-56	826	92A-716-105	874	92A-713-18
731	92A-716-7	779	92A-716-57	827	92A-716-106	875	92A-713-19
732	92A-716-8	780	92A-716-58	828	92A-716-107	876	92A-713-20
733	92A-716-9	781	92A-716-59	829	92A-716-108	877	92A-713-21
734	92A-716-10	782	92A-716-60	830	92A-716-109	878	92A-713-22
735	92A-716-11	783	92A-716-61	831	92A-716-110	879	92A-713-23
736	92A-716-12	784	92A-716-62	832	92A-716-111	880	92A-713-24
737	92A-716-13	785	92A-716-63-2	833	92A-716-112	881	92A-713-25
738	92A-716-14	786	92A-716-64-1	834	92A-716-113	882	92A-713-26
739	92A-716-15	787	92A-716-65	835	92A-716-114	883	92A-713-27
740	92A-716-16	788	92A-716-66	836	92A-716-115	884	92A-713-28
741	92A-716-17	789	92A-716-67	837	92A-716-116	885	92A-713-29
742	92A-716-18	790	92A-716-68	838	92A-716-117	886	92A-713-30
743	92A-716-19	791	92A-716-69	839	92A-716-118	887	92A-713-31
744	92A-716-20	792	92A-716-71	840	92A-716-119	888	92A-713-32
745	92A-716-21	793	92A-716-72	841	92A-716-120	889	92A-713-33
746	92A-716-22	794	92A-716-73	842	92A-716-121	890	92A-713-34
747	92A-716-24	795	92A-716-74	843	92A-716-122	891	92A-713-35
748	92A-716-25	796	92A-716-75	844	92A-716-123	892	92A-713-36
749	92A-716-26	797	92A-716-76	845	92A-716-124	893	92A-713-37
750	92A-716-28	798	92A-716-77	846	92A-716-125	894	92A-713-38
751	92A-716-29	799	92A-716-78	847	92A-716-126	895	92A-713-39
752	92A-716-30	800	92A-716-79	848	92A-716-127	896	92A-713-40
753	92A-716-31	801	92A-716-80	849	92A-716-128	897	92A-713-41
754	92A-716-32	802	92A-716-81	850	92A-716-129	898	92A-713-42
755	92A-716-33	803	92A-716-82	851	92A-716-130	899	92A-713-43
756	92A-716-34	804	92A-716-83	852	92A-716-131	900	92A-713-44
757	92A-716-35	805	92A-716-84	853	92A-716-132	901	92A-713-45
758	92A-716-36	806	92A-716-85	854	92A-716-133	902	92A-713-46
759	92A-716-37	807	92A-716-86	855	92A-716-134	903	92A-713-47
760	92A-716-38	808	92A-716-87	856	92A-716-135	904	92A-713-48
761	92A-716-39	809	92A-716-88	857	92A-713-1	905	92A-713-49
762	92A-716-40	810	92A-716-89	858	92A-713-2	906	92A-713-50
763	92A-716-41	811	92A-716-90	859	92A-713-3	907	92A-713-51
764	92A-716-42	812	92A-716-91	860	92A-713-4	908	92A-713-52
765	92A-716-43	813	92A-716-92	861	92A-713-5	909	92A-713-53
766	92A-716-44	814	92A-716-93	862	92A-713-6	910	92A-712-2
767	92A-716-45	815	92A-716-94	863	92A-713-7	911	92A-712-3
768	92A-716-46	816	92A-716-95	864	92A-713-8	912	92A-712-4
769	92A-716-47	817	92A-716-96	865	92A-713-9	913	92A-712-5
770	92A-716-48	818	92A-716-97	866	92A-713-10	914	92A-712-6
771	92A-716-49	819	92A-716-98	867	92A-713-11	915	92A-712-7
772	92A-716-50	820	92A-716-99	868	92A-713-12	916	92A-712-8



L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.	L&L Parcel	APN No.
917	92A-712-9	965	92A-712-57	1013	92A-718-11	1061	92A-718-60
918	92A-712-10	966	92A-712-58	1014	92A-718-12	1062	92A-718-61
919	92A-712-11	967	92A-712-59	1015	92A-718-13	1063	92A-718-62
920	92A-712-12	968	92A-712-60	1016	92A-718-14	1064	92A-718-63
921	92A-712-13	969	92A-712-61	1017	92A-718-15	1065	92A-718-64
922	92A-712-14	970	92A-712-62	1018	92A-718-16	1066	92A-718-65
923	92A-712-15	971	92A-712-63	1019	92A-718-17	1067	92A-718-66
924	92A-712-16	972	92A-712-64	1020	92A-718-18	1068	92A-718-67
925	92A-712-17	973	92A-712-65	1021	92A-718-19	1069	92A-718-68
926	92A-712-18	974	92A-712-66	1022	92A-718-20	1070	92A-718-69
927	92A-712-19	975	92A-712-67	1023	92A-718-21	1071	92A-718-70
928	92A-712-20	976	92A-712-68	1024	92A-718-22	1072	92A-718-71
929	92A-712-21	977	92A-712-69	1025	92A-718-23	1073	92A-718-72
930	92A-712-22	978	92A-712-70	1026	92A-718-24	1074	92A-718-73
931	92A-712-23	979	92A-712-71	1027	92A-718-25	1075	92A-718-74
932	92A-712-24	980	92A-712-72	1028	92A-718-26	1076	92A-718-75
933	92A-712-25	981	92A-712-73	1029	92A-718-27	1077	92A-718-76
934	92A-712-26	982	92A-712-74	1030	92A-718-28	1078	92A-718-77
935	92A-712-27	983	92A-712-75	1031	92A-718-29	1079	92A-718-78
936	92A-712-28	984	92A-712-76	1032	92A-718-30	1080	92A-718-79
937	92A-712-29	985	92A-712-77	1033	92A-718-31	1081	92A-718-80
938	92A-712-30	986	92A-712-78	1034	92A-718-32	1082	92A-2590-1
939	92A-712-31	987	92A-712-79	1035	92A-718-33	1083	92A-2590-2
940	92A-712-32	988	92A-717-1	1036	92A-718-34	1084	92A-2590-3
941	92A-712-33	989	92A-717-2	1037	92A-718-35	1085	92A-2590-5
942	92A-712-34	990	92A-717-3	1038	92A-718-36	1086	92A-2590-6
943	92A-712-35	991	92A-717-4	1039	92A-718-37	1087	92A-2590-7
944	92A-712-36	992	92A-717-5	1040	92A-718-38	1088	92A-2590-8
945	92A-712-37	993	92A-717-6	1041	92A-718-39	1089	92A-2590-9
946	92A-712-38	994	92A-717-7	1042	92A-718-40	1090	92A-2590-10
947	92A-712-39	995	92A-717-8	1043	92A-718-41	1091	92A-2590-11
948	92A-712-40	996	92A-717-9	1044	92A-718-42	1092	92A-2590-12
949	92A-712-41	997	92A-717-10	1045	92A-718-43	1093	92A-2590-13
950	92A-712-42	998	92A-717-11	1046	92A-718-44	1094	92A-2590-14
951	92A-712-43	999	92A-717-13	1047	92A-718-45	1095	92A-2590-15
952	92A-712-44	1000	92A-717-14	1048	92A-718-46	1096	92A-2590-16
953	92A-712-45	1001	92A-717-15	1049	92A-718-47	1097	92A-2590-17
954	92A-712-46	1002	92A-717-16	1050	92A-718-48	1098	92A-2590-18
955	92A-712-47	1003	92A-718-1	1051	92A-718-49	1099	92A-2590-19
956	92A-712-48	1004	92A-718-2	1052	92A-718-50	1100	92A-2590-20
957	92A-712-49	1005	92A-718-3	1053	92A-718-51	1101	92A-2590-21
958	92A-712-50	1006	92A-718-4	1054	92A-718-52	1102	92A-2590-22
959	92A-712-51	1007	92A-718-5	1055	92A-718-53	1103	92A-2590-23
960	92A-712-52	1008	92A-718-6	1056	92A-718-54	1104	92A-2590-24
961	92A-712-53	1009	92A-718-7	1057	92A-718-55	1105	92A-2590-25
962	92A-712-54	1010	92A-718-8	1058	92A-718-56	1106	92A-2590-26
963	92A-712-55	1011	92A-718-9	1059	92A-718-57	1107	92A-2590-27
964	92A-712-56	1012	92A-718-10	1060	92A-718-59	1108	92A-2590-28



L&L Parcel	APN No.
1109	92A-2590-29
1110	92A-2590-30
1111	92A-2590-31
1112	92A-2590-32
1113	92A-2590-33
1114	92A-2590-34
1115	92A-2590-35
1116	92A-2590-36
1117	92A-2590-37
1118	92A-2590-38
1119	92A-2590-39
1120	92A-2590-40
1121	92A-2590-41
1122	92A-2590-42
1123	92A-2590-43
1124	92A-2590-44
1125	92A-2590-45
1126	92A-2590-46
1127	92A-2590-47



E. 14 Hearing to consider a text amendment to Title 17 (Zoning) of the Newark Municipal Code to revise various sections including Chapters 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 and 17.46, generally affecting land uses, heights, landscaping, signs, parking and various other development standards– from Deputy Community Development Director Interiano.

(ORDINANCE)

Background/Discussion – A zoning text amendment is being requested by staff to address minor issues that needed additional clarification or are needed to address a specific issue which was not contemplated before adoption of the new Zoning Ordinance in January. One item of significance is the introduction of additional parking requirements for multifamily projects. Specifically, staff is increasing parking standards to address the growing issue of under parked developments which have an effect on single family home neighborhoods. Below is a summary of changes to those parking standards.

Summary of Changes:

Section 17.23.040 Parking Table

Residential Uses	Existing Guest Parking	Proposed Guest Parking
Two-Unit Dwellings	None	1 Space per Unit
Multi-Unit Dwellings	1 Per Project, Plus 1 for Each 4 Units	.5 Per Unit, unless the project is located 100 feet from RS and RL districts, or are located across an arterial roadway or units have driveway aprons or the project is located in a Specific Plan which will then require 1 space plus .25 per unit

Example:

- A 30-unit apartment complex with 2 bedroom units: The existing code would require 69 parking spaces; the proposed code would require 75 spaces if located within 100 feet of a single family home.

In addition to the proposed parking standards discussed above, a summary of all other changes and their respective sections are listed below:

- 17.07.020-Allow Community Assembly with a Conditional Use Permit (CUP) in RS District.
- 17.07.030-Require a Minor Use Permit (MUP) for heights over 35 ft. in RM and RH Districts.
- 17.08.020-Require a MUP for a Drive-Thru in CC and RC Districts.
- 17.10.020-Require a MUP for unmanned aircraft activity in PK and OS Districts.
- 17.13.040.B-Reduce Paseo (distance between buildings) distance from 19' to 16' ft. in FBC District.
- 17.17.020.D.2-Limit accessory structures to 25% of principal structure.

- 17.17.040.A-Clarify fence restrictions and require a MUP for additional height.
- 17.17.070-Limit storage of inoperable vehicles in Residential Districts.
- 17.21.050.A.3.c-All required trees shall be 24” box instead of only 25% of site.
- 17.22.030.B-Clarify that screening and parking are not exempt from nonconforming status.
- 17.23.090.D-Change Drive isle width to 25 ft. instead of 20 ft.
- 17.25.060.F-Clarify Cabinet signs are prohibited.
- 17.25.090.B.3-Monument signs shall be limited to a height of 6 ft.
- 17.25.100.B- Clarify all signs require design review.
- 17.26.140.B&E&F-Provides language to revoke a Home Occupation and require license
- 17.26.260.B.2-Increase review time for a special event permit from 20 to 45 days.
- 17.46.120-Reintroduce the definition of a Lodging House.

CEQA-The proposed text amendment is categorically exempt from the California Environmental Quality Act (CEQA) under section 5060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and Section 1506(b)(3) (General Rule that CEQA only applies to project which have the potential to cause a significant effect on the environment) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3.

Update- This item was unanimously approved by the Planning Commission on May 8, 2018. The Planning Commission recommends that City Council approved Resolution 1956 as attached.

Attachment

Action – It is recommended that the City Council introduce an ordinance for text amendments to Title 17 (Zoning Ordinance) of the Newark Municipal Code to revise Chapters 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 and 17.46, generally affecting land uses, heights, landscaping, signs, parking and various other development standards.

ORDINANCE NO.

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEWARK AMENDING TITLE 17 (ZONING) OF THE NEWARK MUNICIPAL CODE TO REVISE VARIOUS SECTION INCLUDING CHAPTERS 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 AND 17.46, GENERALLY AFFECTING LAND USES, HEIGHTS, LANDSCAPING, SIGNS, PARKING AND VARIOUS OTHER DEVELOPMENT STANDARDS

The City Council of the City of Newark does ordain as follows:

Section 1: Pursuant to Section 17.39.070 of Title 17 (Zoning) of the City of Newark Municipal Code, the City Council of the City of Newark does hereby find that the zoning text amendments embodied in this ordinance as set forth in Exhibit A, attached hereto and made a part of by reference, is necessary and desirable to achieve the purposes of Title 17 (Zoning) of the Newark Municipal Code, which seeks to amend various zoning districts and development standards.

Section 2: The City Council of the City of Newark does hereby find and declare that the zoning text amendment embodied in this ordinance as set forth in Exhibit A, attached hereto and made a part hereof by reference, is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3), which provides that where it can be seen with certainty that there is no possibility that the activity in question may have a significant impact on the environment, the activity is not subject to CEQA.

Section 3: Title 17 (Zoning) of the Newark Municipal Code is hereby amended as shown in Exhibit A, with ~~strikeout~~ denoting deletions and blue font denoting additions.

Section 4: Effective Date. This ordinance shall take effect thirty (30) days from the date of its passage. Before expiration of fifteen (15) days after its passage, this ordinance shall be published in The Tri-City Voice, a newspaper of general circulation published and printed in the County of Alameda and circulated in the City of Newark.

Exhibit A

17.07.020 Land Use Regulations

Table 17.07.020, Land Use Regulations-Residential Districts, prescribes the land use regulations for Residential Districts. Use classifications are defined in Chapter 17.45, Use Classifications. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are prohibited. Section numbers in the right hand column refer to other sections of this Ordinance.

TABLE 17.07.020: LAND USE REGULATIONS-RESIDENTIAL DISTRICTS					
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>					
Use Classification	RS	RL	RM	RH	Additional Regulations
Residential Uses					
Residential Housing Types					
<i>Single-Unit Dwelling, Detached</i>	P	P	P	P	
<i>Single-Unit Dwelling, Attached</i>	-	P	P	P	See Section 17.07.040.D, Single Unit Attached and Multi-Unit Development
<i>Two-Unit Dwelling</i>	-	P	P	P	
<i>Multi-Unit Development</i>	-	P	P	P	See Section 17.07.040.D, Single Unit Attached and Multi-Unit Development
<i>Accessory Dwelling Unit</i>	P	P	P	P	See Section 17.26.040, Accessory Dwelling Units
Family Day Care					
<i>Small</i>	P	P	P	P	
<i>Large</i>	M	M	M	M	See Section 17.26.090, Day Care
Group Residential	-	-	M	M	
Residential Care Facilities					
<i>Small</i>	P	P	P	P	
<i>Large</i>	-	M	M	M	See Section 17.26.220, Residential Care Facilities
Residential Facility, Assisted Living	-	M	M	M	

TABLE 17.07.020: LAND USE REGULATIONS-RESIDENTIAL DISTRICTS					
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>					
<i>Use Classification</i>	<i>RS</i>	<i>RL</i>	<i>RM</i>	<i>RH</i>	<i>Additional Regulations</i>
Single Room Occupancy	-	-	-	C	See Section 17.26.230, Single Room Occupancy Units
Supportive Housing	Transitional and supportive housing constitute a residential use and are subject only to those restrictions that apply to other residential uses of the same type in the same district.				
Transitional Housing					
Public/Semi-Public Uses					
Community Assembly	C-	C	C	C	
Community Garden	P	P	P	P	See Section 17.26.080, Community Gardens
Cultural Institutions	-	C	C	C	
Day Care Centers	-	C	C	C	See Section 17.26.090, Day Care
Emergency Shelter	-	-	M	P	See Section 17.26.110, Emergency Shelters
Hospital and Clinics					
<i>Skilled Nursing Facility</i>	-	-	C	C	
Park and Recreation Facilities	P	P	P	P	
Public Safety Facilities	C	C	C	C	
Schools	C	C	C	C	
Social Service Facilities	-	-	M	M	
Transportation, Communication, and Utility Uses					
Communication Facilities					
<i>Telecommunication</i>	See Section 17.26.250, Telecommunication Facilities				
Public Works and Utilities	C	C	C	C	
Other Applicable Types					
Accessory Uses and Structures	See Section 17.17.020, Accessory Buildings and Structures, and Section 17.26.030, Accessory Uses				
Home Occupations	See Section 17.26.140, Home Occupations				
Nonconforming Use	See Chapter 17.22, Nonconforming Provisions				
Solar Energy Systems	See Section 17.26.240, Solar Energy Systems				
Temporary Use	See Section 17.26.260, Temporary Uses				

17.07.030 Development Standards

Table 17.07.030, Development Standards-Residential Districts, prescribes the development standards for Residential Districts. Additional regulations are denoted in the right hand column. Section numbers in this column refer to other sections of this Ordinance.

TABLE 17.07.030: DEVELOPMENT STANDARDS-RESIDENTIAL DISTRICTS					
<i>Standard</i>	<i>RS</i>	<i>RL</i>	<i>RM</i>	<i>RH</i>	<i>Additional Regulations</i>
Lot and Density Standards					
Density (units/net acre)					
<i>Maximum</i>	8.7	11; up to 15 subject to (A) below	22; up to 30 subject to (A) below	60	
<i>Minimum</i>	n/a	n/a	14	25	
Minimum Lot Size (sq ft)	RS-10,000: 10,000 RS-8,000: 8,000 RS-7,000: 7,000 RS-6,000: 6,000	6,000, 3,000 for Single-Unit Dwelling, Detached	6,000	6,000	
Minimum Lot Width (ft)	RS-10,000: 80 RS-8,000: 70 RS-7,000: 65 RS-6,000: 60	60	60	60	
Minimum Lot Depth (ft)	100	80	100	100	
Minimum Frontage on a Public Street (ft)	60	40	40	40	
Building Form and Location					
Maximum Height (ft)	30	35	75, 35 within 20 ft of an RS or RL District(C)	100, 35 within 20 ft of an RS or RL District(C)	See Section 17.17.050, Height and Height Exceptions. Heights over 35 feet in the RM and RH Districts shall require a Minor Use Permit.
Minimum Setbacks (ft)					
<i>Front</i>	20	20	15	15	See Section 17.17.090, Projections into Yards and Required Building Separations
<i>Interior Side</i>	5	5(B)	5(B)	5(B)	See Section 17.17.090, Projections into Yards and Required Building Separations
<i>Street Side</i>	10	10	8	8	See Section 17.17.090, Projections into Yards and Required Building Separations
<i>Rear</i>	20	15	10	10	See Section 17.17.090, Projections into Yards and Required Building Separations

TABLE 17.07.030: DEVELOPMENT STANDARDS-RESIDENTIAL DISTRICTS					
Standard	RS	RL	RM	RH	Additional Regulations
Distance Between Main Structures (ft)	n/a	n/a	10	10	See Section 17.17.090, Projections into Yards and Required Building Separations
Lot Coverage, Landscape, and Open Space Standards					
Maximum Lot Coverage (% of lot)	50	50	55	55	
Minimum Landscaping (% of lot)	25	25	25	25	At least half of the landscape area shall be provided along public rights-of-way or near sidewalks. See Chapter 17.21, Landscaping
Minimum Open Space (sq ft per residential unit)	n/a	400(C)	300(C)	200(C)	

- A. **Additional Density, RL and RM Districts.** Up to 15 units/net acre in the RL District and up to 30 units/net acre in the RM District are allowed on properties which have their primary access on an arterial or collector street and which are found to be compatible with the character and intensity of residential development in the immediate area subject to Conditional Use Permit approval.
- B. **Attached Single-Unit Dwellings.** Required setbacks apply to the ends of rows of attached single-unit dwellings.
- B.C. **Heights over 35 feet in the RM and RH Districts shall require a Minor Use Permit.**

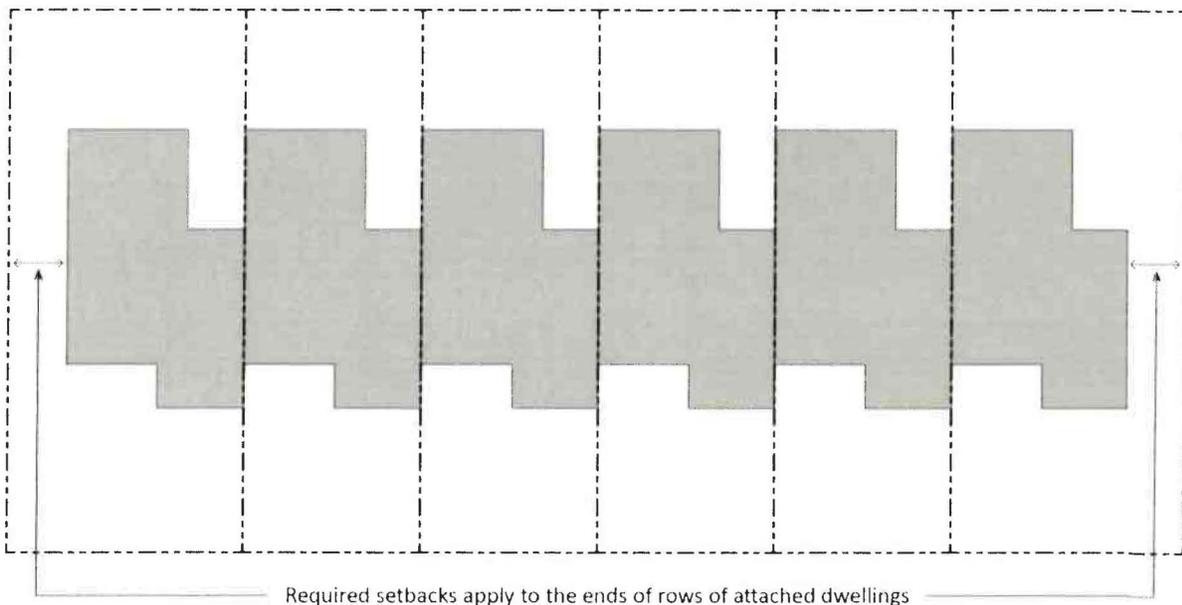


FIGURE 17.07.030.B: ATTACHED SINGLE-UNIT DWELLINGS

C.D. **Open Space.** Open space, unoccupied by main or accessory structures and open and unobstructed to the sky, shall be provided in accordance with the following standards.

1. **Single-Unit and Two-Unit Development.** Required usable open space may consist of a single area or several adjacent or separate areas.
 - a. *Minimum Dimensions.* Minimum dimension of 15 feet.
 - b. *Location.*
 - i. Must be provided on the site at ground level.
 - ii. Required open space shall not be located in a required front or street side setback.
 - iii. No portion of required open space shall be used for driveways of off-street parking facilities.
2. **Multi-Unit Development.** Required usable open space may consist of a single area or several adjacent or separate areas. All occupants shall have access to and use of one or more of such areas.
 - a. *Type of Open Space.* A minimum 50 percent of the required open space shall be provided as Common Open Space. The rest of the required open space shall be provided as Private Open Space.
 - i. Private areas typically consist of balconies, decks, patios, fenced yards, and other similar areas outside the residence.
 - ii. Common areas typically consist of landscaped areas, patios, swimming pools, barbeque areas, tennis courts, playgrounds, turf, or other such improvements as are appropriate to enhance the outdoor environment of the development.
 - b. *Minimum Dimensions.*
 - i. Private Open Space. Private open space located on the ground level (e.g., yards, decks, patios) shall have no dimension less than 10 feet. Private open space located above ground level (e.g., balconies) shall have no dimension less than six feet.
 - ii. Common Open Space. Minimum dimension of 20 feet.
 - c. *Usability.* A surface shall be provided that allows convenient use for outdoor living and/or recreation. Such surface may be any practicable combination of lawn, garden, flagstone, wood planking, concrete, decking, or other serviceable, dust-free surfacing. Slope shall not exceed 10 percent.
 - d. *Location.*
 - i. Required open space shall not be located in a required front or street side setback.
 - ii. No portion of required open space shall be used for driveways of off-street parking and loading facilities or as access to more than one dwelling unit.

- iii. Open space may be located on the roof of buildings or required off-street parking facilities
- e. *Accessibility.*
 - i. Private Open Space. The space shall be accessible to only one living unit by a doorway to a habitable room or hallway.
 - ii. Common Open Space. The space shall be accessible to the living units on the lot. It shall be served by any stairway or other access way qualifying as an egress facility from a habitable room.
- f. *Screening.* Required private open space shall be screened by a solid fence or visually solid fence not less than six feet in height when located at ground level and by a solid railing or visually solid railing not less than 42 inches in height when located on a balcony or balconies.

17.08.020 Land Use Regulations

Table 17.08.020, Land Use Regulations-Commercial and Mixed Use Districts, prescribes the land use regulations for Commercial and Mixed Use Districts. Use classifications are defined in Chapter 17.45, Use Classifications. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are prohibited. Section numbers in the right hand column refer to other sections of this Ordinance. Numbers in parentheses refer to specific limitations listed at the end of the table.

TABLE 17.08.020: LAND USE REGULATIONS-COMMERCIAL AND MIXED USE DISTRICTS						
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>						
<i>Use Classification</i>	<i>NC</i>	<i>CMU</i>	<i>CR</i>	<i>CC</i>	<i>RC</i>	<i>Additional Regulations</i>
Residential Uses						
Residential Housing Types						
<i>Single-Unit Dwelling, Attached</i>	-	P(1)	-	-	-	
<i>Multi-Unit Development</i>	-	P(1)	-	-	C(2)	
Family Day Care						
<i>Small</i>	-	P	-	-	-	
Group Residential	-	M(1)	-	-	-	
Residential Care Facilities						
<i>Small</i>	-	P	-	-	-	
Single Room Occupancy	-	C(1)	-	-	-	See Section 17.26.230, Single Room Occupancy Units
Public/Semi-Public Uses						
Colleges and Trade Schools	C	C	C	M	M	
Community Assembly	C	C	C	C	C	
Cultural Institutions	M	M	M	M	M	
Day Care Centers	M	M	M	M	M	See Section 17.26.090, Day Care

TABLE 17.08.020: LAND USE REGULATIONS-COMMERCIAL AND MIXED USE DISTRICTS						
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>						
<i>Use Classification</i>	<i>NC</i>	<i>CMU</i>	<i>CR</i>	<i>CC</i>	<i>RC</i>	<i>Additional Regulations</i>
Funeral Parlors and Interment Services	-	-	-	M	-	
Government Offices	P	P	P	P	P	
Hospital and Clinics						
<i>Clinic</i>	M	M	M	M	M	
Instructional Services	M	M	M	M	M	
Park and Recreation Facilities	M	M	M	M	M	
Parking Lots and Structures	M	M	M	M	M	
Public Safety Facilities	P	P	P	P	P	
Schools	M	M	M	M	M	
Social Service Facilities	-	M	M	M	M	
Tutoring Facilities	M	M	M	M	M	
Commercial Uses						
Adult Business	-	-	-	P	-	See Section 17.26.050, Adult Oriented Businesses
Animal Care, Sales, and Services						
<i>Animal Sales and Grooming</i>	P	P	P	P	P	
<i>Boarding/Kennels</i>	-	-	-	C	C	
<i>Veterinary Services</i>	M	M	M	M	M	
Artist's Studio	P	P	P	P	P	
Automobile/Vehicle Sales and Services						
<i>Automobile Rentals</i>	M	M	M	M	P	See Section 17.26.060, Automobile/Vehicle Sales and Services
<i>Automobile/Vehicle Sales and Leasing</i>	-	-	-	P	P	
<i>Automobile/Vehicle Service and Repair, Minor</i>	-	-	-	M	M	
<i>Large Vehicle and Equipment Sales, Service and Rental</i>	-	-	-	-	M	
<i>Service and Gas Stations</i>	C	-	-	M	M	
<i>Washing</i>	-	-	-	M	M	
Banks and Financial Institutions						
<i>Banks and Credit Unions</i>	P	P	P	P	P	
<i>Check-Cashing Businesses</i>	-	-	-	-	C	See Section 17.26.070, Check Cashing Business

TABLE 17.08.020: LAND USE REGULATIONS-COMMERCIAL AND MIXED USE DISTRICTS						
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>						
<i>Use Classification</i>	<i>NC</i>	<i>CMU</i>	<i>CR</i>	<i>CC</i>	<i>RC</i>	<i>Additional Regulations</i>
Banquet Hall	-	-	-	-	C	
Business Services	P	P	P	P	P	
Commercial Entertainment and Recreation						
<i>Cinema/Theaters</i>	-	P	P	P	P	
<i>Indoor Sports and Recreation</i>	-	-	C	C	C	
<i>Outdoor Entertainment</i>	-	-	-	-	M	
<i>Outdoor Recreation</i>	-	-	-	-	M	
Drive-Through Facility	C	-	M	MP	MP	See Section 17.26.100, Drive-In and Drive-Through Facilities
Eating and Drinking Establishments						
<i>Bars/Night Clubs/Lounges</i>	-	M	M	M	M	
<i>Restaurant, Full Service</i>	M	M	M	M	M	
<i>Restaurant, Limited Service</i>	M	M	M	M	M	
<i>Restaurant, Take-Out Only</i>	M	M	M	M	M	
Farmer's Markets	P	P	P	P	P	See Section 17.26.120, Farmer's Markets
Food Preparation	M	M	M	M	M	
Hookah Lounge	-	-	-	P	-	See Section 17.26.150, Hookah Lounges
Live/Work Units	-	M	-	-	M	See Section 17.26.130, Live/Work Units
Lodging						
<i>Hotels</i>	C	C	P	P	P	
<i>Motels</i>	-	-	-	-	C	
Maintenance and Repair Services	M	M	M	M	M	
Nurseries and Garden Center	P	P	P	P	P	
Offices						
<i>Business, Professional, and Technology</i>	M	M	M	M	M	
<i>Medical and Dental</i>	M	M	M	M	M	
<i>Walk-In Clientele</i>	M	M	M	M	M	
Personal Services						
<i>General Personal Services</i>	M	M	M	M	M	
<i>Fortune, Palm, and Card Reader</i>	-	-	-	P	-	See Section 17.26.200, Personal Services
<i>Massage Establishments</i>	-	-	C	C	C	

TABLE 17.08.020: LAND USE REGULATIONS-COMMERCIAL AND MIXED USE DISTRICTS						
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>						
<i>Use Classification</i>	<i>NC</i>	<i>CMU</i>	<i>CR</i>	<i>CC</i>	<i>RC</i>	<i>Additional Regulations</i>
<i>Tattoo or Body Modification Parlor</i>	-	-	-	P	-	
Retail Sales						
<i>Building Materials Sales and Services</i>	-	-	-	P	P	
<i>Convenience Markets</i>	P(3)	P(3)	P(3)	M(3)	M(3)	
<i>Food and Beverage Sales</i>	P(3)	P(3)	P(3)	P(3)	P(3)	
<i>Gold, Semi-Precious, Precious Metal Buying Stores</i>	-	-	-	-	C	
<i>General Retail</i>	P	P	P	P	P	
<i>Pawn Store</i>	-	-	-	-	C	
<i>Secondhand Store</i>	C	C	C	C	C	
<i>Tobacco Retailer</i>	-	-	-	-	C	See Section 17.26.270, Tobacco Retailers
Transportation, Communication, and Utility Uses						
Communication Facilities						
<i>Telecommunication</i>	See Section 17.26.250, Telecommunication Facilities					
<i>Light Fleet-Based Services</i>	C	C	C	C	C	
Recycling Facility						
<i>Reverse Vending Machine</i>	M	M	M	M	M	See Section 17.26.210, Recycling Facilities
<i>Transportation Passenger Terminals</i>	M	M	M	M	M	
Other Applicable Types						
<i>Accessory Uses and Structures</i>	See Section 17.17.020, Accessory Buildings and Structures, and Section 17.26.030, Accessory Uses					
<i>Home Occupations</i>	See Section 17.26.140, Home Occupations					
<i>Live Entertainment</i>	C	C	C	C	C	
<i>Nonconforming Use</i>	See Chapter 17.22, Nonconforming Provisions					
<i>Outdoor Dining and Seating</i>	See Section 17.26.170, Outdoor Dining and Seating					
<i>Outdoor Display and Sales</i>	See Section 17.26.180, Outdoor Display and Sales					
<i>Solar Energy Systems</i>	See Section 17.26.240, Solar Energy Systems					
<i>Temporary Use</i>	See Section 17.26.260, Temporary Uses					

TABLE 17.08.020: LAND USE REGULATIONS-COMMERCIAL AND MIXED USE DISTRICTS						
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>						
<i>Use Classification</i>	<i>NC</i>	<i>CMU</i>	<i>CR</i>	<i>CC</i>	<i>RC</i>	<i>Additional Regulations</i>
Specific Limitations:						
<ol style="list-style-type: none"> 1. Not allowed on the ground floor along Newark Boulevard and Thornton Avenue frontages. 2. Not allowed on the ground floor. Residential units shall be intended to support retail commercial uses of the project. 3. Conditional Use Permit pursuant to Chapter 17.35, Use Permits, is required for any establishment that either devotes 40 percent or more of floor area or display area to, or derives 75 percent or more of gross sales receipts from, the sale or exchange of alcohol. 						

17.10.020 Land Use Regulations

Table 17.10.020, Land Use Regulations-Public and Semi-Public Districts, prescribes the land use regulations for Public and Semi-Public Districts. Use classifications are defined in Chapter 17.45, Use Classifications. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are prohibited. Section numbers in the right hand column refer to other sections of this Ordinance. Numbers in parentheses refer to specific limitations listed at the end of the table.

TABLE 17.10.020: LAND USE REGULATIONS-PUBLIC AND SEMI-PUBLIC DISTRICTS					
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>					
<i>Use Classification</i>	<i>PF</i>	<i>TS</i>	<i>PK</i>	<i>OS</i>	<i>Additional Regulations</i>
Public/Semi-Public Uses					
Cemetery	P	-	-	-	
Colleges and Trade Schools	P	-	-	-	
Community Assembly	P	-	P(1)	-	
Community Garden	P	-	P	-	See Section 17.26.080, Community Garden
Cultural Institutions	P	-	P	-	
Day Care Centers	P	-	-	-	See Section 17.26.090, Day Care
Emergency Shelter	P	P	P	-	See Section 17.26.110, Emergency Shelter
Government Offices	P	-	-	-	
Hospital and Clinics					
<i>Hospitals</i>	P	-	-	-	
<i>Clinic</i>	P	-	-	-	
Instructional Services	P	-	-	-	
Park and Recreation Facilities	P	-	P	P(2)	
Parking Lots and Structures	P	P(4)	-	-	
Public Safety Facilities	P	-	-	-	
Schools	P	-	-	-	
Social Service Facilities	P	-	-	-	
Commercial Uses					
Animal Care, Sales, and Services					
<i>Animal Sales and Grooming</i>	C(3)	-	-	-	
Banks and Financial Institutions					
<i>Banks and Credit Unions</i>	-	P(4)	-	-	
Business Services	-	P(4)	-	-	
Commercial Entertainment and Recreation					
<i>Indoor Sports and Recreation</i>	M	-	M	-	
<i>Outdoor Entertainment</i>	C	-	C	-	
<i>Outdoor Recreation</i>	P	-	P	-	
<i>Unmanned Aircraft Activities</i>	-	-	M	M	Shall be consistent with Federal Aviation Administration Regulations and Polices
Eating and Drinking Establishments					
<i>Restaurant, Limited Service</i>	P(5)	P(4)	-	-	

TABLE 17.10.020: LAND USE REGULATIONS-PUBLIC AND SEMI-PUBLIC DISTRICTS					
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>					
<i>Use Classification</i>	<i>PF</i>	<i>TS</i>	<i>PK</i>	<i>OS</i>	<i>Additional Regulations</i>
<i>Restaurant, Take-Out Only</i>	P(5)	P(4)	-	-	
<i>Farmer's Markets</i>	P	P	C	-	See Section 17.26.120, Farmer's Markets
Offices					
<i>Walk-In Clientele</i>	-	P(4)	-	-	
Personal Services					
<i>General Personal Services</i>	-	P(4)	-	-	See Section 17.26.200, Personal Services
Retail Sales					
<i>Convenience Markets</i>	-	P(4)	-	-	
<i>Food and Beverage Sales</i>	P(5)	P(4)	-	-	
<i>General Retail</i>	P(5)	P(4)	-	-	
Transportation, Communication, and Utility Uses					
Communication Facilities					
<i>Facilities within Buildings</i>	P	-	-	-	
<i>Telecommunication</i>	See Section 17.26.250, Telecommunication Facilities				
<i>Public Works and Utilities</i>	P	-	-	-	
Recycling Facility					
<i>Reverse Vending Machine</i>	C	-	-	-	See Section 17.26.210, Recycling Facilities
<i>Recycling Collection Facility</i>	C	-	-	-	
<i>Recycling Processing Facility</i>	C	-	-	-	
<i>Transportation Passenger Terminals</i>	P	P	-	-	
Other Applicable Types					
<i>Accessory Uses and Structures</i>	See Section 17.17.020, Accessory Buildings and Structures, and Section 17.26.030, Accessory Uses				
<i>Nonconforming Use</i>	See Chapter 17.22, Nonconforming Uses				
<i>Outdoor Dining and Seating</i>	See Section 17.26.170, Outdoor Dining and Seating				
<i>Outdoor Display and Sales</i>	See Section 17.26.180, Outdoor Display and Sales				
<i>Solar Energy Systems</i>	See Section 17.26.240, Solar Energy Systems				
<i>Temporary Use</i>	See Section 17.26.260, Temporary Uses				

TABLE 17.10.020: LAND USE REGULATIONS-PUBLIC AND SEMI-PUBLIC DISTRICTS					
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>					
<i>Use Classification</i>	<i>PF</i>	<i>TS</i>	<i>PK</i>	<i>OS</i>	<i>Additional Regulations</i>
Specific Limitations:					
<ol style="list-style-type: none"> 1. Limited to facilities associated with park and recreation facilities. 2. Limited to trails, wildlife preserves and open space uses that maintain the site in its natural state and protects wildlife habitats and wetlands. No building, structure or improvements shall be constructed in these areas, except for those required for public access, public restrooms, informational centers and signage, trash containers, parking facilities, and facilities needed for protecting environmental resources and general upkeep and maintenance of the property. 3. Limited to government or non-profit animal shelters located a minimum of 100 feet from a residential use or district. 4. Limited to parking areas, and ancillary uses (i.e., coffee stand, dry cleaner, florist) that would benefit transit patrons of transit stations. 5. Limited to gift shops, cafes and restaurants accessory to cultural institutions, community assembly, and conference/convention centers. 					

4. **Maximum Percent of Buildings at Minimum Setback Line.** Buildings may be located at the minimum setback line for a maximum of 80 percent of the length of the setback line.

17.13.040 General Development Standards

The following development standards apply except where a more stringent requirement is established in Section 17.13.030, Maximum Height and Setback Standards by Street.

A. **Single-Unit Development.** Table 17.13.040.A, Development Standards-Single-Unit Development, prescribe the development standards for Single-Unit Development with the following adjustments.

1. Lot depth for alley loaded homes shall be measured from back of walk/centerline of paseo to the centerline of the alley.
2. For attached homes with garages at the rear or front of the lot, the setback may be reduced to five feet to the garage door.
3. For front loaded single-family homes, the rear yard setback may be reduced to five feet for up to 50 percent of the lot width.
4. Building height shall be measured from the finished grade at the front entry to the top of the ridge/parapet.
5. Front setback shall be measured from back of sidewalk or centerline of paseo.
6. For all alley-loaded homes, the setback may be reduced to four feet to the garage door. The setback to living space on second- and third-floors may be reduced to two feet from the edge of alley.

TABLE 17.13.040.A: DEVELOPMENT STANDARDS-SINGLE-UNIT DEVELOPMENT				
<i>Standard</i>	<i>Single-Unit, Detached</i>		<i>Single Unit, Attached</i>	
	<i>Front Loaded</i>	<i>Alley Loaded</i>	<i>Front Loaded</i>	<i>Alley Loaded</i>
Lot Dimensions				
Lot Width				
<i>Minimum</i>	32 ft	30 ft	15 ft	15 ft
<i>Maximum</i>	65 ft	60 ft	35 ft	35 ft
Lot Depth				
<i>Minimum</i>	45 ft	50 ft	50 ft	50 ft
<i>Maximum</i>	150 ft	150 ft	90 ft	90 ft
Setbacks				
Front				
<i>Porch/stoops (minimum)</i>	6 ft	6 ft	6 ft	6 ft
<i>Building Face (minimum)</i>	8 ft	8 ft	8 ft	8 ft
<i>Building Face (maximum)</i>	18 ft	16 ft	16 ft	16 ft

TABLE 17.13.040.A: DEVELOPMENT STANDARDS-SINGLE-UNIT DEVELOPMENT				
<i>Standard</i>	<i>Single-Unit, Detached</i>		<i>Single Unit, Attached</i>	
	<i>Front Loaded</i>	<i>Alley Loaded</i>	<i>Front Loaded</i>	<i>Alley Loaded</i>
Lot Dimensions				
Rear				
<i>Main Building (minimum)</i>	10 ft	10 ft	10 ft	10 ft
<i>Accessory Building (minimum)</i>	5 ft	14 or 28 ft	5 or 28 ft	5 or 28 ft
Side				
<i>Main Building (minimum)</i>	3 ft 3 in	3 ft 3 in	3 ft 3 in	3 ft 3 in
<i>Main Building at Corners (minimum)</i>	8 ft 3 in	8 ft 3 in	8 ft 3 in	8 ft 3 in
<i>Porch/stoops at Corners (minimum)</i>	6 ft	6 ft	6 ft	6 ft
<i>Accessory Building/Garage (minimum)</i>	3 ft 3 in	3 ft 3 in	3 ft 3 in	3 ft 3 in
<i>Accessory Building/Garage at Corners (minimum)</i>	8 ft 3 in	8 ft 3 in	8 ft 3 in	8 ft 3 in
Site Coverage				
Maximum Site Coverage (not including porches)	60%	60%	75%	75%

B. **Commercial, Office, and Multi-Unit Development.** Table 17.13.040.B, Development Standards- Commercial, Office, and Multi-Unit Development, prescribe the development standards for Commercial, Office, and Multi-Unit Development.

TABLE 17.13.040.B: DEVELOPMENT STANDARDS- COMMERCIAL, OFFICE, AND MULTI-UNIT DEVELOPMENT		
<i>Standard</i>	<i>Commercial and Office</i>	<i>Multi-Unit</i>
Building Form		
Maximum Length of Building Façade with no Courtyard Break (ft)	300	300
Maximum Building Depth (ft)	300	n/a
Setbacks		
From Public Right-of-Way		
<i>Porches/Stoops/Balconies</i>	n/a	10 ft min
<i>Building</i>	Ground floor: 0 min, 10 ft max Upper floors: 10 ft where ground floor at 0 to 5 ft; 5 ft where ground floor at 5 to 10 ft	15 ft min
From Other Buildings On-Site		
<i>Residential Buildings</i>	20 ft min	Front/front: 169 ft min Side/side: 10 ft min Front/side: 15 ft min
<i>Community or Service Buildings</i>	n/a	25 ft min

TABLE 17.13.040.B: DEVELOPMENT STANDARDS- COMMERCIAL, OFFICE, AND MULTI-UNIT DEVELOPMENT		
<i>Standard</i>	<i>Commercial and Office</i>	<i>Multi-Unit</i>
Building Form		
<i>Nonresidential Buildings</i>	20 ft min	n/a
<i>Carports</i>	15 ft min	15 ft min
From Non-Street Property Line		
<i>Of Single-Unit Dwelling, Attached or Multi-Unit Lot</i>	20 ft min	15 ft min
<i>Of Single-Unit Dwelling, Detached Lot</i>	25 ft min	30 ft min
<i>Nonresidential Buildings</i>	25 ft min	n/a
From On-Site Parking, Drive Aisle, or Lane	15 ft min	5 ft min

Chapter 17.17 General Site Regulations

17.17.010 Purpose and Applicability

The purpose of this Chapter is to prescribe development and site regulations that apply, except where specifically stated, to development in all districts. These standards shall be used in conjunction with the standards for each zoning district established in Article II, Base and Overlay District Regulations. In any case of conflict, the standards specific to the zoning district shall override these regulations.

17.17.020 Accessory Buildings and Structures

A. Applicability.

1. The provisions of this Section apply to roofed structures, including but not limited to garages, carports, sheds, workshops, gazebos, and covered patios, that are detached from and accessory to the main building on the site. These provisions also apply to open, unroofed structures such as play equipment, decks and trellises, that are over 18 inches in height and that are detached from and accessory to the main building on the site.
2. When an accessory building or structure is attached to the main building, it shall be made structurally a part of and have a common wall or roof with the main building and shall comply in all respects with the requirements of this Ordinance applicable to the main building. Allowed building projections into yards and required building separations are stated in Section 17.17.090, Projections into Yards and Required Building Separations.
3. Where an Accessory Dwelling Unit is located over a detached garage, the entire structure shall be considered a main building, subject to the base district standards for main buildings. No portion of this building shall be closer to any lot line than is permitted for any other main building.

B. **Relation to Existing Structures.** A detached accessory building may only be constructed on a lot on which there is a permitted main building to which the accessory building is related or on an adjacent lot under the same ownership.

C. **Height.** The maximum allowable height of accessory structures is 12 feet except that accessory structures in Nonresidential Districts with a minimum roof pitch of 4:12 may be up to 16 feet in height.

D. Location.

1. All Districts.

- a. *Front and Street-Side Setbacks.* Accessory structures shall not be located within any required front or street-side setback area.
- b. *Interior-Side and Rear Setbacks.* Accessory structures greater than six feet six inches in height or more than 120 square feet in size shall be setback a minimum of three feet from interior side and rear property lines.

2. Additional Limitation, RS and RL Districts. In the RS and RL Districts, accessory structures shall be located in the rear half of the lot, and shall not exceed 25% of the principal structure and not occupy more than 30 percent of the required rear yard area. ~~of the rear half of the lot.~~ No more than 2 accessory structure shall be allowed, excluding a detached garage. ~~half of the lot.~~

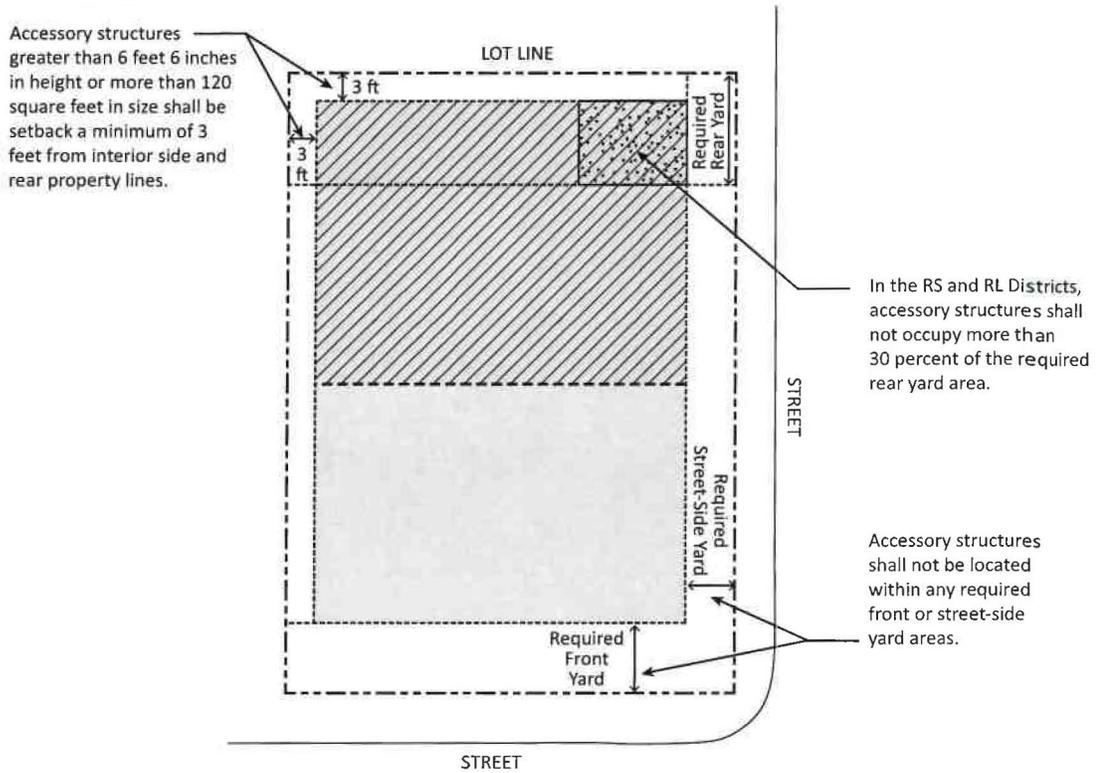


FIGURE 17.17.020. D: ACCESSORY STRUCTURE LIMITATIONS

- E. **Separation from Main Buildings.** Detached accessory structures shall be located a minimum of six feet from the main building, inclusive of roof covering.

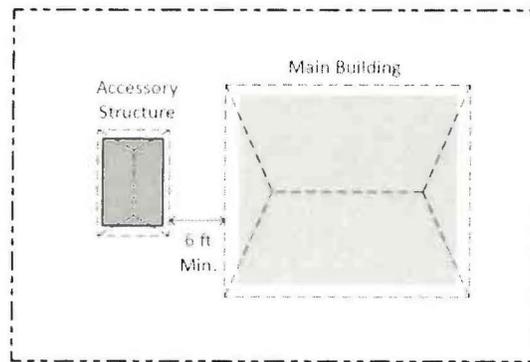


FIGURE 17.17.020.F: ACCESSORY STRUCTURE SEPARATION FROM MAIN BUILDING

17.17.040 Fences and Freestanding Walls

Fences, walls, hedges, and similar structures shall comply with the standards of this Section.

- A. **Maximum Height.** Fences, walls, hedges, and related structures are limited to a maximum of six feet except as follows: three feet high when located within required front yards or within four feet of a street side lot line, eight feet adjacent to four or more lane arterials for residential uses.
1. **Additional Height in Residential Districts.**
 - a. *Director Approval.* The Director may approve additional fence height with a [Minor Use Permit](#), in compliance with the following.

- i. Maximum Height.
 - (1) Front Yards and within Four Feet of a Street Lot Line. Fences within the front yard and fences within four feet of a street lot line on a lot adjacent to a nonresidential use may be up to six feet in height.
 - (2) Outside Front Yards and More than Four Feet from a Street Lot Line. Fences located outside of a required front yard and more than four feet from a street lot line may be up to eight feet in height.
 - (3) Materials. The Director may only approve additional fence height for fences made of masonry block, precast concrete, wood, or metal wrought iron. Vertical or horizontal extensions to an existing fence or wall shall be of the same material and design as the existing fence or wall.
- ii. Review and Required Findings. In approving additional fence height, the Director shall make the following findings.
 - (1) The additional fence height will not impair the provision of adequate light, air, circulation, and visual openness around adjacent residential structures.
 - (2) The additional fence height will not detract from the overall appearance of the neighborhood.
 - (3) The additional fence height is not detrimental to the health, safety, and welfare of people living in the neighborhood.

~~b. Planning Commission Approval. The Planning Commission may approve additional height allowances where the Planning Commission finds such fencing is necessary for security purposes.~~

- 2. **Additional Height in Nonresidential Districts.** The Community Development Director may approve additional fence height with a Minor Use Permit. The fence shall be in compliance with Materials Section A(1)(a)(i)(3) and the Required Findings Section A(1)(a)(ii) listed above.
- ~~2.3.~~ **Hedges.** Where the base of the main trunk is further than four feet from the street side lot line and within five feet of a permitted structure, a hedge may be of any height.
- ~~3.4.~~ **Recreational Fencing.** Fencing located around tennis courts, badminton courts, basketball or volleyball courts and similar areas up to 12 feet in height may be allowed with Director approval, providing that all parts of the fence over six feet are made of open-wire construction or other corrosion-resistant materials.
- ~~4.5.~~ **Decorative Features.** One entry gateway, trellis, or other entry structure is permitted in the required front or street-facing side yard of each lot, provided that the maximum height or width of the structure does not exceed eight feet and the maximum depth does not exceed five feet.

- 5-6. **Intersection and Driveway Visibility.** Notwithstanding other provisions of this Section, fences, walls, and related structures shall comply with Chapter 10.36, Visibility Requirements, of the Newark Municipal Code.

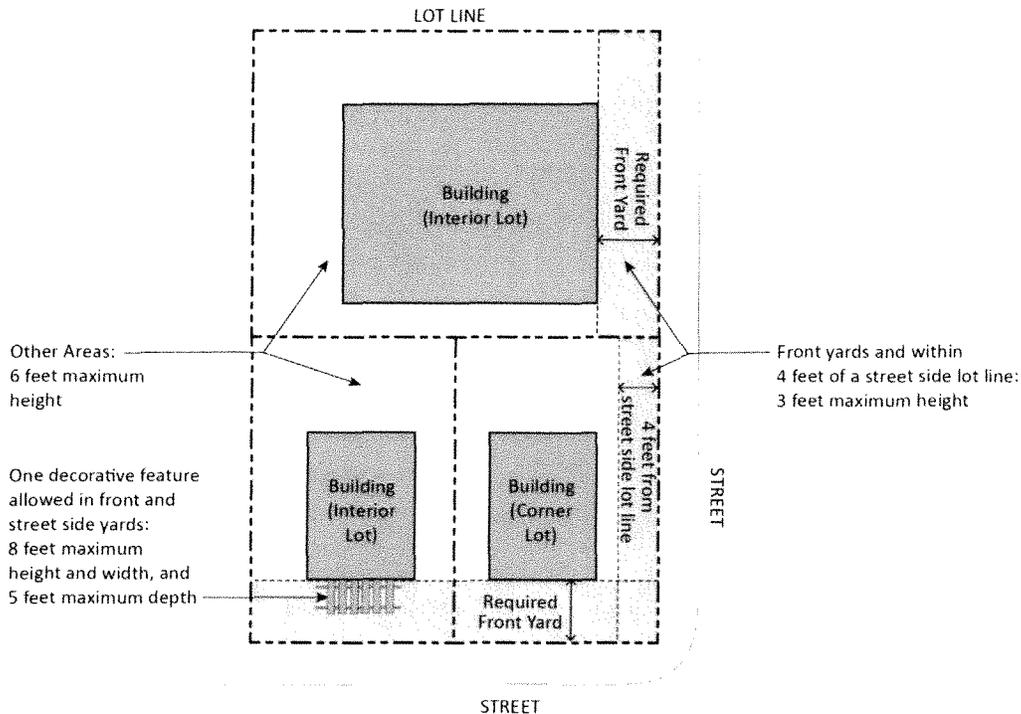


FIGURE 17.17.040.A: FENCE AND FREESTANDING WALL HEIGHT

B. **Materials.**

1. **Prohibition on Hazardous Fencing Materials.** The use of barbed wire, razor wire, ultra-barrier, electrified, and other hazardous fencing is not permitted unless such fencing is required by any law or regulation of the City, the State of California, Federal Government, or other public agency.
 - a. **Exception.** The Planning Commission may approve an exception to this standard for sites in Employment Districts, provided the hazardous fencing materials are located at the top portion of a fence which is at least six feet in height where the Planning Commission finds such fencing is necessary for security purposes.
2. **Limitation on Chain-Link Fencing.**
 - a. **Residential Districts.** Chain-link fencing is prohibited in Residential Districts.
 - b. **Nonresidential Districts.** In Nonresidential Districts, chain-link fencing shall not be visible from the street, a State highway, or adjacent Residential Districts.

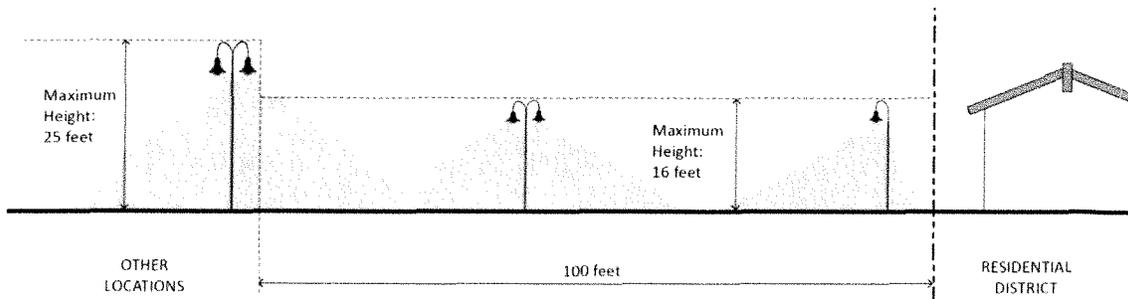


FIGURE 17.17.060.C.1: MAXIMUM HEIGHT, OUTDOOR LIGHTING

2. **Design of Fixtures.** Fixtures shall be appropriate to the style and scale of the architecture. Fixtures on buildings shall be attached only to walls or eaves, and the top of the fixture shall not exceed the height of the parapet or roof or eave of roof.
3. **Timing Controls.** All outdoor lighting in nonresidential development shall be on a time clock or photo-sensor system and turned off during daylight hours and during hours when the building or, in the case of shopping centers, all buildings, are not in use and the lighting is not required for security.
4. **Trespass.** All lights shall be directed, oriented, and shielded to prevent light trespass or glare onto adjacent properties. The light level at property lines shall not exceed 0.3 foot-candles.

D. **Supplemental Requirements**

1. **Multi-Unit Residential Buildings.**
 - a. Lighting in parking areas, garage areas, and carport areas shall be maintained with a minimum of one foot-candle of illumination at the ground level during the hours of darkness.
 - b. Aisles, passageways, and recesses related to and within the building complex shall be illuminated with an intensity of at least 0.25 foot-candles at the ground level during the hours of darkness.
2. **Nonresidential Buildings.** All exterior doors, during the hours of darkness, shall be illuminated with a minimum of 0.5 foot-candle of light.

17.17.070 Outdoor Storage

Storage of goods, materials, machines, equipment, and inoperable vehicles or parts outside of a building for more than 72 hours shall conform to the standards in Table 17.17.070, Outdoor Storage Regulations. The regulations of this Section do not apply to temporary storage of construction materials reasonably required for construction work on the premises pursuant to a valid building permit or to the parking and storage of recreational vehicles or trailers pursuant to Section 17.17.080, Parking and Vehicle Storage in Required Yards.

TABLE 17.17.070: OUTDOOR STORAGE REGULATIONS	
<i>Base Districts</i>	<i>Permissibility of Outdoor Storage</i>
Residential Districts	Permitted as an accessory use provided the outdoor storage does not exceed 25 percent of the rear yard area, is not visible from a public right-of-way, and does not include any hazardous materials. A maximum of two inoperable vehicles shall be allowed.
Commercial and Mixed-Use, Public and Semi-Public, OP, BTP, and LI Districts	Not permitted. (All storage must be within an enclosed building).
GI District	Permitted as an accessory use outside of required yards, parking and circulation areas, and required landscaped areas subject to the standards of Section 17.17.100, Screening.
Resource Production District	Permitted as a principal use outside of required front and street side yards, parking and circulation areas, and required landscaped areas subject to the standards of Section 17.17.100, Screening.

17.17.080 Parking and Vehicle Storage in Yards

Noncommercial passenger vehicles, with a manufacturer's gross vehicle weight 10,000 pounds or less, recreation-type vehicles such as travel trailers, tent trailers, completely enclosed campers and boats on trailers may be parked or stored in yards, provided, that they are not subject to Chapter 10.52, Abatement of Abandoned, Wrecked, Dismantled or Inoperative Vehicles, of the Newark Municipal Code, subject to the following provisions.

- A. Unmounted campers shall not be located within the area extending across the full width of the lot between a street facing lot line and the nearest wall of the closest main building on the lot.

17.21.050 General Requirements

A. Materials.

1. **General.**

- a. Required landscaped areas shall be planted with a combination of ground covers, shrubs, vines, and trees. 50 percent of all trees shall be evergreen species.
- b. Landscaping may also include incidental features such as stepping stones, benches, fountains, sculptures, decorative stones, or other ornamental features, placed within a landscaped setting.
- c. Landscaped areas may include paved or graveled surfaces, provided they do not cover more than 30 percent of the area required to be landscaped.
- d. Garden areas and other areas dedicated to edible plants are considered landscaped areas and count toward required landscaping.

2. **Required Water Efficient Plants.** Plants shall be one of the following options shall be chosen to ensure that the landscape project meets water efficiency requirements.

- a. *Option A: All Low Water Plants.* Exclusive of garden areas. all plants and trees shall be low or very low water use (average California Department of Water Resources study, Water Use Classification of Landscape Species (WUCOLS) plant factor of 0.3). Option A is available for all residential and nonresidential areas.
- b. *Option B: Primarily Low Water Plants.* Exclusive of garden areas, at least 85 percent of the landscape area shall contain low or very low water use plants (average WUCOLS plant factor of 0.3). Option B is only available for residential areas.
- c. *Option C: Water Use Calculation.* The estimated total water use (ETWU) of the landscaping shall not exceed the maximum applied water allowance (MAWA),

- E. **Prescribed Heights.** The prescribed heights of landscaping shall indicate the height to be attained within three years after planting.
- F. **Maintenance.** All planting and other landscape elements shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning, fertilizing, and regular watering. Wherever necessary, plantings shall be replaced with other plant materials to ensure continued compliance with applicable landscaping requirements.

Chapter 17.22 Nonconforming Provisions

17.22.010 Purpose

This Chapter is intended to permit continuation of uses and continued occupancy and maintenance of structures that were legally established but do not comply with the standards and requirements of this Ordinance and are operated in a manner that does not conflict with the General Plan. To that end, the chapter establishes the circumstances under which a nonconforming use or structure may be continued or changed and provides for the removal of nonconforming uses and structures when their continuation conflicts with the General Plan and public health, safety, and general welfare.

17.22.020 Applicability

The provisions of this Chapter apply to structures and uses that have become nonconforming by adoption of this Ordinance as well as structures and uses that become nonconforming due to subsequent amendments to its text or to the Zoning Map.

17.22.030 Nonconformities, Generally

Any lawfully established use or structure that is in existence on the effective date of this Ordinance or any subsequent amendment thereto but does not comply with the standards and requirements of this Ordinance shall be considered nonconforming.

- A. A non-conformity may result from any inconsistency with the requirements of this Ordinance including, but not limited to, use, location, density, floor area, height, yard, usable open space, buffering, performance standards, or the lack of an approved Use Permit or other required authorization.
- B. A use or structure shall not be deemed nonconforming solely because it does not conform with ~~parking and~~ loading space requirements, ~~and~~ landscape planting area, ~~or screening~~ regulations of the district in which it is located.

17.22.040 Classification of Nonconforming Uses

Nonconforming uses are classified as follows for the purpose of determining whether to permit substitution or expansion subject to the requirements of the following sections, or to require the elimination of the nonconforming use.

- A. **Class I Nonconforming Use.** Class I Nonconforming Uses are those that do not meet the current standards and requirements of this Ordinance but are compatible with the uses of the surrounding properties, including those described in subsections A.1 and A.2, below, or as determined by the Planning Commission pursuant to Subsection A.3, below. Class I Nonconforming Uses are generally treated like conforming uses and may expand and remain indefinitely, subject to the limitations of this Chapter.
 1. **Residential Uses.** Any nonconforming residential use shall be classified as a Class I Nonconforming Use.
 2. **Warehousing and Storage and Wholesaling and Distribution.** Warehousing and Storage and Wholesaling and Distribution that were lawful when established and in existence on

- C. **Existing Residential Buildings.** On-site parking in accordance with this Chapter shall be provided where there is an expansion of existing floor area of 30 percent or more or where additional dwelling units are created through the alteration of an existing building or construction of an additional structure or structures.
- D. **When Constructed.** On-site parking and loading facilities required by this Chapter shall be constructed or installed prior to the issuance of a Certificate of Occupancy for the uses that they serve.

17.23.030 General Provisions

- A. **Existing Parking and Loading to be Maintained.** No existing parking and/or loading serving any use may be reduced in amount or changed in design, location or maintenance below the requirements for such use, unless equivalent substitute facilities are provided.
- B. **Nonconforming Parking or Loading.** An existing use of land or structure shall not be deemed to be nonconforming solely because of a lack of on-site parking and/or loading facilities required by this Chapter, provided that facilities used for on-site parking and/or loading as of the date of adoption of this Ordinance are not reduced in number to less than what this Chapter requires.
- C. **Accessibility.** Parking and loading areas must be accessible for its intended purpose during all hours of operation.
- D. **Stacked Parking.** Stacked or valet parking is allowed if an attendant is present or an automated system is in place to move vehicles. If stacked parking managed by an attendant is used for required parking spaces, an acceptable form of guarantee must be filed with the Director ensuring that an attendant will be present while the lot is in operation.

17.23.040 Required Parking Spaces

- A. **Minimum Number of Spaces Required.** Each land use shall be provided at least the number of on-site parking spaces stated in Table 17.23.040, Required On-Site Parking Spaces. The parking requirement for any use not listed in Table 17.23.040 shall be determined by the Director based upon the requirements for the most similar comparable use, the particular characteristics of the proposed use, and any other relevant data regarding parking demand.

TABLE 17.23.040: REQUIRED NUMBER OF ON-SITE PARKING SPACES		
<i>Land Use Classification</i>	<i>Required Parking Spaces</i>	
Residential Uses	As specified below	
Residential Housing Types		
<i>Single-Unit Dwelling, Attached or Detached</i>	2 per unit	Must be within a garage
<i>Two-Unit Dwelling</i>	1.5 per studio or one-bedroom unit 2 per unit with two or more bedrooms 1 Guest space per unit	One space per unit must be within a garage

TABLE 17.23.040: REQUIRED NUMBER OF ON-SITE PARKING SPACES	
<i>Land Use Classification</i>	<i>Required Parking Spaces</i>
<i>Multi-Unit Building</i>	1.5 per studio or one-bedroom unit 2 per unit with two or more bedrooms Guest parking: .5 space per unit plus 1 for every four units Projects located outside a radius of 100 feet of RS and RL districts, or separated by an arterial street from single family homes, or with driveway aprons, or located within a Specific Plan shall require 1 space plus .25 per unit
	Ten or fewer dwelling units: One space per unit must be within a garage More than ten dwelling units: One space per unit must be covered Guest parking shall be clearly marked as reserved for guests and available with unrestricted access
<i>Accessory Dwelling Unit</i>	1 per unit
Caretaker Unit	1 per unit
Family Day Care	
<i>Small</i>	None beyond what is required for the Residential Housing Type
<i>Large</i>	1 for each nonresident employee plus an area for loading and unloading children plus parking required for the residential use
Group Residential	1 for each employee plus 1 for each guest room or every two beds, whichever is greater
Residential Care Facilities	
<i>Small</i>	None beyond what is required for the Residential Housing Type
<i>Large</i>	1 for every 3 beds
Residential Facility, Assisted Living	1 for every 3 beds
Single Room Occupancy	0.5 per unit
Supportive Housing	None beyond what is required for the Residential Housing Type
Transitional Housing	None beyond what is required for the Residential Housing Type
Senior Housing	1 per unit, plus .25 per unit for guest parking
Public/Semi Public Uses	1 for each employee plus as determined by the Director, except as specified below
Colleges and Trade Schools	1 for each employee plus 1 for every 2 students
Community Assembly	1 for each 4 permanent seats or 1 for every 40 square feet of assembly area where no seats or where temporary or moveable seats are provided
Day Care Centers	1 per each employee plus an area for loading and unloading children
Emergency Shelter	1 per family room, 0.35 per individual bed, plus 1 for each employee
Hospital and Clinics	
<i>Hospitals</i>	1 for every 2 beds
<i>Clinic</i>	1 per 250 square feet of floor area
<i>Skilled Nursing Facility</i>	1 for every 3 beds

TABLE 17.23.040: REQUIRED NUMBER OF ON-SITE PARKING SPACES	
<i>Land Use Classification</i>	<i>Required Parking Spaces</i>
Instructional Services	1 for each employee plus 1 for every 2 students
Parking Lots and Structures	None
Social Service Facilities	1 per 250 square feet of floor area
Tutoring Facilities	1 per 250 square feet of floor area
Commercial Uses	1 per 250 square feet of floor area, except as specified below
Adult-Oriented Business	1 per 150 square feet of floor area
Animal Care, Sales, and Services	
<i>Boarding/Kennels</i>	1 for each employee plus an area for loading and unloading animals
Automobile/Vehicle Sales and Services	1 per 300 square feet of office or retail area and 1 per service bay
Commercial Entertainment and Recreation	1 for each 4 permanent seats or 1 for every 40 square feet of assembly area where no seats or where temporary or moveable seats are provided Bowling alleys: 5 for each lane Other Commercial Entertainment and Recreation uses: As determined by the Director
Eating and Drinking Establishments	1 per 150 square feet of floor area plus 1 per 150 square feet of outdoor dining and seating area over 350 square feet.
Farmer's Markets	None
Food Preparation	1 per 500 square feet of floor area
Funeral Parlors and Interment Services	1 for each 4 permanent seats or 1 for every 40 square feet of assembly area where no seats or where temporary or moveable seats are provided
Hookah Lounge	1 per 150 square feet of floor area
Live/Work Units	1 per 1,000 square feet of nonresidential area plus 1 space for each residential unit
Lodging - Hotels and Motels	1 for each guest room or every two beds, whichever is greater. The director may require additional parking for ancillary uses, such as restaurants.
Maintenance and Repair Services	1 per 500 square feet of floor area
Market Garden	As determined by the Director
Mobile Food Vendor	None
Nurseries and Garden Center	1 per 500 square feet of floor area; 1 per 1,000 square feet of outdoor display area
Offices	
<i>Business, Professional, and Technology</i>	1 per 300 square feet of floor area
<i>Walk-In Clientele</i>	1 per 300 square feet of floor area
Retail Sales	

TABLE 17.23.040: REQUIRED NUMBER OF ON-SITE PARKING SPACES	
<i>Land Use Classification</i>	<i>Required Parking Spaces</i>
<i>Building Materials Sales and Services</i>	1 per 500 square feet of floor area; 1 per 1,000 square feet of outdoor display area
Industrial Uses	1 per 1,000 square feet of floor area plus 1 for each 5,000 square feet of outdoor use area, except as specified below
Custom Manufacturing	1 per 500 square feet of floor area
Personal Storage	1 space per 75 storage units, plus 1 space per 300 square feet of office area. A minimum of 5 spaces shall be provided.
Transportation, Communication, and Utility Uses	1 per 300 square feet of office area plus one for each fleet vehicle

- B. **Calculation of Required Spaces.** The number of required parking spaces shall be calculated according to the following rules:
1. **Floor Area.** Where an on-site parking or loading requirement is stated as a ratio of parking spaces to floor area, the floor area is assumed to be gross floor area, unless otherwise stated.
 2. **Employees.** Where an on-site parking or loading requirement is stated as a ratio of parking spaces to employees, the number of employees shall be based on the largest shift that occurs in a typical week.
 3. **Bedrooms.** Where an on-site parking requirement is stated as a ratio of parking spaces to bedrooms, any rooms having the potential of being a bedroom and meeting the standards of the Building Code as a sleeping room shall be counted as a bedroom.
 4. **Students.** Where a parking or loading requirement is stated as a ratio of parking spaces to students (including children in day care), the number is assumed to be the number of students at the state-certified capacity or at Building Code Occupancy where no state-certification is required.
 5. **Seats.** Where parking requirements are stated as a ratio of parking spaces to seats, each 80 inches of bench-type seating at maximum seating capacity is counted as one seat.
- C. **Sites with Multiple Uses.** If more than one use is located on a site, the number of required on-site parking spaces and loading spaces shall be equal to the sum of the requirements calculated separately for each use unless a reduction is approved pursuant to Section 17.23.050, Parking Reductions.
- D. **CMU District.** In the CMU District, no on-site parking is required for the first 5,000 square feet of ground floor nonresidential use. Ground floor nonresidential uses greater than 5,000 square feet in size shall provide parking in accordance with Table 17.23.040, Required Number of On-Site Parking Spaces, for the floor area in excess of 5,000 square feet. In addition, the following applies in the Old Town Area.

1. **Old Town Area.** The following apply in the Old Town Area as shown on Figure 17.23.040.D.1, Old Town Area Parking Calculations.

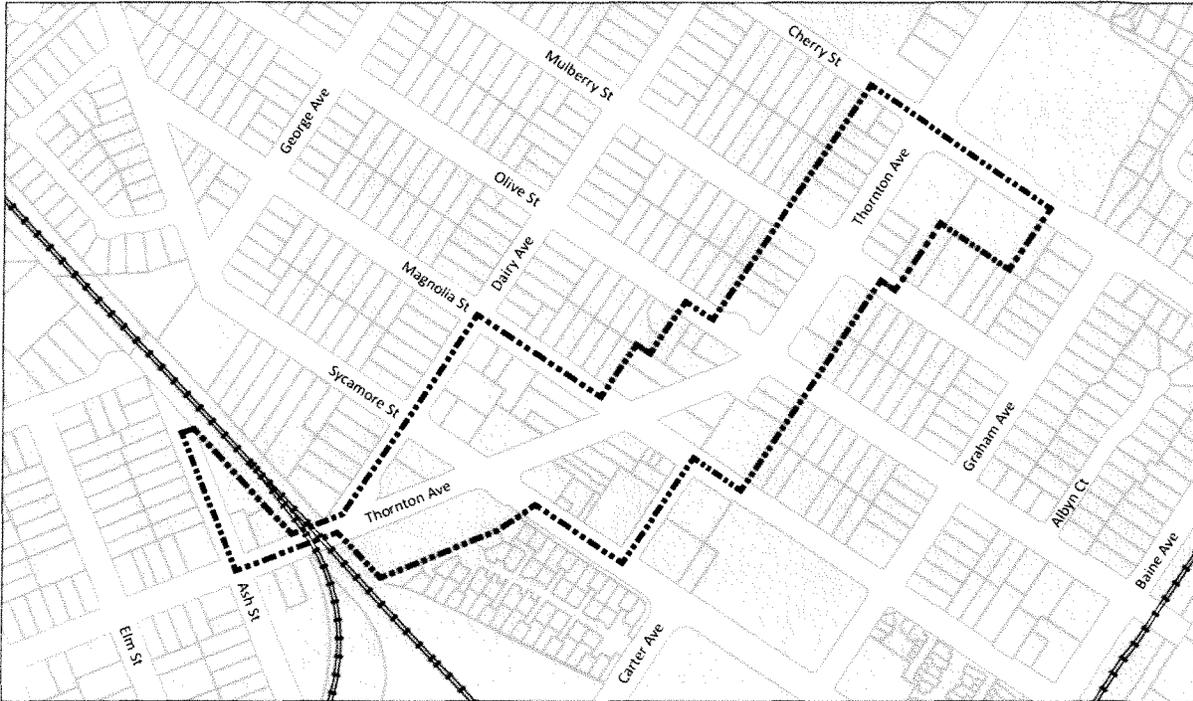


FIGURE 17.23.040.D.1: OLD TOWN AREA PARKING CALCULATIONS

- a. On-street parking along a lot's corresponding frontage lines shall be counted toward the parking requirement. Where an on-street parking space is adjacent to multiple lots, the credit shall be given to the development on the lot whose frontage contains more than 50 percent of the parking space length.

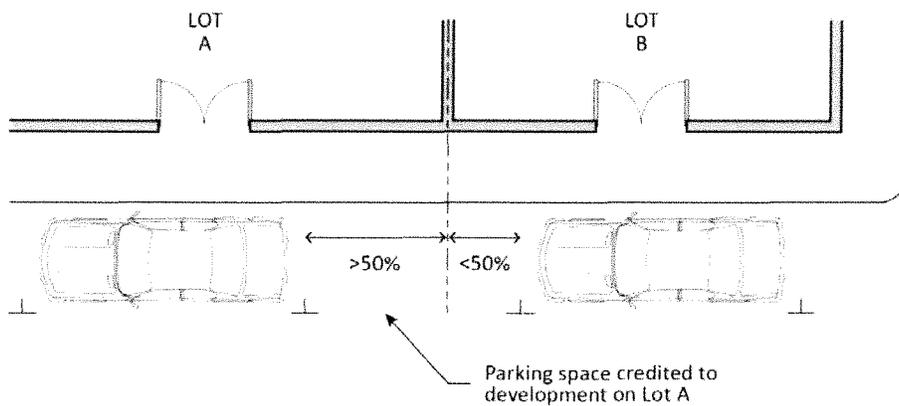


FIGURE 17.23.040.D.1.A: ON-STREET PARKING CREDIT

- b. Where a use with a legal nonconforming parking deficiency is replaced, the new use shall receive a parking credit equal to the number of required automobile parking spaces unmet by the previous use.

17.23.050 Parking Reductions

The number of on-site parking spaces required by Section 17.23.040, Required Parking Spaces, may be reduced as follows, subject to Minor Use Permit approval.

- A. **Transit Accessibility.** For any land use except residential Single-Unit and Two-Unit development, if any portion of the lot is located within one-quarter mile of a transit stop with regular, scheduled service during the weekday hours of 7:00 a.m. to 9:00 a.m. and 5:00 p.m. and 7:00 p.m., the number of required parking spaces may be reduced by 20 percent of the normally required number of spaces.
- B. **Shared Parking.** Where a shared parking facility serving more than one use will be provided, the total number of required parking spaces may be reduced up to 40 percent if the review authority finds that:
 - 1. The peak hours of use will not overlap or coincide to the degree that peak demand for parking spaces from all uses will be greater than the total supply of spaces;
 - 2. The proposed shared parking provided will be adequate to serve each use;
 - 3. A parking demand study prepared by an independent traffic engineering professional approved by the City supports the proposed reduction; and
 - 4. In the case of a shared parking facility that serves more than one property, a parking agreement has been prepared consistent with the provisions of Section 17.23.060.C, Off-Site Parking Facilities.
- C. **Other Parking Reductions.** Required parking for any use may be reduced as follows.
 - 1. **Criteria for Approval.** The review authority may only approve reduced parking if it finds that:
 - a. Special conditions—including, but not limited to, the nature of the proposed operation; proximity to frequent transit service; transportation characteristics of persons residing, working, or visiting the site; or because the applicant has undertaken a transportation demand management program—exist that will reduce parking demand at the site;
 - b. The use will adequately be served by the proposed on-site parking; and
 - c. Parking demand generated by the project will not exceed the capacity of or have a significant impact on the supply of on-street parking in the surrounding area.
 - 2. **Parking Demand Study.** In order to evaluate a proposed project’s compliance with the above criteria, submittal of a parking demand study that substantiates the basis for granting a reduced number of spaces may be required.

- a. *Asphalt.* Two inches of asphaltic concrete on four inches of aggregate base material.
- b. *Concrete.* Four inches of portland cement concrete on three inches of aggregate base material.

17.23.090 Parking Area Design and Development Standards

All parking areas except those used exclusively for stacked or valet parking, shall be designed and developed consistent with the following standards. Parking areas used exclusively for stacked or valet parking are subject only to Subsections I through M. Stacked or valet parking areas which will allow parking at some times without attendants must be striped in conformance with the layout requirements of this Section.

- A. **Tandem Parking.** Tandem parking is not permitted to satisfy the off-street parking requirement.
- B. **Shopping Cart Storage.** When there are businesses that utilize shopping carts, adequate temporary shopping cart storage areas shall be provided throughout the parking lots. No temporary storage of shopping carts is allowed on walkways outside of buildings. Shopping cart storage shall not occur in required parking spaces.
- C. **Parking Access.** Parking access areas shall be designed to ensure vehicular access to parking spaces as determined by the Public Works Director.
 1. **Distance from Intersection.** Access for parking facilities with 10 or more spaces shall be located a minimum of 50 feet from the intersection of any two streets.
 2. **Access Width.** The width of curb cuts for parking access is limited as follows.
 - a. The width of a curb cut serving one travel lane is limited to a maximum of 12 feet, excluding splays.
 - b. The width of a curb cut serving two travel lanes is limited to a maximum of 24 feet, excluding splays, except parking lots with more than 100 spaces where the curb cut may be up to 35 feet wide, excluding splays.
 3. **Shared Access.** Nonresidential projects are encouraged to provide shared vehicle and pedestrian access to adjacent nonresidential properties for convenience, safety, and efficient circulation. A joint access agreement guaranteeing the continued availability of the shared access between the properties approved by the Director shall be recorded in the County's Recorders Office, in a form satisfactory to the City Attorney.
 4. **Forward Entry.** Parking areas of four or more spaces shall be provided with suitable maneuvering room so that all vehicles therein may enter an abutting street in a forward direction.
 5. **Driveway Length.** Driveways providing direct access from a public street to a garage or carport shall be at least 20 feet in depth.
 6. **Driveway Width.** The minimum width of a driveway is as follows:
 - a. 10 feet for any driveway serving one residence.
 - b. 10 feet for a one-way driveway.

- c. 20 feet for a two-way driveway serving any use other than one residence.

D. **Size of Parking Spaces and Maneuvering Aisles.** Parking spaces and maneuvering aisles shall meet the minimum dimensions required by this Subsection. Screening walls, roof support posts, columns, or other structural members shall not intrude into the required dimensions for parking spaces.

1. **Standard Parking Spaces and Drive Aisles.** The minimum basic dimension for standard parking spaces is nine feet by 19 feet, with a minimum vertical clearance of seven feet. Table 17.23.090.D provides the dimensions of spaces (stalls) and aisles according to angle of parking spaces. The required aisle width may be modified if the Public Works Director finds that sufficient space is provided, so that maneuvering areas will not interfere with traffic and pedestrian circulation.

TABLE 17.23.090.D: STANDARD PARKING SPACE AND AISLE DIMENSIONS		
Angle of Parking	Aisle Width (ft)	Stall Depth (ft)
90°	250	19
60°	16	21
45°	12	19
30°	10	17
Parallel	12	19
Other	As determined by the Public Works Director	

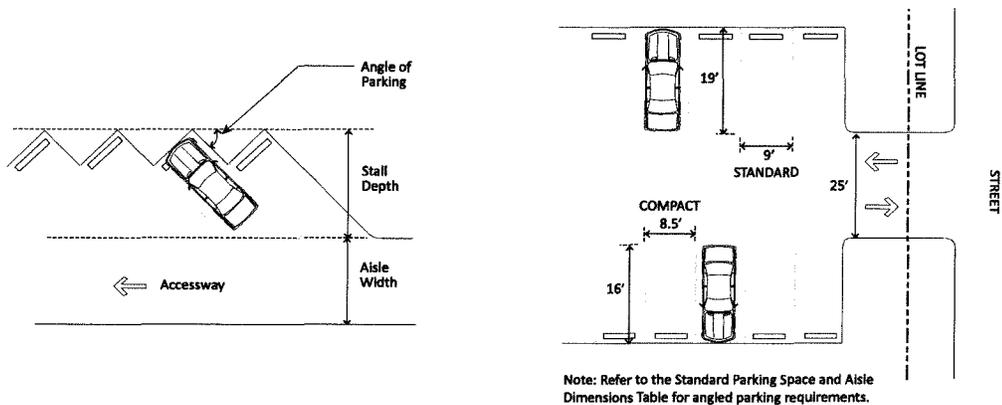


FIGURE 17.23.090.D.1: STANDARD PARKING SPACES AND DRIVE AISLES

2. **Compact Parking Spaces.** Up to 25 percent of assigned spaces may be reduced to 8.5 feet by 16 feet and labeled “compact.”

3. **Parking Spaces Abutting Wall or Fence.** Each parking space adjoining a wall, fence, column, or other obstruction higher than 0.5 feet in the vicinity of where a vehicle door may be located shall be increased to accommodate access to the vehicle through the door.

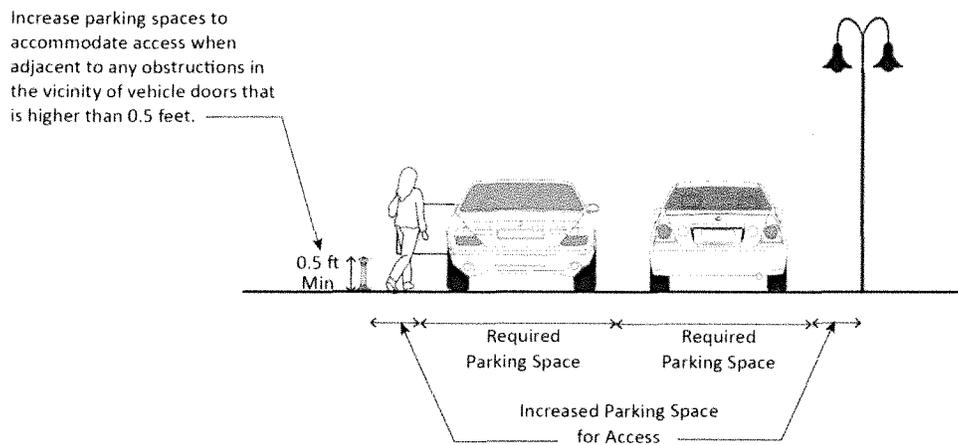


FIGURE 17.23.090.D.3: PARKING SPACES ABUTTING WALL OR FENCE

4. **Minimum Dimensions for Residential Garages and Carports.** Garages and carports serving residential uses shall be constructed to meet the following minimum inside dimensions and related requirements.
 - a. A single car garage or carport: 10 feet in width by 20 feet in length.
 - b. A two-car garage or carport: 20 feet in width by 20 feet in length.
 - c. A garage or carport containing three or more spaces: 10 feet in width by 20 feet in length per space.
 - d. The vertical clearance for garage or carport parking spaces shall not be less than seven feet.
 - e. Stairs may encroach into the parking area of a garage provided that the front end of a standard size automobile can fit under the stair projection. The bottom of the stairwell (including exterior finish) shall be a minimum of five feet above the garage floor.
- E. **Parking Lot Striping.** All parking stalls shall be clearly outlined with striping, and all aisles, approach lanes, and turning areas shall be clearly marked with directional arrows and lines as necessary to provide for safe traffic movement.
- F. **Wheel Stops.** Parking areas designed to accommodate 10 or more vehicles shall provide concrete bumper guards or wheel stops for all unenclosed parking spaces. A six-inch high concrete curb surrounding a landscape area at least six feet wide may be used as a wheel stop, provided that

the overhang will not damage or interfere with plant growth or its irrigation. A concrete sidewalk may be used as a wheel stop if the overhang will not reduce the minimum required walkway width.

G. **Surfacing.** All parking areas shall be paved and improved, and all sites shall be properly drained, consistent with applicable stormwater runoff regulations and subject to the approval of the Public Works Director. No unpaved area shall be used for parking.

1. **Pavement Standards.** Parking areas shall be paved consistent with the following materials or comparable material approved by the Public Works Director.
 - a. **Asphalt.** Two inches of asphaltic concrete on four inches of aggregate base material.
 - b. **Concrete.** Four inches of portland cement concrete on three inches of aggregate base material.
 - c. **Pavers or Permeable Pavement Systems.** Pavers or permeable pavement systems with strength equivalent to a. or b above.
2. **Landscaping Alternative.** Up to two feet of the front of a parking space as measured from a line parallel to the direction of the bumper of a vehicle using the space may be landscaped with ground cover plants instead of paving.

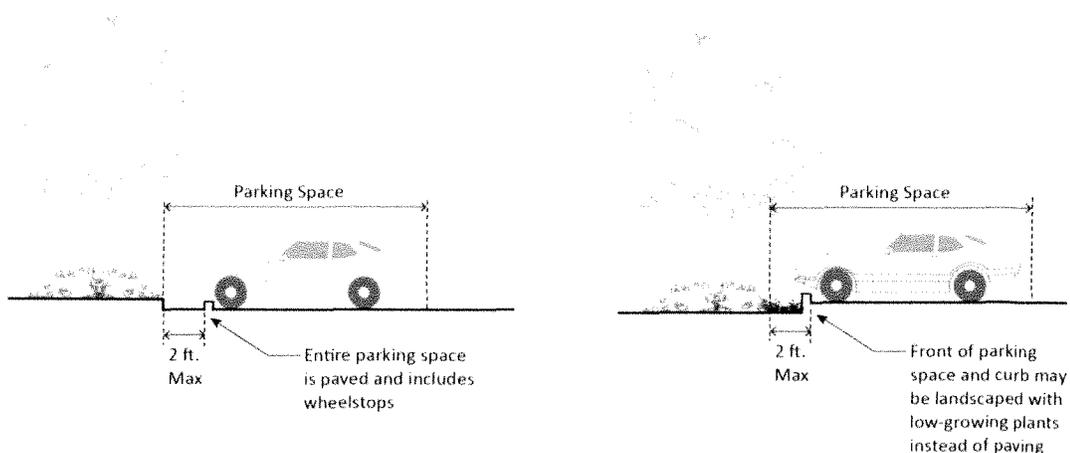


FIGURE 17.23.090.G: PARKING SURFACING

- H. **Perimeter Curbing.** Parking areas designed to accommodate 10 or more vehicles shall provide a six-inch wide and six-inch high concrete curb along the outer edge of the parking facility pavement, except where said pavement abuts a fence or wall. Curbs separating landscaped areas from parking areas shall be designed to allow stormwater runoff to pass through.
- I. **Heat Island Reduction.** In order to reduce ambient surface temperatures in parking areas, at least 50 percent of the areas not landscaped shall be shaded, of light colored materials with a Solar Reflectance Index of at least 29, or a combination of shading and light colored materials.

1. Shade may be provided by canopies, shade structures, trees, or other equivalent mechanism. If shade is provided by trees, the amount of required shading is to be reached within 15 years.
 2. Trees shall be selected from a list maintained by the Planning Division.
- J. **Lighting.** Parking areas designed to accommodate 10 or more vehicles shall be provided with a minimum of one-half foot-candle and a maximum of 3.0 foot-candles of light over of the parking surface during the hours of use from one-half hour before dusk until one-half hour after dawn.
1. Lighting design shall be coordinated with the landscape plan to ensure that vegetation growth will not substantially impair the intended illumination.
 2. Parking lot lighting shall, to the maximum extent feasible, be designed and installed so that light and glare is not directed onto residential use areas or adjacent public rights-of-way, consistent with Chapter 17.24, Performance Standards.
- K. **Separation From On-Site Buildings.** Parking areas designed to accommodate five or more vehicles must be separated from the front and side exterior walls of on-site buildings by walkways a minimum of three feet in width. Commercial buildings with 25,000 square feet or more of gross floor area must be separated from on-site parking on all sides by a walkway a minimum of five feet in width, as well as a planter area at least three feet in width.

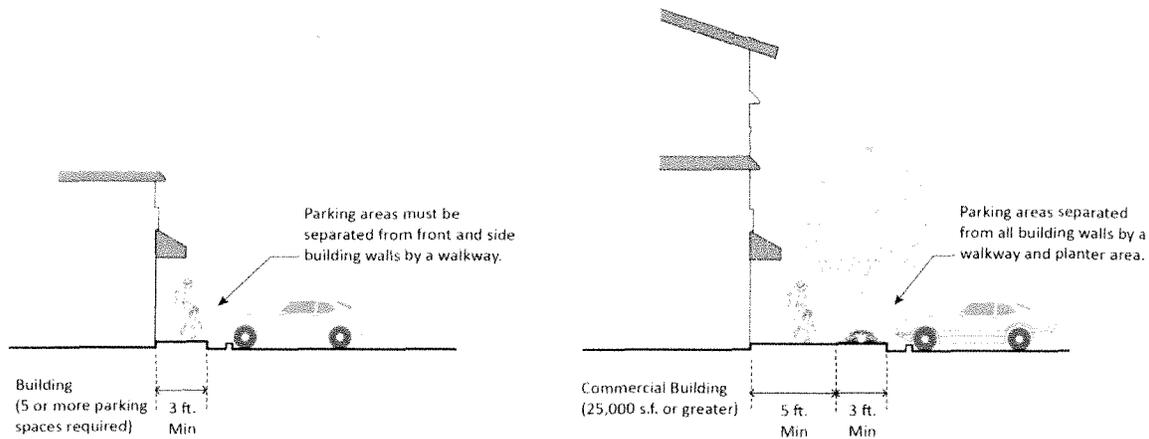


FIGURE 17.23.090.K: PARKING SEPARATION FROM ON-SITE BUILDINGS

- L. **Landscaping.** Parking areas designed to accommodate five or more vehicles must be landscaped according to the general standards of Chapter 17.21, Landscaping, as well as the standards of this Subsection.
1. **Landscape Area Required.** A minimum of 10 percent of the parking lot area shall be landscaped.
 2. **Minimum Planter Dimension.** No landscape planter that is to be counted toward the required landscape area shall be smaller than 25 square feet in area, or four feet in any horizontal dimension, excluding curbing.

3. **Layout.** Landscaped areas shall be well-distributed throughout the parking lot area. Parking lot landscaping may be provided in any combination of:
 - a. Landscaped planting strips at least four feet wide between rows of parking stalls;
 - b. Landscaped planting strips between parking areas and adjacent buildings or internal pedestrian walkways;
 - c. Landscaped islands located between parking stalls or at the ends of rows of parking stalls; and
 - d. On-site landscaping at the parking lot perimeter.
4. **Required Landscaped Islands.** A landscaped island at least six feet in all interior dimensions and containing at least one 24 inch box tree shall be provided at each end of each interior row of parking stalls and between every six consecutive parking stalls.
5. **Landscaped Buffer Adjacent to Right-of-Way.** A landscaped area at least five feet wide shall be provided between any surface parking area and any property line adjacent to a public street, unless a different dimension is specified in the zoning district standards applicable to a site.
6. **Landscaped Buffer Abutting Interior Lot Line.**
 - a. *Adjacent to a Residential, Park, or Open Space District.* A landscaped area at least five feet wide shall be provided between any surface parking area and any adjacent lot in a Residential, Park, or Open Space District for the length of the parking area.
 - b. *Adjacent to Any Other District.* A landscaped area at least three feet wide shall be provided between any surface parking area and any adjacent lot in any district other than Residential, Park, or Open Space for the length of the parking area.
7. **Trees.**
 - a. *Number Required.* One for each eight parking spaces.
 - b. *Distribution.* Trees shall be distributed relatively evenly throughout the parking area.
 - c. *Species.* Tree species shall be selected from a list maintained by the Planning Division.
 - d. *Size.* All trees shall be a minimum 24 inch box with a one-inch diameter at 48 inches above natural grade.
 - e. *Minimum Planter Size.* Any planting area for a tree must have a minimum interior horizontal dimension of five feet. Additional space may be required for some tree species.
8. **Protection of Vegetation.**
 - a. *Clearance from Vehicles.* All required landscaped areas shall be designed so that plant materials, at maturity, are protected from vehicle damage by providing a minimum two-foot clearance of low-growing plants where a vehicle overhang is

permitted, or by wheel stops set a minimum of two feet from the back of the curb.

- b. **Planters.** All required parking lot landscaping shall be within planters bounded by a concrete curb at least six inches wide and six inches high. Curbs separating landscaped areas from parking areas shall be designed to allow stormwater runoff to pass through.
9. **Visibility and Clearance.** Landscaping in planters at the end of parking aisles shall not obstruct driver's vision of vehicular and pedestrian cross-traffic. Mature trees shall have a foliage clearance maintained at eight feet from the surface of the parking area. Other plant materials located in the interior of a parking lot shall not exceed 30 inches in height.

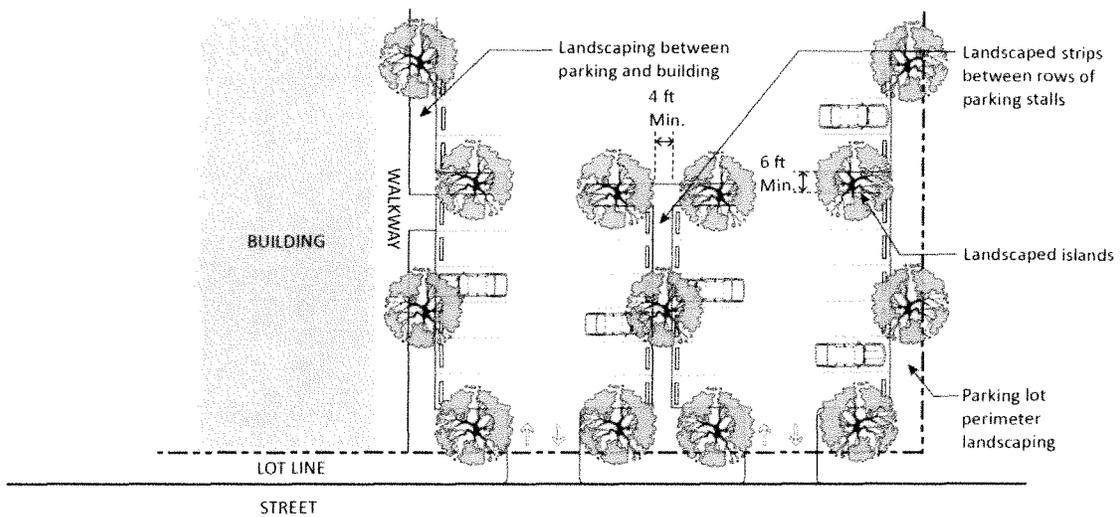


FIGURE 17.23.090.L: PARKING AREA LANDSCAPING

- M. **Screening.** Parking areas designed to accommodate five or more vehicles shall be screened from view from public streets and adjacent lots in a more restrictive zoning district, according to the following standards.
- 1. **Height.** Screening of parking lots from adjacent public streets shall be 42 inches in height. Screening of parking lots along interior lot lines that abut Residential Districts shall be six feet in height, except within the required front setback of the applicable zoning district, where screening shall be three feet in height.
 - 2. **Materials.** Screening may consist of one or any combination of the methods listed below.
 - a. **Walls.** Low-profile walls consisting of brick, stone, stucco, or other quality durable material approved by the Director, and including a decorative cap or top finish as well as edge detail at wall ends. Plain concrete blocks are not allowed as a screening wall material unless capped and finished with stucco or other material approved by the Director.

- b. *Fences.* An open fence of wrought iron or similar material combined with plant materials to form an opaque screen. Use of chain-link or vinyl fencing for screening purposes is prohibited.
- c. *Planting.* Plant materials consisting of compact evergreen plants that form an opaque screen. Such plant materials must achieve a minimum height of two feet within 18 months after initial installation and must be permanently maintained.
- d. *Berms.* Berms planted with grass, ground cover, or other low-growing plant materials.

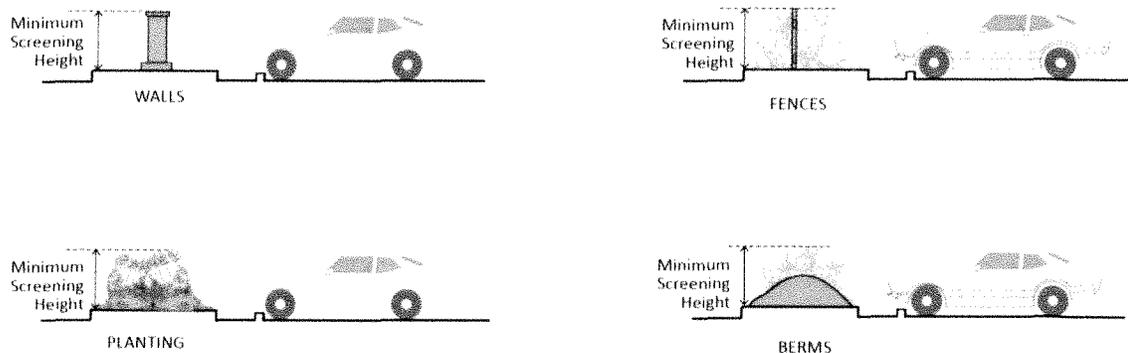


FIGURE 17.23.090.M: SCREENING OF PARKING AREAS

N. Circulation and Safety.

1. Visibility shall be assured for pedestrians, bicyclists, and motorists entering individual parking spaces, circulating within a parking facility, and entering or leaving a parking facility.
2. Off-street parking areas of four or more spaces shall be provided with sufficient maneuvering room so that all vehicles can enter and exit from a public street by forward motion only.
3. Parking lots shall be designed so that sanitation, emergency, and other public service vehicles can provide service without backing up unreasonable distances or making other dangerous or hazardous turning movements.
4. Separate vehicular and pedestrian circulation systems shall be provided where possible. Multi-unit residential developments of five or more units must provide pedestrian access that is separate and distinct from driveways. Parking areas for commercial and mixed-use developments that are 80 feet or more in depth and/or include 25 or more parking spaces must have distinct and dedicated pedestrian access from the commercial use to parking areas and public sidewalks, according to the following standards:
 - a. *Connection to Public Sidewalk.* An on-site walkway shall connect the main building entry to a public sidewalk on each street frontage. Such walkway shall be the

shortest practical distance between the main building entry and sidewalk, generally no more than 125 percent of the straight-line distance.

- b. *Materials and Width.* Walkways shall provide at least five feet of unobstructed width and be hard-surfaced.
- c. *Identification.* Pedestrian walkways shall be clearly differentiated from driveways, parking aisles, and parking and loading spaces through the use of elevation changes, a different paving material, or similar method.
- d. *Separation.* Where a pedestrian walkway is parallel and adjacent to an auto travel lane, it must be raised and separated from the auto travel lane by a raised curb at least four inches high, bollards, or other physical barrier.

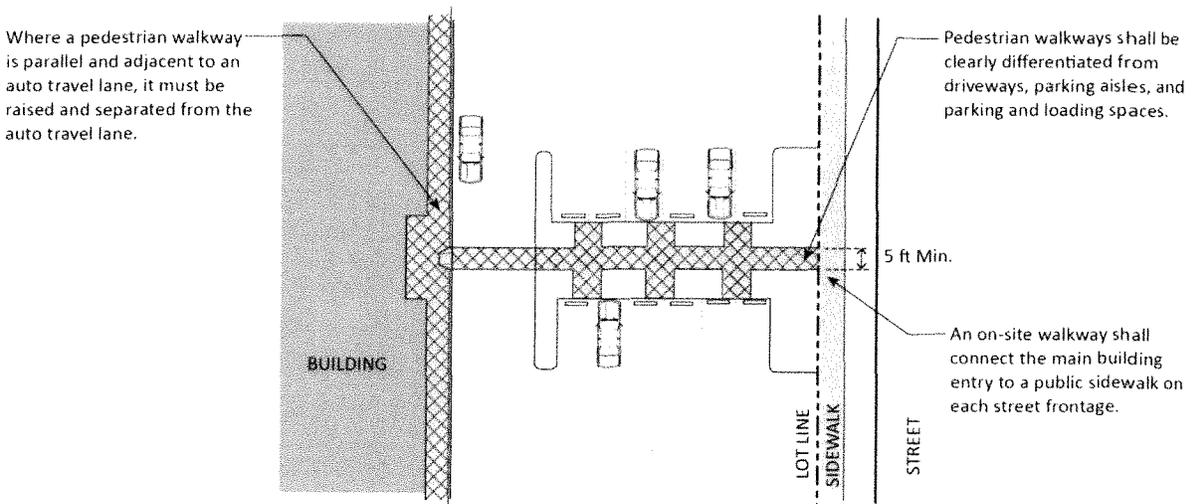


FIGURE 17.23.090.N: PEDESTRIAN CIRCULATION

- O. **Alternative Parking Area Designs.** Where an applicant can demonstrate to the satisfaction of the Director that variations in the requirements of this Section are warranted in order to achieve environmental design and green building objectives, including but not limited to achieving certification under the LEED™ Green Building Rating System or equivalent, an alternative parking area design may be approved.
- P. **Maintenance.** Parking lots, including landscaped areas, driveways, and loading areas, shall be maintained free of refuse, debris, or other accumulated matter and shall be kept in good repair at all times.

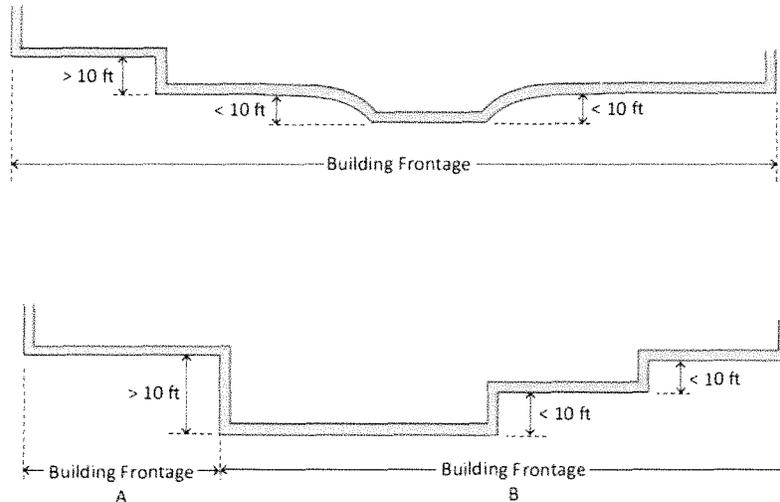


FIGURE 17.25.050.D: BUILDING FRONTAGE

- E. **Street Frontage.** The length of street frontage is measured along the property line adjacent to the public right-of-way.

17.25.060 General Provisions

This Section establishes general standards that apply to all sign types and in all districts.

- A. **Applicable Codes.** In addition to complying with the provisions of this Section, all signs must be constructed in accordance with the Uniform Building Code, the Uniform Sign Code, the Electrical Code, and all other applicable laws, rules, regulations, and policies.
- B. **Changes to Copy of Approved Signs.** Changes to the copy of approved signs that were legally established and have not been modified so as to become illegal are exempt from permitting pursuant to this Ordinance. Changes to copy do not include changes to the type or level of illumination of an approved sign.
- C. **Noncommercial Signs.** Non-commercial signs are allowed wherever commercial signage is permitted and are subject to the same standards and total maximum allowances per site or building of each sign type specified in this Chapter. For purposes of this Chapter, all non-commercial speech messages will be deemed to be "on-site," regardless of location.
- D. **Message Substitution.** A non-commercial message of any type may be substituted, in whole or in part, for any duly permitted commercial message, any non-commercial message may be substituted for any other non-commercial message, and any on-site commercial message may be substituted, in whole or in part, for any other on-site commercial message.
1. **No Additional Approval.** Such substitution of message may be made without any additional approval, permitting, registration, or notice to the City. The purpose of this provision is to prevent any inadvertent favoring of commercial speech over non-

commercial speech, or favoring of any particular non-commercial message over any other noncommercial message.

2. **Limitations.** This message substitution provision does not: 1) create a right to increase the total amount of signage on a parcel, lot or land use; 2) affect the requirement that a sign structure or mounting device be properly permitted; 3) allow a change in the physical structure of a sign or its mounting device; or 4) authorize the substitution of an off-site commercial message in place of an on-site commercial message or in place of a non-commercial message.

E. **Changeable Copy.**

1. **Manual Changeable Copy.** Manually changeable copy shall represent no more than 30 percent of the sign area.
2. **Automatic Changeable Copy and Electronic Message Center Signs.** Electronic Message Center (EMC) signs and automatic changeable copy in which copy can be changed or altered by electric, electro-mechanical, electronic, or any other artificial energy means, are allowed subject to the following standards.
 - a. **Permit Required.** All automatic changeable copy and electronic message center signs require Conditional Use Permit approval, except service and gas station price signs and time and temperature signs.
 - b. **Display Duration.** The display shall change no more frequently than once every eight seconds and must have an unlighted interval between copy displays of 0.3 second or more.
 - c. **Static Message.** Displays shall contain static messages only, and shall not have movement, or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination, or the flashing, scintillating or varying of light intensity
 - d. **Light Intensity.** 0.3 foot-candles over ambient lighting conditions when measured at a distance equal to the square root of 100 times the area of the sign in square feet. All electronic copy must be equipped with a sensor or other device that automatically determines the ambient illumination and programmed to automatically dim according to ambient light conditions, or that can be adjusted to comply with the 0.3 foot-candle measurements.
 - e. **Automatic Controls.** All electronic message displays shall be equipped with automatic controls to allow for adjustment of brightness based on ambient lighting conditions.

- F. **Illumination.** Illuminated channel letters and neon signs are allowed. However, ~~cabinet internally illuminated~~ signs ~~and bare bulbs~~ are prohibited. Lighting fixtures used to illuminate an outdoor sign shall be mounted on the top of the sign structure, unless approved with a Minor Use Permit.

- G. **Encroachment Permits.** Signs mounted on private property may project into or above public property or the public right-of-way only with approval by the Public Works Director of an encroachment permit.

- H. **Materials.** Signs shall be made of sturdy, durable materials. Paper, cardboard and other materials subject to rapid deterioration shall be limited to temporary signs. Fabric signs are limited to awnings, canopies, flags, and temporary signs.

17.25.070 Allowed Signs by District

This Section establishes the types and size of signs allowed per zoning district. These signs are also subject to the regulations in “General Provisions for All Sign Types” and “Standards for Specific Sign Types”.

- A. **Types of Signs Allowed.** Table 17.25.070.A establishes the types of signs allowed per zoning district.

TABLE 17.25.070.A: ALLOWED SIGNS BY DISTRICT							
<i>✓ Allowed (subject to compliance with this Chapter)</i>				<i>- Not Allowed</i>			
<i>District</i>	<i>Sign Type</i>						
	<i>A-frame</i>	<i>Awning and Canopy</i>	<i>Freestanding</i>	<i>Projecting and Shingle</i>	<i>Window</i>	<i>Wall</i>	<i>High Rise Building Identification</i>
All Districts							
See Section 17.25.080, Signage Allowances for Specific Uses and Development and Section 17.25.090.G, Temporary Signs.							
Commercial and Mixed Use Districts							
NC	✓	✓	✓	✓	✓	✓	-
CMU	✓	✓	✓	✓	✓	✓	-
CR	✓	✓	✓	✓	✓	✓	-
CC	✓	✓	✓	✓	✓	✓	✓
RC	✓	✓	✓	✓	✓	✓	✓
Employment Districts							
OP	-	✓	✓	✓	✓	✓	✓
BTP	-	✓	✓	✓	✓	✓	✓
LI	-	✓	✓	✓	✓	✓	✓
GI	-	✓	✓	✓	✓	✓	✓
Public and Semi-Public Districts							
PF	-	-	✓	-	✓	✓	-
TS	-	✓	✓	✓	✓	✓	-
PK	-	-	✓	-	-	✓	-
OS	-	-	✓	-	-	✓	-
Resource Production District							
RP	-	-	✓	-	-	✓	-

- A. **Residential Developments.** Residential developments of two or more units or lots are allowed freestanding signs and wall signs with a total aggregate sign area of one square foot per two dwelling units, subject to the following standards.
 - 1. **Maximum Number of Signs.** One per street frontage.
 - 2. **Maximum Size per Sign.** 20 square feet.
 - 3. **Maximum Height of Freestanding Signs.** Four feet.
- B. **Non-Residential Uses in Residential Districts.** Nonresidential uses that are the primary use on a site in a Residential District are allowed total aggregate sign area of one square foot per eight feet of street frontage. Allowed sign types and the maximum sign area for individual signs is as follows.
 - 1. **Awning and Canopy Signs.** Six square feet or 25 percent of the surface area of the awning, whichever is less.
 - 2. **Freestanding Signs.** Six square feet.
 - 3. **Projecting and Shingle Signs.** Six square feet.
 - 4. **Window Signs.** 15 percent of window area.
 - 5. **Wall Signs.** 10 square feet.
- C. **Menu/Order Board Signs.** Outdoor menu/order board signs are subject to the following standards:
 - 1. **Uses Allowed With.** Outdoor menu/order board signs are allowed on the site of a permitted drive-in, walk-up, or drive-thru facility.
 - 2. **Maximum Number.** A maximum of two per business with a drive-thru facility and one per business with a walk-up window.
 - 3. **Maximum Size.** The area of each menu/order board sign shall not exceed 32 square feet.
 - 4. **Maximum Height.** Six feet.
 - 5. **Location.**
 - a. Menu/order board signs shall be located adjacent to the drive-thru aisle or walk-up window; and
 - b. The signs shall not be located so as to impair the vision of the driver of a vehicle traveling either into, out of, or through the drive-thru aisle.
- D. **Display Structures.** Display structures for pedestrian viewing are allowed in Commercial and Mixed-Use Districts pursuant to Master Sign Program approval. Such structures may include enclosed displays or displays incorporated into the structure such as bus stop benches, kiosks, or weather protection structures.

17.25.090 Standards for Specific Sign Types

This Section establishes general standards for specific sign types that apply to all districts where such signs are allowed.

- A. **Awning and Canopy Signs.** Signs painted on awnings, canopies, arcades, or similar attachments or structures are subject to the following standards.
1. **Maximum Number.** One for each establishment having entrance under or offering service under the awning or canopy.
 2. **Maximum Size.** 10 square feet or 25 percent of the surface area of the awning, whichever is less. The sign area of awning and canopy signs is included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
 3. **Maximum Height.** 14 feet.
 4. **Minimum Sign Clearance.** Eight feet.
 5. **Illumination.** Awning and canopy signs shall not be illuminated.

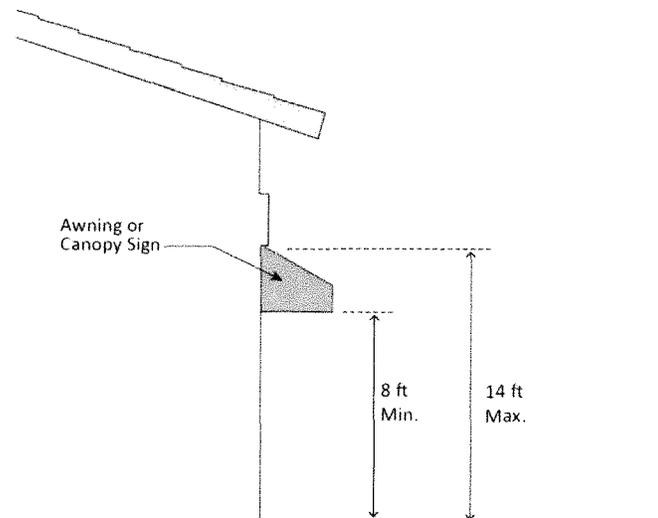


FIGURE 17.25.090.A: AWNING AND CANOPY SIGNS

- B. **Freestanding Signs.** Freestanding signs are subject to the following standards.
1. **Maximum Number.** One per 50 feet of street frontage.
 2. **Maximum Size.** The maximum sign area per freestanding sign is listed below. The sign area of freestanding signs is not included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
 - a. *NC, CMU, and CR Districts:* 100 square feet.
 - b. *CC District:* 150 square feet.
 - c. *RC District:* 250 square feet.
 - d. *OP District:* 100 square feet.

- e. *BTP District: 60 square feet.*
 - f. *LI and GI Districts: 100 square feet.*
 - g. *Public and Semi-Public and Resource Production Districts: 60 square feet.*
3. **Maximum Height.**
- a. *NC, CMU, and CR Districts: 20 feet.*
 - b. *CC District: One sign may be up to 40 feet. 20 feet for all other freestanding signs.*
 - c. *RC District: One sign may be up to 100 feet. 20 feet for all other freestanding signs.*
 - d. *OP District: 20 feet.*
 - e. *BTP District: Up to two signs per street entrance may be up to eight feet. Three feet for all other freestanding signs*
 - f. *LI and GI Districts: One sign may be up to 30 feet. 20 feet for all other freestanding signs.*
 - g. *Public and Semi-Public and Resource Production Districts: Eight feet.*
 - g-h. *All monument signs shall be up to 6 feet.*
4. **Additional Freestanding Signs in the RC District.** In the RC District, one additional sign up to 250 square feet in size and up to 40 feet high is allowed at each entrance from a public street. This additional sign is not included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
5. **Placement.**
- a. Freestanding signs shall be located a minimum of five feet from any building.
 - b. Freestanding signs shall be located a minimum of 20 feet from the lot line of any lot in a Residential District.
 - c. Freestanding signs shall be setback from all other property lines a minimum distance equal to one-half the height of the sign. Freestanding signs shall also meet visibility requirements at street intersections and driveways pursuant to Chapter 10.36, Visibility Requirements, of the Newark Municipal Code.

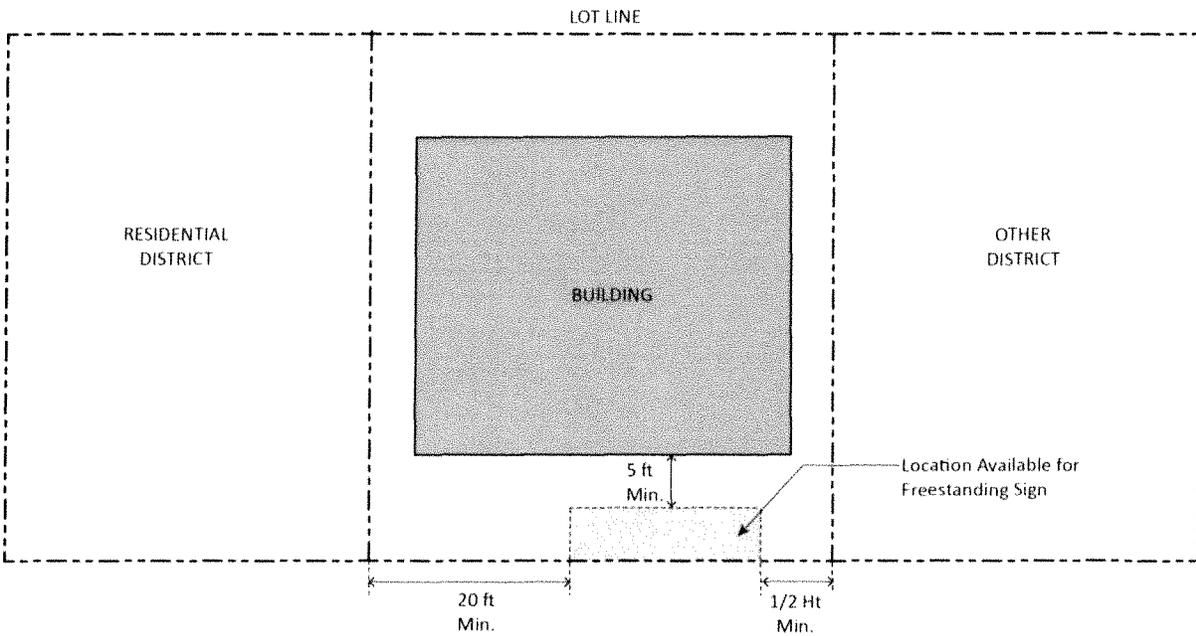


FIGURE 17.25.090.B: FREESTANDING SIGNS

- C. **Projecting and Shingle Signs.** Signs that project horizontally from the exterior wall of a building or are suspended beneath a marquee, covered walkway, canopy, or awning, are subject to the following standards.
1. **Maximum Number.** One for each building frontage or tenant space.
 2. **Maximum Size.** Nine square feet. The sign area of projecting and shingle signs is included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
 3. **Maximum Height.** 15 feet.
 4. **Minimum Sign Clearance.** Eight feet.
 5. **Projection Allowed.**
 - a. **Projecting Sign.** A projecting sign cannot extend more than four feet from the building to which it is attached and must be designed and located so as to cause no harm to street trees. Signs projecting into the public right-of-way are subject to an encroachment permit.
 - b. **Shingle Sign.** A shingle sign cannot extend further than the outer edge of the marquee, covered walkway, canopy, or awning from which it is suspended.
 6. **Illumination.** Projecting and shingle signs shall not be illuminated.

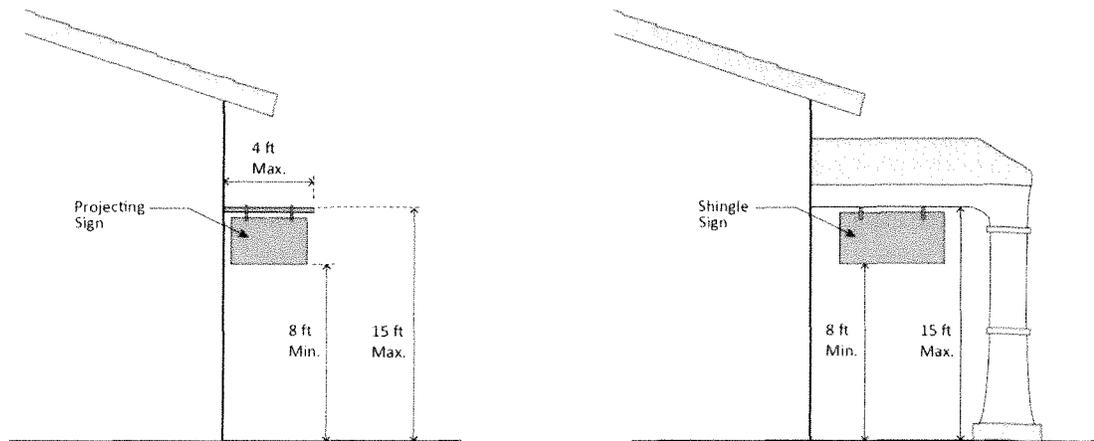


FIGURE 17.25.090.C: PROJECTING AND SHINGLE SIGNS

- D. **Wall Signs.** Wall signs include any sign attached to, erected against or painted upon the wall of a building or structure. Wall signs are subject to the following standards.
1. **Maximum Number.** One per building frontage or tenant space.
 2. **Maximum Size.** Wall sign copy shall not occupy more than 75 percent of the length of the wall to which the sign is attached. The sign area of wall signs is included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
 - a. *BTP District.* In the BTP District, wall signs are limited to 10 square feet per tenant.
 3. **Material.** In Commercial and Mixed-Use Districts, wall signs shall consist of channel sign elements with the exemption of business logos.
 4. **Attachment.**
 - a. Attached flat against or pinned away from a building wall, but shall not extend or protrude more than 15 inches from the wall; or
 - b. Attached to the facade of a building or on a sloping roof (mansard roof), but shall not extend above the upper edge of the facade or the sloping roof.
 5. **Placement.**
 - a. Wall signs shall not be placed higher than the second story of a building.
 - b. Wall signs shall not cover or interrupt major architectural features, including such features as doors, windows, or tile embellishments.
 - c. Wall signs shall not extend higher than the building wall upon which they are attached except on a peaked, mansard, or shed roof where the sign may be placed in such a manner that the highest point on the sign shall be no higher than

the lowest two-thirds of the roof height and providing that the vertical dimension of the sign shall be no greater than one-third the vertical dimension of the roof.

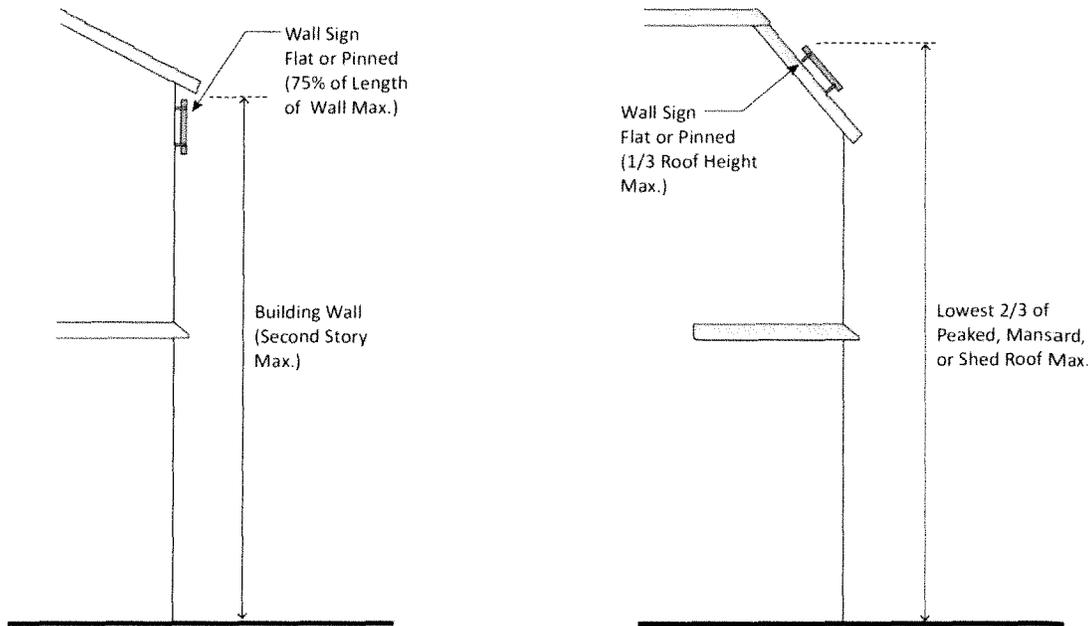


FIGURE 17.25.090.D: WALL SIGNS

- E. **A-Frame Signs.** A-Frame signs are subject to the following standards.
1. **Maximum Number.** One per business.
 2. **Maximum Size.** Six square feet. The sign area of a-frame signs is not included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
 3. **Maximum Height.** Four feet.
 4. **Placement.** A-Frame signs must be placed on private property directly in front of the business it is identifying.
 5. **Hours of Display.** A-Frame signs shall be removed during hours when the establishment is not open to the public and cannot be displayed after the activity with which they are associated with is over.
- F. **High-rise Building Identification Signs.** High-rise building identification signs are allowed on buildings of at least four stories, subject to the following standards.
1. **Maximum Number.** One per street frontage.

2. **Maximum Size.** One square foot per linear foot of building frontage. The sign area of high-rise building identification signs is not included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
 3. **Location.** Signs shall be located on the upper-most story of the building.
- G. **Temporary Signs.** Any temporary sign, banner, balloon, pennant, valance or advertising display for any event of limited duration including, but not limited to, entertainment, sporting events, elections, construction, sales of goods, and real estate sales and rental may be erected and located in accordance with the following standards. Tenants and units include planned future tenants and units to be constructed for which a planning approval has been granted or for which a Building Permit has been issued.
1. **RS and RL Districts.**
 - a. **Maximum Sign Area.** Six square feet per street frontage.
 - b. **Maximum Height.** Six feet above existing grade.
 - c. **Location.** Signs greater than three square feet in size shall be setback from all property lines a minimum of five feet.
 2. **RM and RH Districts.**
 - a. **Maximum Sign Area.** 20 square feet per street frontage.
 - b. **Maximum Height.** 10 feet above existing grade.
 - c. **Additional Individual Unit Signs.** Each groundfloor unit is also allowed one sign up to six square feet in size and six feet in height. Each upperfloor unit is allowed one sign up to three square feet in size and located no higher than the eave line or parapet line of the unit.
 - d. **Location.** Signs between three and 10 square feet in size shall be setback from all property lines a minimum of five feet. Signs 10 square feet in size or larger shall be setback from all property lines a minimum of 10 feet.
 3. **NC, CMU, CR, CC, and OP Districts.**
 - a. **Maximum Sign Area.** 32 square feet per street frontage.
 - b. **Maximum Height.** Six feet above existing grade
 - c. **Additional Individual Tenant/Unit Signs.** Each groundfloor tenant/unit is allowed one sign up to three square feet in size and six feet in height. Each upperfloor tenant/unit is allowed one sign up to three square feet in size and located no higher than the eave line or parapet line of the unit.
 - d. **Location.** Signs between three and 10 square feet in size shall be setback from all property lines a minimum of five feet. Signs 10 square feet in size or larger shall be setback from all property lines a minimum of 10 feet.
 4. **RC, BTP, LI, and GI Districts.**
 - a. **Maximum Sign Area.** 64 square feet per street frontage.
 - b. **Maximum Height.** 10 feet above existing grade

- c. *Additional Individual Tenant/Unit Signs.* Each groundfloor tenant/unit is allowed one sign up to six square feet in size and six feet in height. Each upperfloor tenant/unit is allowed one sign up to three square feet in size and located no higher than the eave line or parapet line of the unit.
 - d. *Location.* Signs between three and 10 square feet in size shall be setback from all property lines a minimum of five feet. Signs 10 square feet in size or larger shall be setback from all property lines a minimum of 10 feet.
 - 5. ***PK and TS Districts.***
 - a. *Maximum Sign Area.* Six square feet per street frontage.
 - b. *Maximum Height.* Six feet above existing grade.
 - 6. ***PF, OS, and RP Districts.***
 - a. *Maximum Sign Area.* 12 square feet per street frontage.
 - b. *Maximum Height.* 10 feet above existing grade.
 - c. *Location.* Signs between three and 10 square feet in size shall be setback from all property lines a minimum of five feet. Signs 10 square feet in size or larger shall be setback from all property lines a minimum of 10 feet.
 - 7. ***Time Limits.*** Temporary signs shall be removed within 14 days after the conclusion of the event the drive, the election, or the purpose served by the sign.
 - a. Any such sign that remains more than 14 days after the event shall be considered abandoned and the City Clerk and/or Public Works Director, or any of their agents, are authorized to remove the sign without notice.
 - 8. ***Removal.*** The City Clerk and/or Public Works Director, or any of their agents, are authorized to remove any sign found to be in violation of this section and shall store the sign in a safe location. The City Clerk and/or Public Works Director shall reasonably attempt to contact the person or entity responsible for posting the sign, such as the organization, campaign, committee, and/or candidate. If the sign is not retrieved within 14 calendar days after such notification, or reasonable attempt thereof, the sign shall be considered as abandoned and the City Clerk and/or Public Works Director, or any of their agents, are authorized to dispose of the sign without further notice.
- H. **Window Signs.** Permanent window signs painted on or otherwise adhered directly onto a window and signs that block a window in any way are subject to the following standards.
 - 1. ***Maximum Size.*** 25 percent of the window area. The sign area of window signs is not included in the calculation of aggregate sign area allowed pursuant to Table 17.25.070.B, Maximum Allowable Aggregate Sign Area.
 - 2. ***Height.*** Window signs shall not be mounted or placed on windows higher than the second story.

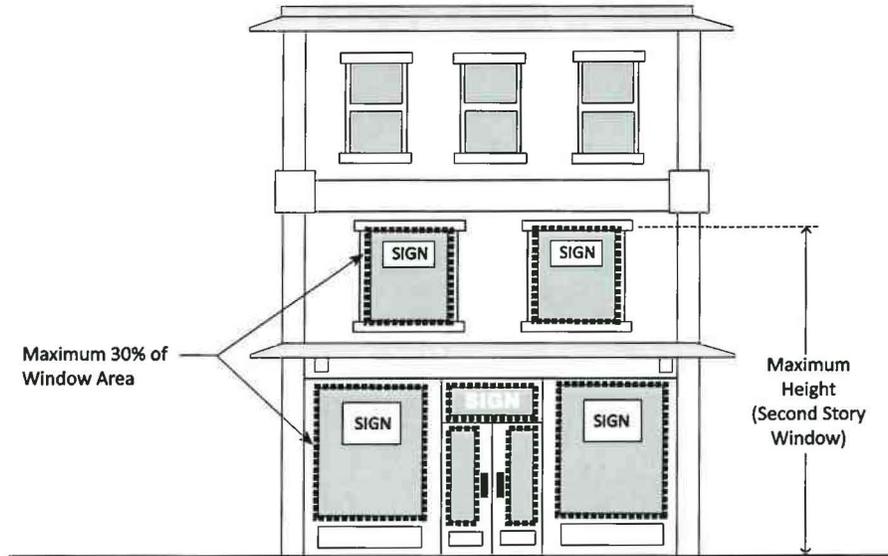


FIGURE 17.25.090.H: WINDOW SIGNS

17.25.100 Sign Permit Required

- A. **Sign Permit Required.** Except as otherwise expressly provided in this Chapter, it is unlawful for any person to affix, place, erect, suspend, attach, construct, structurally or electrically alter (not including a face change of sign copy), move, or display any temporary or permanent sign within the City without first obtaining a sign permit from the Director. No sign permit is required for exempt signs and for cleaning or other normal maintenance of a properly approved sign, unless a structural or electrical change is made.
- B. **Design Review Required.** All signs **25 square feet or more in size** are subject to the design review by the Planning Division. ~~provisions of Chapter 17.34, Design Review.~~
- C. **Conditional Use Permit Required for Outdoor Advertising Structures (Billboards).** Outdoor advertising structures displaying general advertising for hire are allowed when oriented towards a freeway in the RC and BTP districts subject to Conditional Use Permit approval.
- D. **Applications for Filing, Processing and Review.**
1. **Filing and Filing Fee.** Application for a Sign Permit shall be made upon forms furnished by the Director and accompanied by the required fee and working drawings adequate to show:
 - a. The location, dimensions, construction and design, including colors, materials, lighting, electrical elements, and advertising copy, of the sign.
 - b. The location and dimensions of existing structures and the relationship of the proposed sign to existing structures.
 - c. The location, dimensions, and design of all existing signs.

2. **Compliance with Standards.**

- a. Upon acceptance of a sign application, the Director shall review the request for compliance with the standards and requirements of this Chapter, and with any standards established in a Master Sign Program pursuant to Section 17.25.110, Master Sign Program.
- b. The Director's decision shall clearly state any conditions of approval or reasons for disapproval and applicable appeal provisions.
- c. No permit for construction will be issued until design review, if required, has been granted and the application has been found in conformance with the approved design.

E. **Permit Number Identification.** A tag issued by the City indicating the Sign Permit number shall be affixed to the sign so as to be readily visible by City inspectors.

17.25.110 Master Sign Programs

A. **Purpose.** The purpose of a Master Sign Program is to provide a method for an applicant to integrate the design and placement of signs within a project with the overall development design to achieve a more unified appearance.

B. **Applicability.**

1. A Master Sign Program is required for:
 - a. Projects with four or more nonresidential tenants,
 - b. Multi-unit developments of 50 or more units, and
 - c. Whenever five or more signs are proposed for a building or site.

C. **Application.** Master Sign Program applications shall contain all written and graphic information needed to fully describe the proposed sign program, including the proposed location and dimension of each sign, as well as proposed color schemes, font types, materials, methods of attachment or support, and methods of illumination. A Master Sign Program application shall also include calculation of total allowed sign area, and total proposed sign area, for the site.

D. **Allowable Modifications.** A Master Sign Program may provide for deviations from the standards of this Chapter.

E. **Review Authority.** All Master Sign Programs are subject to review and approval of the Review Authority for the project with which the signs are associated. A Master Sign Program may be submitted separately or as part of the permit application for the project.

1. The Planning Commission shall be the Review Authority for any Master Sign Program application requesting additional sign area, additional height, or an increase in the number of signs otherwise allowed by this Chapter.
2. The Director may, at his or her discretion, refer any application for a Master Sign Program to the Planning Commission for a decision rather than acting on it himself or herself.

F. **Required Findings.** In order to approve a Master Sign Program, the Review Authority must find that all of the following are met, in addition to other applicable regulations in this Section:

17.26.130 Live-Work Units

Joint living and working quarters (Live-Work Units) shall be located, developed, and operated in compliance with the following standards:

- A. **Establishment.** Live-work units may be established through the conversion of existing buildings or by new construction, permitted or conditionally permitted as specified in Division II: Base and Overlay Districts.
- B. **Permitted Work Activity.** The work activity in a building where live-work units are allowed shall be any use permitted by right or use permit in the zoning district, except that, in order to protect the health and safety of persons who reside in a live-work unit or in a building which contains one or more live-work units, no work activity shall be permitted nor shall any live-work unit be established on any site that contains those uses which the Zoning Administrator finds would, by virtue of size, intensity, hours of operation, number of employees or the nature of the operation, have the potential to adversely affect others living or working in or nearby the live-work development by reason of dust, glare, heat, noise, noxious gases, odor, smoke, traffic, vibration or other impacts, or would be hazardous by way of materials, process, product or wastes.
- C. **No Separate Sale or Rental of Portions of Unit.** No portion of a live-work unit may be separately rented or sold as a commercial space for a person or persons not living in the premises or as a residential space for a person or persons not working in the same unit.

17.26.140 Home Occupations

Home occupations shall be located, developed, and operated in compliance with the standards of this Section. An inspection may be required to verify compliance with applicable standards.

- A. **Applicability.** This Section applies to home occupations in any residential unit in the City regardless of the zoning designation. It does not apply to family day care, which is regulated separately.
- B. **General Standards.** All home occupations shall be located and operated consistent with the following standards:
 - 1. **Residential Appearance.** The residential appearance of the unit within which the home occupation is conducted shall be maintained, and no exterior indication of a home occupation is permitted except signs in conformance with Chapter 17.25, Signage Standards.
 - 2. **Location.** All home occupation activities shall be conducted entirely within the residential unit, or within a garage that is attached to, and reserved for, the residential unit. When conducted within a garage, the doors thereof shall be closed, and the area occupied shall not preclude the use of required parking spaces for parking.
 - 3. **Floor Area Limitation.** No more than 20 percent of the floor area of the dwelling unit may be used in the conduct of the home occupation.
 - 4. **Structural Modification Limitation.** No dwelling shall be altered to create an entrance to a space devoted to a home occupation that is not from within the building, or to create features not customary in dwellings.

5. **Employees.** No employees or independent contractors other than residents of the dwelling shall be permitted to work at the location of a home occupation except as otherwise allowed for cottage food operations.
6. **On-Site Client Contact.** No customer or client visits are permitted except for personal instruction services (e.g., musical instruction or training, art lessons, academic tutoring) which may have up to two students at one time.
7. **Direct Sales Prohibition.** Home occupations involving the display or sale of products or merchandise are not permitted from the site except by mail, telephone, internet, or other mode of electronic communication or except as otherwise allowed for cottage food operations.
8. **Storage.** There can be no storage of materials, supplies, and/or equipment for the home occupation in an accessory building or outdoors. Storage may only occur within a garage if it does not occupy or obstruct any required parking space. Contractors whose work is conducted entirely off site (and who use their home solely for administrative purposes related to the contracting business) may store construction, electrical, landscaping, plumbing, or similar supplies or materials within a single vehicle of one-half ton or less.
9. **Equipment.** Home occupations shall not be permitted which involve mechanical or electrical equipment which is not customarily incidental to domestic use.
10. **Hazardous Materials.** Activities conducted and equipment or materials used shall not change the fire safety or occupancy classifications of the premises, nor use utilities different from those normally provided for residential use. There shall be no storage or use of toxic or hazardous materials other than the types and quantities customarily found in connection with a dwelling unit.
11. **Nuisances.** A home occupation shall be conducted such that no offensive or objectionable noise, dust, vibration, smell, smoke, heat, humidity, glare, refuse, radiation, electrical disturbance, interference with the transmission of communications, interference with radio or television reception, or other hazard or nuisance is perceptible at or beyond any lot line of the unit or structure within which the home occupation is conducted, or outside the dwelling unit if conducted in other than a single-unit detached residence.
12. **Traffic and Parking Generation.** Home occupations shall not generate a volume of pedestrian, automobile, or truck traffic that is inconsistent with the normal level of traffic in the vicinity or on the street on which the dwelling is located or which creates the need for additional parking spaces, or involve deliveries to or from the premises in excess of that which is customary for a dwelling unit.
13. **Commercial Vehicles and Attachments.** Home occupations involving more than one commercial vehicle parked on-site shall not be permitted. No attachments of equipment or machinery used for business purposes shall be permitted either on the vehicle or on the site when the vehicles are not in use and such equipment or machinery is within view from the public right-of-way or neighboring properties. Storage of attachments of equipment and machinery are not permitted in areas visible from public rights-of-way or neighboring properties, unless part of an active approved construction project on the site.

~~13.~~14. **Business Licenses.** No home occupation shall be conducted without a current business license obtained and maintained pursuant to the provisions of Chapter 5.04, Business Licenses.

C. **Cottage Food Operations.** A cottage food operation is allowed as a home occupation and an accessory use to any legally established residential unit subject to the following standards:

1. **Minor Use Permit Required.** Cottage food operations are allowed subject to Minor Use Permit approval.
2. **Registration.** Cottage food operations shall be registered as “Class A” or “Class B” cottage food operations and shall meet the respective health and safety standards set forth in Section 114365 et seq. of the California Health and Safety Code.
3. **Sales.** Sales directly from a cottage food operation are limited to the sale of cottage food products. A cottage food operation shall not have more than \$50,000 in gross annual sales in each calendar year.
4. **Operator and Employee Allowed.** Only the cottage food operator and members of his or her household living in the unit, as well as one full-time equivalent cottage food employee, may participate in a cottage food operation.
5. **Equipment.** Cottage food operations may employ kitchen equipment as needed to produce products for which the operation has received registration, provided that equipment would not change the residential character of the unit, result in safety hazards, or create smoke or steam noticeable at the lot line of an adjoining residential property. Venting of kitchen equipment shall not be directed toward neighboring residential uses.

D. **Prohibited Home Occupations.** The following specific businesses are not permitted as home occupations.

1. Automobile/vehicle sales and services;
2. Animal care, sales, and services;
3. Eating and drinking establishments;
4. Hotels and motels;
5. Hospitals and clinics;
6. Firearm sales;
7. Personal services; and
8. Retail sales.

E. **Home Occupation Permit; Issuance; Modification; and Revocation.** No home occupation shall be permitted unless the Director certifies that it conforms to the home occupation regulations of this chapter and application for such permit shall be made pursuant to Section 17.31.020 (Application Forms and Fees).

1. The Director may fix, in his or her reasonable discretion, a termination date upon a home occupation in order to affect a periodic review thereof. The Director may revoke or modify any permit pursuant upon reasonable proof of a violation of any of the terms or conditions

of the permit. If a permit is revoked or modified, no home occupation shall be conducted on the premises until the Director issues a new permit or the terms of any modification are fully met.

2. Nothing in this chapter shall require the Director to issue a home occupation permit to any applicant. If any applicant has had a home occupation permit revoked or suspended pursuant to this code, the Director may deny a home occupation permit to any home occupation operated under the same name, same entity or by the same officers, managers or individuals responsible for or owning the home occupation for which a permit has been revoked or suspended regardless of any name change, change in management or conveyance of the home occupation to another person or entity.

F. **Appeals.**

1. Any applicant aggrieved by any decision of the Director with respect to the issuance, denial, suspension, modification or failure to renew a permit under the provisions of this section, may appeal the decision pursuant to the procedures in section 17.31.110.
- ~~2.~~ 2. The failure to timely and properly file a request for a hearing under section 17.31.110, or the failure to appear at a scheduled hearing, shall constitute a waiver of the right to appeal and a failure to exhaust administrative remedies. If appeal is waived for any reason, including as provided under this subsection, the decision of the Director shall be final.

17.26.150 Hookah Lounges

Hookah lounges shall be located a minimum of 500 feet from any other such establishment, public park, child day care facility, or school and a minimum of 100 feet from any Residential District.

17.26.160 Marijuana and Cannabis

All activity related to marijuana and cannabis, both medical and recreational is prohibited. The prohibition includes commercial cultivation, testing, manufacturing, distribution, delivery and dispensaries (fixed or mobile) of marijuana/cannabis. Cultivation of marijuana or cannabis for non-commercial personal purpose is allowed as long as it is consistent with State law and Chapter 5.36 of the Newark Municipal Code.

17.26.170 Outdoor Dining and Seating

Outdoor dining and seating shall be located, developed, and operated in compliance with the following standards:

- A. **Applicability.** The standards of this Section apply to outdoor dining and seating located on private property. Outdoor dining and seating located in the public-right-of-way is subject to an encroachment permit issued by the Public Works Department.
- B. **Accessory Use.** Outdoor dining and seating shall be conducted as an accessory use to a legally established eating and drinking establishment that is located on the same lot or an adjacent lot.

- c. The proposed site results in fewer or less severe environmental impacts than any feasible alternative site; and
 - d. The proposed facility will not be readily visible or it is not feasible to incorporate additional measures that would make the facility not readily visible.
2. **Additional Findings for Facilities Not Co-Located.** To approve a telecommunication facility that is not co-located with other existing or proposed facilities or a new ground-mounted antenna, monopole, or lattice tower the decision-making authority shall find that co-location or siting on an existing structure is not feasible because of technical, aesthetic, or legal consideration including that such siting:
- a. Would have more significant adverse effects on views or other environmental considerations;
 - b. Is not permitted by the property-owner;
 - c. Would impair the quality of service to the existing facility; or
 - d. Would require existing facilities at the same location to go off-line for a significant period of time.
3. **Additional Findings for Setback Reductions.** To approve a reduction in setback, the decision-making authority shall make one or more of the following findings:
- a. The facility will be co-located onto or clustered with an existing, legally established telecommunication facility; and/or
 - b. The reduced setback enables further mitigation of adverse visual and other environmental impacts than would otherwise be possible.
4. **Additional Findings for Any Other Exception to Standards.** The Planning Commission may waive or modify requirements of this section upon finding that strict compliance would result in noncompliance with applicable federal or State law.
- E. **Vacation and Removal of Facilities.** The service provider shall notify the Director of the intent to vacate a site at least 30 days prior to the vacation. The operator of a telecommunications facility shall remove all unused or abandoned equipment, antennas, poles, or towers within 60 days of discontinuation of the use and the site shall be restored to its original, pre-construction condition.

17.26.260 Temporary Uses

This section establishes standards for certain uses that are intended to be of limited duration of time and that will not permanently alter the character or physical facilities of the site where they occur.

- A. **Temporary Uses Not Requiring a Use Permit.** The following types of temporary uses may be conducted without a Use Permit. Other permits, such as Building Permits, may be required.
- 1. **Garage and Yard Sales.** Sales of personal property conducted by a resident of the premises may be conducted in accordance with the following standards.
 - a. No more than two garage/yard sales shall be conducted on a site in any calendar year.
 - b. No single sale event shall be conducted for longer than three consecutive days.

- c. Garage sales shall not be held for more than two consecutive weekends. Each weekend that sales are conducted constitutes a single sale event.
 - d. Garage sales shall be conducted between the hours of 8:00 a.m. and 7:00 p.m.
 - e. A maximum of four off-site directional signs, not to exceed 18 inches by 24 inches, shall be permitted. Signs may be displayed only during the hours the garage sale is actively being conducted and shall be removed at the completion of the sale. No signs shall be placed on utility poles or in the public right-of-way.
 - f. The display of property for sale shall be located at least five feet from the property line.
 2. **Non-Profit Fund Raising.** Fund raising sales for up to three days per event is permitted on a site by a non-profit organization, not to be conducted more frequently than three times per year per site.
 3. **Temporary Construction Office Trailers.** On-site temporary construction offices during the period of construction. Screening may be required by the Director.
 4. **Sales Offices and Model Homes.** Model homes with sales offices and temporary information/sales offices in new residential developments are subject to the following requirements.
 - a. **Time Limits.**
 - i. **Temporary Sales Office.** A temporary information/sales trailer may be used during the construction of the model homes for a maximum period of six months or completion of the first phase of the development, whichever occurs first.
 - ii. **Model Homes.** Model homes may be established and operated for a term period of four years or until completion of the sale of the lots or units, whichever comes first. One year extensions may be approved by the Zoning Administrator until the sale of all lots/residences is completed.
 - b. **Location of Sales.** Real estate sales conducted from a temporary sales office are limited to sales of lots or units within the development.
 - c. **Return to Residential Use.** Prior to the sale of any of the model homes as a residence, any portion used for commercial purposes shall be converted to its intended residential purpose.
- B. **Temporary Uses Requiring a Minor Use Permit.** Other temporary uses may be permitted with Minor Use Permit approval, subject to the following.
 1. **Standards.** Temporary uses authorized through a Minor Use Permit are subject to the following standards. Additional or more stringent requirements may be established through the Minor Use Permit process in order to prevent the use from becoming a nuisance with regard to the surrounding neighborhood or the City as a whole.
 - a. **Mobile Vendor Services.** Mobile vendor services may be permitted in accordance with the following standards.

- i. Display of Permits. The mobile vendor shall display current business tax certificate, health department permit (and decal), and mobile vending permit in plain view and at all times on the exterior of the vending vehicle.
 - ii. Type of Vehicle. The mobile vending vehicle shall be a self-propelled vehicle maintained in operating condition at all times. The vehicle shall not become a fixture of the site and shall not be considered an improvement to real property.
 - iii. Products. Operations are limited to the sales of food and beverage items for immediate consumption.
 - iv. Site Condition. The site shall be maintained in a safe and clean manner at all times. Exterior storage of refuse, equipment or materials associated with the mobile vending service is prohibited.
- b. *Seasonal Sales.* The annual sales of holiday related items such as Christmas trees, pumpkins and similar items may be permitted in accordance with the following standards:
- i. Time Period. Seasonal sales associated with holidays are allowed up to a month preceding and one week following the holiday. Christmas tree sales are allowed from Thanksgiving Day through December 31st.
 - ii. Goods, Signs and Temporary Structures. All items for sale, as well as signs and temporary structures, shall be removed within 10 days after the end of sales, and the appearance of the site shall be returned to its original state.
- c. *Special Events and Sales.* Other short term special events that do not exceed three consecutive days, may be permitted in accordance with the following standards:
- i. Location. Events are limited to nonresidential districts.
 - ii. Number of Events. No more than four events at one site shall be allowed within any 12-month period.
 - iii. Signs. Outdoor uses may include the addition of one nonpermanent sign up to a maximum size of four square feet in area.
 - iv. Existing Parking. The available parking shall not be reduced to less than 66 percent of the minimum number of spaces required by Chapter 17.23, Parking and Loading.
 - v. Time Limit. When located adjacent to a Residential District, the hours of operation shall be limited to 9:00 a.m. to 7:00 p.m.
 - vi. Temporary Outdoor Sales. Temporary outdoor sales—including, but not limited to, grand opening events, and other special sales events—are also subject to the following standards:
 - (1) Temporary outdoor sales shall be part of an existing business on the same site.

- (2) Outdoor display and sales areas shall be located on a paved or other approved hard surfaced area on the same lot as the structure(s) containing the business with which the temporary sale is associated.
 - (3) Location of the displayed merchandise shall not disrupt the normal circulation of the site, nor encroach upon driveways, pedestrian walkways, or required landscaped areas, or obstruct sight distances or otherwise create hazards for vehicle or pedestrian traffic.
 2. **Application.** An application for a Minor Use Permit for a temporary use shall be submitted at least 45~~20~~ days before the use is intended to begin. The application shall be on the required form and shall include the written consent of the owner of the property or the agent of the owner.
 3. **Required Findings.** The Community Development Director may approve an application for a temporary use only upon making both of the following findings:
 - a. The proposed use will not unreasonably affect adjacent properties, their owners and occupants, or the surrounding neighborhood, and will not in any other way constitute a nuisance or be detrimental to the health, safety, peace, comfort, or general welfare of persons residing or working in the area of such use or to the general welfare of the City; and
 - b. The proposed use will not unreasonably interfere with pedestrian or vehicular traffic or circulation in the area surrounding the proposed use, and will not create a demand for additional parking that cannot be safely and efficiently accommodated by existing parking areas.
 4. **Conditions of Approval.** In approving a Minor Use Permit for a temporary use, the Director may impose reasonable conditions deemed necessary to ensure compliance with the findings listed above, including, but not limited to: regulation of ingress and egress and traffic circulation; fire protection and access for fire vehicles; regulation of lighting; regulation of hours and/or other characteristics of operation; and removal of all trash, debris, signs, sign supports, and temporary structures and electrical service. The Director may require reasonable guarantees and evidence that such conditions are being, or will be, complied with.
- C. **Temporary Uses Requiring a Conditional Use Permit.** Other temporary events and special events, outdoor sales, and displays that exceed three consecutive days, may be allowed with the approval of a Conditional Use Permit so long as they are not intended to extend longer than one month and they are determined to not impact neighboring uses or otherwise create significant impacts.

17.26.270 Tobacco Retailers

Tobacco retailers shall be located, developed, and operated in compliance with the following standards:

- A. **Location.** Tobacco retailers shall be located a minimum of 1,000 feet from any other such establishment, public park, child day care facility, or school.

17.46.120 “L”

Land Use. The purpose for which land or a structure is designed, arranged, intended, occupied, or maintained, including residential, commercial, industrial, etc.

Landscaping-Related Definitions.

Hedge. Any group of shrubs planted in line or in groups so that the branches of any one plant are intermingled or form contact with the branches of any other plant in the line. Hedges are not considered trees for the purposes of this Ordinance.

Hydrozone. A portion of the landscaped area having plants with similar water needs.

Landscaping. The planting, configuration and maintenance of trees, ground cover, shrubbery, and other plant material, decorative natural and structural features (walls, fences, hedges, trellises, fountains, sculptures), earth-patterning and bedding materials, and other similar site improvements that serve an aesthetic or functional purpose.

Mulch. Any organic material, such as leaves, bark, straw, compost, or inorganic mineral materials, such as rocks, gravel, and decomposed granite, left loose and applied to the soil surface for the beneficial purposes of reducing evaporation, suppressing weeds, moderating soil temperature, and preventing soil erosion.

Pruning. The removal of more than one-third of the crown or existing foliage of the tree or more than one-third of the root system.

Runoff. Water that is not absorbed by the soil or landscape to which it is applied, and flows from the landscape area.

Shrub. A bush, hedge, or any plant that is not a tree more than 12 inches tall.

Tree. Any live woody or fibrous plant, the branches of which spring from and are supported upon a trunk.

Trim. The cutting or removal of a portion of a tree, which removes less than one-third of the crown or existing foliage of a tree, removes less than one-third of the root system, and does not kill the tree.

Light Fixture. The assembly that holds a lamp and may include an assembly housing, a mounting bracket or pole socket, a lamp holder, a ballast, a reflector or mirrors, and a refractor or lens.

Lodging House. A single family home which allows leasing of bedrooms. A single family home may have a maximum of two rooms leased when the home is owner-occupied. The owner shall retain access to all areas of the dwelling unit occupied by the lodger and overall control of the dwelling unit. The leasing of rooms shall not be less than 30 days.

Lot. A parcel, tract, or area of land whose boundaries have been established by a legal instrument, such as a deed or map recorded with the County of Alameda, and which is recognized as a separate legal entity for purposes of transfer of title, except public easements or rights-of-way. Lot types include the following:

Abutting Lot. A lot having a common property line or separated by a public path or lane, private street, or easement to the subject lot.

Corner Lot. A lot or parcel bounded by two or more adjacent street lines that have an angle of intersection of not more than 135 degrees.

Flag Lot. A lot so shaped that the main portion of the lot area does not have access to a street other than by means of a corridor having less than 20 feet of width.

Interior Lot. A lot bounded on one side by a street line and on all other sides by lot lines between adjacent lots or that is bounded by more than one street with an intersection greater than 135 degrees; a lot other than a corner lot.

Key Lot. An interior lot adjoining the rear lot line of a reversed corner lot.

Reversed Corner Lot. A corner lot, the rear of which abuts the side of another lot, whether across a lane or not.

Through Lot. A lot having frontage on two parallel or approximately parallel streets.

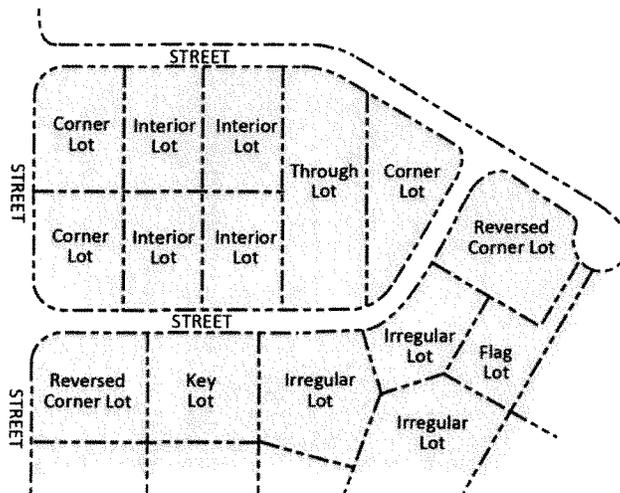


FIGURE 17.46.120(1): LOT TYPES

Lot Area. The area of a lot measured horizontally between bounding lot lines.

Lot Coverage. The portion of a lot that is covered by structures, including main and accessory buildings, garages, carports, and roofed porches, but not including unenclosed and unroofed decks, landings, or balconies. See also Section 17.02.030.H, Determining Lot Coverage.

Lot Depth. The horizontal distance between the front and rear property lines of a site measured midway between the side property lines. See also Section 17.02.030.D, Measuring Lot Width and Depth.

Lot Frontage. See "Frontage, Street."

Lot Line. The boundary between a lot and other property or the public right-of-way.

Lot Line Types.

Front Lot Line. On an interior lot, the line separating the lot from the street or lane. On a corner lot, the shorter lot line abutting a street or lane. On a through lot, the lot line abutting the street or lane providing the primary access to the lot. On a flag lot, the interior lot line most parallel to and nearest the street or lane from which access is obtained.

Interior Lot Line. Any lot line that is not adjacent to a street.

Rear Lot Line. The lot line that is opposite and most distant from the front lot line. Where no lot line is within 45 degrees of being parallel to the front lot line, a line 10 feet in length within the lot, parallel to and at the maximum possible distance from the front lot line, will be deemed the rear lot line for the purpose of establishing the minimum rear yard.

Side Lot Line. Any lot line that is not a front or rear lot line.

Street Side Lot Line. A side lot line of a corner lot that is adjacent to a street.

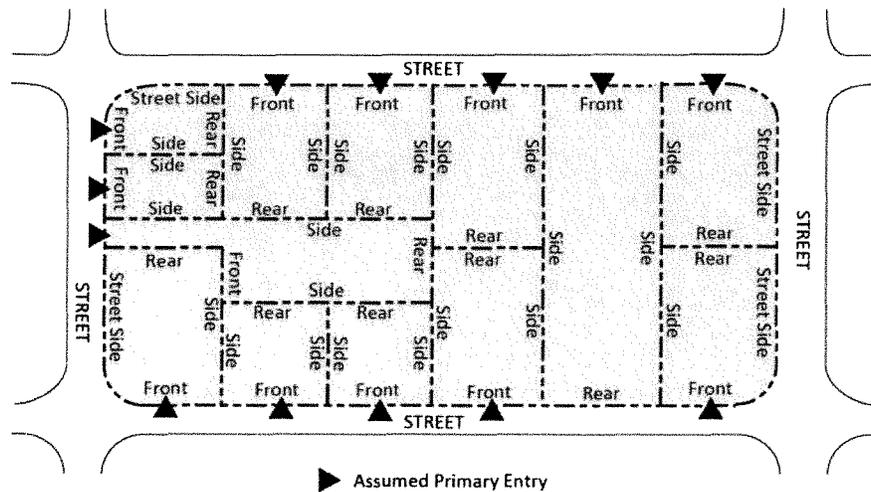


FIGURE 17.46.120(2): LOT LINE TYPES

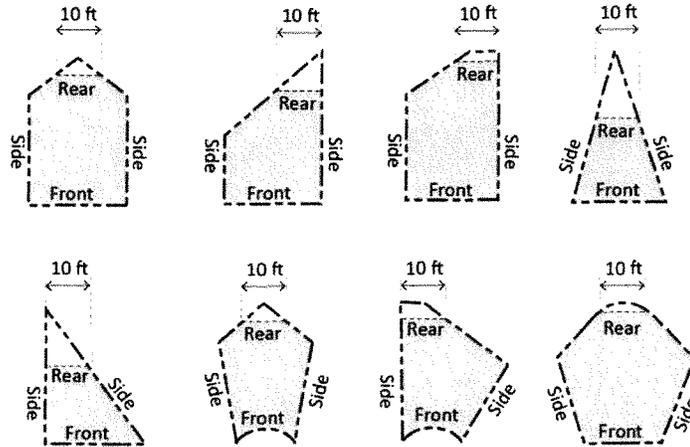


FIGURE 17.46.120(3): REAR LOT LINES, IRREGULAR LOTS

Lot Width. The average distance between the side lot lines measured at right angles to the lot depth. See also Section 17.02.030.D, Measuring Lot Width and Depth.

PLANNING COMMISSION ACTIONS

RESOLUTION NO. 1958

RESOLUTION APPROVING Z-18-4, A TEXT AMENDMENT TO TITLE 17 (ZONING) OF THE NEWARK MUNICIPAL CODE TO REVISE VARIOUS SECTIONS INCLUDING CH. 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 & 17.46, GENERALLY AFFECTING LAND USES, HEIGHTS, LANDSCAPING, SIGNS, PARKING AND VARIOUS OTHER DEVELOPMENT STANDARDS.

WHEREAS, an amendment to various sections including Ch. 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 & 17.46, generally affecting land uses, heights, landscaping, signs, parking and various other development standards;

PURSUANT to Municipal Code Section 17.31.060, a public hearing notice was published in the Tri-City Voice on April 24, 2018, and the Planning Commission held a public hearing on said application at 7:30 p.m. on May 8, 2018 at the City Administration Building, 37101 Newark Boulevard, Newark, California.

NOW, THEREFORE, the Planning Commission resolves as follows:

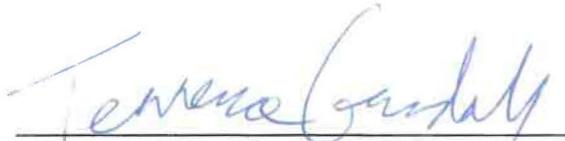
- a. That Chapter 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 & 17.46, generally affecting land uses, heights, landscaping, signs, parking and various other development standards be amended;
- b. That the City Council amend Title 17 (Zoning) of the Newark Municipal Code as set forth in Exhibit A, attached hereto and made part hereof by reference.
- c. That a copy of the minutes be forwarded to the City Council as a summary of the hearing.
- d. That the text amendments herein shall be added to the appropriate sections of the Newark Municipal Code, after review and approval by the City Council, when it is next published, with the notation of the date when the amendments became effective.

This Resolution was introduced at the Planning Commission's May 8, 2018 meeting by Commissioner Aguilar, seconded by Commissioner Bridges, and passed as follows:

AYES: Aguilar, Bridges, Fitts, Nillo and Otterstetter.

NOES: None.

ABSENT: None.


TERRENCE GRINDALL, Secretary


WILLIAM FITTS, Chairperson

CITY OF NEWARK PLANNING COMMISSION

37101 Newark Boulevard, Newark, CA 94560-3796 • 510-578-4330 • FAX 510-578-4265

City Administration Building
7:30 p.m.
City Council Chambers

MINUTES

Tuesday, May 8, 2018

A. ROLL CALL

At 7:30 p.m., Chairperson Fitts called the meeting to order. All Planning Commissioners were present.

B. MINUTES

B.1 Approval of Minutes of the regular Planning Commission meeting of Tuesday, April 24, 2018.

Commissioner Bridges moved, Commissioner Nillo seconded, to approve the Minutes of April 24, 2018. The motion passed 5 AYES.

C. WRITTEN COMMUNICATIONS

None.

D. ORAL COMMUNICATIONS

None.

E. PUBLIC HEARINGS

E.1 Hearing to consider Z-18-4, a text amendment to Title 17 (Zoning) of the Newark Municipal Code to revise various sections including Ch. 17.07, 17.08, 17.10, 17.13, 17.17, 17.21, 17.22, 17.23, 17.25, 17.26 & 17.46, generally affecting land uses, heights, landscaping, signs, parking and various other development standards – from Deputy Community Development Director Interiano. (RESOLUTION)

Deputy Community Development Director Interiano gave the staff report and Assistant City Manager Grindall gave additional background information on the need for changes to the parking standards.

Chairperson Fitts opened the Public Hearing.

Mr. Vince Nelson, 14568 Story Road, San Jose, CA 94527, asked for approval of all proposed zoning code changes so his club could obtain a Minor Use Permit to fly model airplanes under Section 17.10.020.

Answering Commissioner Otterstetter, Mr. Nelson described the difference in AMA regulations for flying model airplanes and the flying of drones.

Vice-Chairperson Aguilar stated his opposition to the proposed changes to the parking standards, stating the effects would be detrimental to alleviating the housing crisis. He stressed the urgency of the need for more middle class housing. He stated that younger generations are not as reliant on cars and it's very likely additional parking garage space would mostly result in residents utilizing the guest parking and using their garages for storage. He stated that he is concerned about any increase in parking requirements, but proposed that he could support the approach if the guest parking rate was one half of a space per unit rather than the 1 per unit as proposed by staff and that the area subject to the higher rate would be 100 feet from existing residential rather than the 300 feet proposed by Staff. He also commented that projects across an arterial street from low density residential should not be subject to the higher parking requirements.

Answering Chairperson Fitts, ACM Grindall stated that preventing spillover parking through the use "Resident Parking Only" signs is difficult to enforce.

Discussion ensued on whether the Planning Commission should make a motion incorporating Vice-Chairperson Aguilar's proposed modification to the staff recommendation that the guest parking rate of one half of a space per unit rather than 1 per unit and that the area subject to the higher rate would limited to 100 feet or more from existing residential rather than the 300 feet and that projects separated from lower density residential by an arterial street would not be subject to the increased parking rate.

Chairperson Fitts closed the Public Hearing.

Motion by Vice-Chairperson Aguilar, seconded by Commissioner Bridges, to approve Resolution 1956, approving Z-18-4, with the amendment changing the proposed guest parking for multi-unit dwellings to be .5 per unit, unless the project is located 100 feet or more, or across an arterial street from single family detached or low density residential Districts, or units have driveway aprons or the project is located in a Specific Plan which will then require guest parking of .25 spaces per unit. Motion passed 5 AYES.

F. STAFF REPORTS

None.

G. COMMISSION MATTERS

G.1 Report on City Council actions.

ACM Grindall announced the City Council approved the NewPark Place Specific Plan.

Commissioners' Comments

Answering Commissioner Otterstetter, ACM Grindall stated the 74 unit Senior Housing Project is expected to be completed this Summer with occupancy beginning in the fall and funds for low income housing is available with the City looking for suitable sites in the Old Town Area of Newark.

Answering Commissioner Nillo, ACM Grindall stated the project at Newark Boulevard and Mayhews Landing Road had just recently submitted their formal application.

Answering Commissioner Bridges, ACM Grindall stated he will follow up with the Public Works Department on Mr. Partida's request for speed bumps near Bunker Elementary School.

Chairperson Fitts wished everyone a Happy Mothers Day.

H. ADJOURNMENT

At 8:20 p.m., Chairperson Fitts adjourned the regular Planning Commission meeting of Tuesday, May 8, 2018.

Respectfully submitted,



TERRENCE GRINDALL
Secretary

E.15 Hearing to consider a planned development and vesting tentative tract map 8409, for a six unit multi-family residential townhome subdivision located at 36589 Newark Boulevard – from Assistant Planner Bowab.

(RESOLUTIONS-2) (ORDINANCE)

Background/Discussion – David Langon Construction, Inc. has submitted an application for a six unit residential townhome project at 36589 Newark Boulevard. The project area is a vacant lot that is approximately 22,449 square feet (0.53 +/- acre) in size and is bounded by low density residential to the north, Mayhews Landing Road to the west, and Newark Boulevard on the east. The project site was previously developed with a gas station, which was abandoned and removed in 1992. The subject site is triangular shaped and bisected with a 14 foot easement. The site is zoned RM (Medium Density Residential) with a Medium Density Residential general plan land use designation.

The project consists of two buildings of 2-story townhomes with 3 units per building. Each unit is approximately 2,017 to 2,408 square feet, 3 to 4 bedrooms, 2.5 to 3 bathrooms, an attached 2-car garage, and a private yard. Vehicular access will be off a driveway on Mayhews Landing Road. The architectural design and character is influenced by a Tuscan style with a variety of finishes and textures to complement the single family subdivision directly to the north of the site. Each unit was designed with a distinct main entry porch, articulated roof lines, and pop-out elements to avoid large expanses of blank walls. Exterior materials consist of stone veneer, stucco, trim treatments, decorative doors, corbels, and roof tiles. Careful attention was given to the street side elevations to provide the streetscape with visual interest and attractiveness. All units along the street fronts were designed with street facing porch entryways with decorative front gates.

An 8 foot high precast wall with decorative columns will be built along the perimeter of the project. This wall is designed to match the existing decorative perimeter wall and columns around the adjacent development directly to the north of the site. Enhanced landscaping will be installed along the entire front of the site along with 7 new street trees and street improvements. In addition to the street trees, there will be 25 new trees on-site. 10 new trees were placed in the rear of the project to provide an additional buffer between the existing single family homes and proposed project. In addition to the six new 2-car garages, the project will provide three uncovered guest parking spaces.

A community meeting was held by the applicant on January 11, 2018. The notice was sent to property owners within a 300 foot radius around the project site. Three adjacent property owners attended. Some concern regarding parking was raised but there was overall support of the project.

Planned Development Findings

The subject site is constrained for development. With an irregular triangular shape lot, two street frontages, and a 14 foot easement bisecting the lot, a Planned Development is needed to build a viable project. The findings given in the resolution of approval contains language that comes from the Newark Zoning Ordinance, Section 17.12 (Planned Development Overlay District) and

are supported by the application materials on file, this staff report, and the attached supporting exhibits.

Further elaboration for each finding is as follows:

- a. *The proposed development is consistent with the General Plan and any applicable specific plan, including the density and intensity limitations that apply.*
The general plan land use designation for this site is Medium Density Residential which allows for 14 to 30 units per net acre. The proposed project's density is 15 units per net acre, which falls within the allowed density envisioned by the general plan for this site.
- b. *Adequate transportation facilities and public services exist or will be provided in accord with the conditions of development plan approval, to serve the proposed development; and the approval of the proposed development will not result in a reduction of traffic levels of service or public services so as to be a detriment to public health, safety, or welfare.*
The subject site is located on one of the major arterials in the City that provides adequate transportation facilities and public services for the area. Existing public streets are adequate to accommodate the addition of six units and the proposal will not affect the existing level of service. The proposed development meets the off-street parking requirements for residential uses as well as guest parking as required by Newark Municipal Code. The development will be using existing driveways and access to the site will only be provided through Mayhews Landing Road. The project is conditioned to relocate utilities and provide storm drain improvements to ensure the new residential development will not overload existing utilities.
- c. *The proposed development will not have a substantial adverse effect on surrounding land uses and will be compatible with the existing and planned land use character of the surrounding area.*
The proposed project is designed to meet what the general plan envisioned for this site and was carefully designed to match the Tuscan style of the neighboring subdivision, provide additional landscape buffer, and kept small in scale to mitigate the impact to the surrounding neighborhoods. In addition, the proposed project will upgrade the surrounding area with a right-of-way dedication, undergrounding of existing overhead lines, and provide a landscape easement dedication along both street fronts.
- d. *The development generally complies with applicable adopted design guidelines;*
The proposed project was carefully designed to generally comply with all design standards.

- e. *The proposed development is demonstratively superior to the development that could occur under the standards applicable to the underlying base district, and will achieve superior community design, environmental preservation and/or substantial public benefit.*

The subject site is constrained for development with an irregular triangular shape, two street frontages, and a 14 foot easement bisecting the site. A Planned Development approval will allow for a grander viable project with a very restricted site.

Environmental Review

An environmental noise assessment (Exhibit B) was prepared by Illingworth & Rodkin, Inc. due to the proximity of Newark Boulevard. The project is conditioned to meet the interior and exterior noise standards of the General Plan and to construct a recommended 8 foot high block wall along the perimeter of the project.

The project site was formally a gas station facility. The gas station facility was removed in December, 1992. The San Francisco Bay Regional Water Quality Control Board monitored the site cleanup and closed the case on June 24, 2016. This project is conditioned to comply with the San Francisco Bay Regional Water Quality Control Board requirements for residential use prior to any building permit approval.

This project is categorically exempt from the California Environmental Quality Act (CEQA) per Section 15332, Class 32, In-Fill Development Projects.

Staff believes this project will be beneficial for the City and recommends approval of the proposed six unit multi-family residential townhome subdivision project, subject to the conditions of approval listed in the attached resolutions.

Update – On May 29, 2018, the Planning Commission approved Resolution No. 1959 recommending approval of P-16-6, a planned development, to allow for a six unit multi-family residential townhome subdivision at 36598 Newark Boulevard (APN:92A-623-43) and Resolution No. 1960 approving Vesting Tentative Tract Map 8409 and subdivision and zoning variances thereto.

Attachments

Action – It is recommended that the City Council: 1) by resolution, approve P-18-6, a planned development to allow for a six unit multi-family residential townhome subdivision at 36589 Newark Boulevard (APN: 92A-623-43), with Exhibits A and B; 2) introduce an ordinance establishing a Planned Development Overlay District at 36589 Newark Boulevard (APN:92A-623-43), and 3)by resolution, approve vesting tentative tract map 8409 and subdivision and zoning variances thereto.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK APPROVING P-18-6, A PLANNED
DEVELOPMENT, TO ALLOW FOR A SIX UNIT MULTI-
FAMILY RESIDENTIAL TOWNHOME SUBDIVISION AT
36589 NEWARK BOULEVARD (APN: 92A-623-43)

WHEREAS, David Langon Construction, Inc. has filed with the City Council of the City of Newark an application for P-18-6, a planned development, for a six unit residential townhome project; and

PURSUANT to Municipal Code Section 17.31.060, a public hearing notice was published in The Tri City Voice on June 12, 2018 and mailed as required, and the City Council held a public hearing on said application at 7:30 p.m. on June 28, 2018 at the City Administration Building, 37101 Newark Boulevard, Newark, California; and

WHEREAS, pursuant to Chapter 17.12 (Planned Development), Section 17.12.060 (Required Findings), the City Council hereby makes the following findings:

- a. The proposed development is consistent with the General Plan and any applicable specific plan, including the density and intensity limitations that apply;
- b. Adequate transportation facilities and public services exist or will be provided in accord with the conditions of development plan approval, to serve the proposed development; and the approval of the proposed development will not result in a reduction of traffic levels of service or public services so as to be a detriment to public health, safety, or welfare;
- c. The proposed development will not have a substantial adverse effect on surrounding land uses and will be compatible with the existing and planned land use character of the surrounding area;
- d. The development generally complies with applicable adopted design guidelines; and
- e. The proposed development is demonstratively superior to the development that could occur under the standards applicable to the underlying base district, and will achieve superior community design, environmental preservation and/or substantial public benefit.

NOW, THEREFORE, BE IT RESOLVED that the City Council does hereby approves this application as shown on Exhibit A, pages 1 through 29, and Exhibit B, subject to compliance with the following conditions:

Planning Division

- a. There shall be no roof-mounted equipment other than satellite dishes, other similar television or radio antennas, and solar equipment. A/C units shall be fully screened from public view.
- b. All lighting shall be directed on-site so as not to create glare off-site, as required by the Community Development Director.
- c. Construction site trailers and buildings located on-site shall be used for office and storage purposes only, and shall not be used for living or sleeping quarters. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- d. Measures to respond to and track complaints pertaining to construction noise shall include: (1) a procedure and phone numbers for notifying the City of Newark Building Inspection Division and Newark Police Department (during regular construction hours and off-hours); and (2) a sign posted on-site pertaining to the permitted construction days and hours and complaint procedures and who to notify in the event of a problem. The sign shall also include a listing of both the City and construction contractor's telephone numbers (during regular construction hours and off-hours).
- e. The covenants, conditions and restrictions (CC&Rs) filed for this development shall include a provision requiring that garages shall only be used for automobile parking.
- f. The site and its improvements shall be maintained in a neat and presentable condition, to the satisfaction of the Community Development Director. This shall include, but not be limited to, repainting surfaces damaged by graffiti and site clean-up. Graffiti removal/repainting and site cleanup shall occur on a continuing, as needed basis. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- g. All exterior utility pipes and meters shall be painted to match and/or complement the color of the adjoining building surface, as approved by the Community Development Director.
- h. Any changes to the approved color elevations shall be reviewed and approved by the Planning Commission and City Council. Any minor changes shall be submitted for the review and approval of the Community Development Director to assure consistency with the approved project.
- i. Prior to the issuance of a building permit, any major changes to the floor plans as submitted by the applicant as part of this application shall be reviewed and approved by the Planning Commission and City Council. Any minor changes shall be submitted for the review and approval of the Community Development Director to assure consistency with the approved project.

- j. Prior to the issuance of a building permit, the roof material as submitted by the applicant as part of this application shall be reviewed and approved by the Community Development Director. All roof material shall consist of fire retardant shake roof, concrete tile, or a roof of similar noncombustible material. Mansard roofs with the above material may be used to screen tar and gravel roofs. All roofs shall be of Class C fire resistant construction or better. Composition shingles shall be Presidential-style or of comparable quality, subject to the review and approval of the Community Development Director.
- k. Prior to the issuance of a building permit, the project shall be submitted for the review and approval of Republic Services and the Community Development Director, in that order. The appropriate garbage, refuse and recycling service shall be approved prior to the issuance of a Certificate of Occupancy, as required by the Community Development Director. No refuse, garbage or recycling shall be stored outdoors except within the approved trash and recycling containers.
- l. Prior to issuance of a grading permit, the applicant shall hire a qualified biologist to: (1) determine if occupied Burrowing Owl habitat(s) exist on the site, and (2) implement a plan to protect the owls and to excavate the site around any active burrows using hand tools to assure that the owls are not buried during grading in the event Burrowing Owl habitat(s) is found on the site. The occupied Burrowing Owl habitat(s), if found, shall not be disturbed during the nesting season. The Burrowing Owl study shall be conducted not more than 30 days prior to the time site grading activities will commence.
- m. During project construction, if historic, archeological or Native American materials or artifacts are identified, work within a 50-foot radius of such find shall cease and the City shall retain the services of a qualified archeologist and/or paleontologist to assess the significance of the find. If such find is determined to be significant by the archeologist and/or paleontologist, a resource protection plan conforming to CEQA Section 15064.5 shall be prepared by the archeologist and/or paleontologist and approved by the Community Development Director. The plan may include, but would not be limited to, removal of resources or similar actions. Project work may be resumed in compliance with such plan. If human remains are encountered, the County Coroner shall be contacted immediately and the provisions of State law carried out.
- n. Prior to the issuance of a building permit, the applicant shall pay the following fees: park impact fee (\$18,000 per unit), public safety impact fee (\$3,451 per unit), community service and facilities impact fee (\$2,311 per unit), transportation impact fee (\$2,586 per unit), housing impact fee (\$20 per square foot of building area for the first 1000 square feet and \$8 per square foot above 1000 square feet per unit), art in public places and private development impact fee (\$270/unit), and the community development maintenance fee (0.5% of construction valuation).
- o. There shall be no Accessory Dwelling Units (including Standard Accessory Dwelling Units or Junior Accessory Dwelling Units) allowed.

- p. There shall be no pools allowed.
- q. There shall be no short term rentals allowed.
- r. Prior to their installation, mailbox locations and designs shall be approved by the Community Development Director and Newark Postmaster, in that order. The mailbox compartments of centralized mailboxes shall identify the individual dwelling units with permanent, easily legible lettering.
- s. Prior to the issuance of a Certificate of Occupancy, roll-up garage doors with automatic garage door openers shall be provided for each unit.
- t. Prior to final inspection and utility release for each unit, the applicant shall pre-wire each unit for satellite and cable television connections, as required by the Community Development Director. The exterior connections for the pre-wire shall be made to the roof and not on the side elevation walls of the units.
- u. Prior to the issuance of a sign permit, all signs, other than those referring to construction, sale, or future use of this site, shall be submitted for the review and approval of the Community Development Director.
- v. Prior to the issuance of a Certificate of Occupancy, the parking areas, aisles and access drives shall be installed and striped as shown on the approved site plan. Guest parking spaces shall be clearly marked as reserved for guests, as approved by the Community Development Director.
- w. The applicant shall meet all mitigation measures listed in the Environmental Noise Assessment conducted by Illingworth & Rodkin, Inc. dated January 18, 2018, with original dated May 5, 2017.
- x. Prior to the initial submittal of plans for any permits, soil vapor samples must be collected to confirm that the residual benzene concentrations do not pose a potential risk to human health. (See also Condition jjj.)
- y. Prior to the initial submittal of plans for any permits, provide documentation that known contamination on the site, including locations where work is proposed in adjacent right-of-ways, has been remediated to applicable regulatory standards. Provide copies of approvals from the Regional Water Quality Control Board—San Francisco Region, and/or the Alameda County Water District, as applicable. (See also Conditions jjj and kkk.)
- z. Prior to the submittal for building permit review, all conditions of approval for this project, as approved by the City Council, shall be printed on the plans.

Engineering Division

- aa. The developer shall obtain approval of a tentative and final map filed in accordance with the State Subdivision Map Act and the City of Newark Subdivision Ordinance. The final map shall be approved and recorded prior to the issuance of any building permits.
- bb. The final map shall dedicate emergency vehicle access easements, private vehicle access ways, public utility easements, sanitary sewer easement, waterline easements, and storm drain easement over the private drive aisle.
- cc. The final map shall dedicate to the City of Newark an additional 4-foot wide (total 54 feet from centerline) roadway easement for street purposes along the Newark Boulevard frontage within the limits of the development.
- dd. The Developer shall widen Newark Boulevard along the project frontage such that the new centerline-to-curb width is forty four feet (44'). Frontage improvements on Newark Boulevard shall conform to the existing adjacent improvements to the north of the project and shall include, but are not limited to, construction of new ten foot (10') wide monolithic sidewalk with tree wells; installation of new curb, gutter; pavement widening; street trees; utility relocation; storm drain improvements; street lights; and stormwater treatment measures.
- ee. Prior to approval of the final map, the developer shall guarantee all necessary street improvements adjoining the development, common area improvements, private streets, private alleys and all other subdivision improvements to be owned and/or maintained by the homeowners' association in accordance with tract improvement plans to be approved by the City Engineer. Improvement plans for on-site common areas in the development shall be included with the tract improvement plans to ensure that such improvements are designed and constructed to City Standards. These plans must be prepared by a qualified person licensed by the State of California to do such work. Such improvements include, but are not limited to: curb & gutter, pavement areas, sidewalks, access ramps & driveways; enhanced street paving; parking spaces; street lights (wired underground) and appurtenances; drainage facilities; utilities; landscape and irrigation facilities; open space landscaping; stormwater treatment facilities; striping and signage; and fire hydrants.
- ff. The Developer shall remove the two (2) existing joint utility poles located near the intersection of Newark Boulevard and Mayhews Landing Road and underground all associated overhead utility lines crossing both Newark Boulevard and Mayhews Landing Road.
- gg. The final map shall dedicate to the City of Newark a minimum 10-foot wide landscape and public utility easement over the Newark Boulevard and Mayhews Landing Road frontage of the development. This easement shall incorporate all landscape areas beyond the minimum dimension to the nearest physical constraints. Landscape work in the easement area and adjoining street right-of-way requires the issuance of an Encroachment Permit.
- hh. The project must be designed to include appropriate source control, site design, and stormwater treatment measures to prevent stormwater runoff pollutant discharges from

the site in accordance with Provision C.3 of the Municipal Regional Stormwater NPDES Permit (MRP), Order R2-2015-0049, revised November 19, 2015, issued to the City of Newark by the Regional Water Quality Control Board, San Francisco Bay Region. Examples of source control and site design requirements include but are not limited to: properly designed trash storage areas, sanitary sewer connections for all non-stormwater discharges, minimization of impervious surfaces, and treatment of all runoff with Low Impact Development (LID) treatment measures. The project Stormwater Management Plan is approved in concept only. The final Stormwater Management Plan is subject to City Engineer approval prior to issuance of Building Permits. Approval is subject to the developer providing the necessary plans, details, and calculations that demonstrate the plan complies with the standards issued by the Regional Water Quality Control Board.

- ii. Prior to the issuance of the initial grading or any building permits for this project, the developer shall submit a Storm Water Quality Plan for the review and approval of the City Engineer. The plan shall include sufficient details to show how storm water quality will be protected during both: (1) the construction phase of the project and (2) the post-construction, operational phase of the project. The construction phase plan shall include Best Management Practices from the California Storm Water Quality Best Management Practices Handbook for Construction Activities. The specific storm water pollution prevention measures to be maintained by the contractor shall be printed on the plans. The operational phase plan shall include Best Management Practices appropriate to the uses conducted on the site to effectively prohibit the entry of pollutants into storm water runoff from this site including, but not limited to, trash and litter control, pavement sweeping, periodic storm water inlet cleaning, landscape controls for fertilizer and pesticide applications, labeling of storm water inlets with a permanent thermoplastic stencil with the wording “No Dumping - Drains to Bay,” and other applicable practices.
- jj. The project Stormwater Management Plan shall incorporate 100% full trash capture devices to address the requirements of Provision C.10 of the Regional Water Quality Control Board (RWQCB) Municipal Regional Permit (MRP) to the satisfaction of the City Engineer. The proposed full trash capture devices must be approved by the RWQCB and the City Engineer.
- kk. The developer shall enter into an Agreement with the City of Newark that guarantees the property owner’s perpetual maintenance obligation for all stormwater treatment measures and trash capture devices installed as part of the project. Said Agreement is required pursuant to Provision C.3 of the Municipal Regional Stormwater NPDES Permit. Said permit requires the City to provide verification and assurance that all treatment and trash capture devices will be properly operated and maintained. The Agreement shall be recorded against the property and shall run with the land.
- ll. The developer shall submit a grading and drainage plan for review and approval by the City Engineer. Approval of this plan by the Alameda County Flood Control District and the issuance of an encroachment permit by the District will also be required for any proposed connection to the existing Line I storm drain line. The grading and drainage plan must be based upon a City benchmark and needs to include pad and finish floor elevations of each proposed structure, proposed on-site property grades, proposed

elevations at property line, and sufficient elevations on all adjacent properties to show existing drainage patterns. All on-site pavement shall drain at a minimum of one percent. The developer shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.

Hydrology and hydraulic calculations shall be submitted for review and approval by the City Engineer. The calculations shall show that the City and County freeboard requirements will be satisfied.

- mm. Where a grade differential of more than a 1-foot is created along the boundary lot lines between the proposed development and adjacent property, the developer shall install a masonry retaining wall unless a slope easement is approved by the City Engineer. Said retaining wall shall be subject to review and approval of the City Engineer. A grading permit is required by the Building Inspection Division prior to starting site grading work.
- nn. The Developer shall submit a detailed soils report prepared by a qualified engineer, registered with the State of California. The report shall address in-situ and import soils in accordance with the City of Newark Grading and Excavation Ordinance, Chapter 15.50. The required report shall cover soil stability, existing contaminated soils and groundwater on the project site and under Mayhews Landing Road, steps taken if contaminant levels are found, potential health hazards resulting from contaminated soils, and recommendations regarding pavement sections for the private street. Grading operations shall be in accordance with recommendations contained in the required soils report and grading shall be supervised by an engineer registered in the State of California to do such work.
- oo. The Project Geotechnical Engineer shall be retained to review all final grading plans and specifications. The Project Geotechnical Engineer shall approve all grading plans prior to City approval and issuance of grading permits.
- pp. Prior to the issuance of any Certificates of Occupancy or release of utilities for any buildings, common vehicle access ways and parking facilities serving the proposed buildings need to be paved in accordance with the recommendation of a licensed civil engineer based on a Traffic Index of 5.0.
- qq. Prior to the issuance of any Certificates of Occupancy or release of utilities for any buildings, the on-site drive aisle and uncovered parking facilities shall be installed and striped as shown on the approved site plan. All on-site covered parking facilities and drive aisles shall drain at a minimum slope of 1.0% for asphalt concrete surfaces and 0.3% for Portland cement concrete surfaces.
- rr. All new utilities including, but not limited to, electric, telephone and cable television services shall be provided underground for all buildings in the development in accordance with the City of Newark Subdivision Standards.

- ss. The developer shall submit design development Landscape Plans with the first plan check for the street improvement plans and final map. The Landscape Plans shall show details, sections and supplemental information as necessary for design coordination of the various civil design features and elements including utility location to the satisfaction of the City Engineer. Complete Landscape Plans shall be concurrently approved with the Tract Improvement Agreement and Final Map.
- tt. Streetlight/Joint Trench Plans shall be submitted with the first plan check for the street improvement plans and final map. The final streetlight/joint trench plan shall be completed prior to Final Map and will be subject to the review and approval by the City Engineer.
- uu. The developer shall incorporate a property owners' association consisting of all property owners of lands in the development at the time of incorporation and in the future for the purpose of maintaining the association's property, common drive aisles, parking facilities, and landscaping, including landscaping in adjacent public rights-of-way, and for paying for security lighting, any common garbage collection services, and other functions of a property owners' association. All common areas within the development shall be owned and maintained by the property owners' association. Each property owner shall automatically become a member of the association and shall be subject to a proportionate share of the maintenance expenses. The property owners' association shall be incorporated prior to the sale of any individual lots and/or prior to acceptance of tract improvements, whichever occurs first.
- vv. Prior to City Council approval of the final map, the bylaws governing the property owners' association and any declaration of covenants, conditions and restrictions (CC&Rs) filed for this development shall be reviewed and approved by the City Council at its discretion after mandatory review and recommendations by the City Attorney. Said covenants, conditions and restrictions shall be prominently displayed in the project sales office at all times. Approval of the covenants, conditions and restrictions shall not make the City a party to enforcement of same. The CC&Rs shall apply equally to both owners and renters. The CC&Rs shall be written to require renters to comply with the regulations of the CC&Rs, and a copy of the CC&Rs shall be given to each renter. The CC&Rs shall be written to allow less than a majority of owners to have pavement or landscape maintenance done and the cost thereof assessed to all owners in the project. The CC&Rs shall include a pavement maintenance program for on-site pavement.
- ww. The property owners' association CC&Rs shall prohibit the on-site parking of non-self-propelled recreational vehicles, including boats, and any self-propelled recreational vehicles not used for transportation unless separate storage facilities are provided. The CC&Rs shall regulate the provision of any on-site parking of self-propelled recreational vehicles used for transportation.
- xx. The developer shall also assist the property owners' association by having a management consultant firm review the maintenance and operating functions of the association. The management consulting firm shall be responsible to prepare a written report with recommendations to the association for managing the association's obligations and setting

initial monthly assessment costs for each lot in the development. Membership and assessment cost shall be mandatory for all property owners of property in the development and shall run with the land. The developer shall pay all costs of incorporation and initial management review and reports.

- yy. The Homeowner's Association shall be responsible for trash and litter control and sweeping of all private streets within the development. All private storm drain systems and all associated trash capture devices shall be cleaned on a regularly scheduled basis as detailed in the required Stormwater Treatment Measures Maintenance Agreement.
- zz. The Homeowner's Association shall be required to contract with a professional management firm to handle all necessary maintenance operations. Documentation of such contract shall be submitted to the City of Newark. All commonly owned facilities shall be properly maintained in a manner consistent with the CC&Rs and project requirements.
- aaa. Prior to final map approval, the developer's engineer shall submit a pavement maintenance program for the drive aisles and parking areas for the review and approval of the City Engineer. The developer shall follow the maintenance program at the City Engineer's direction and shall be part of the project CC&Rs.
- bbb. Any proposed utility connections and/or underground work within structurally sound street pavement must be bored or jacked. Open street cuts will not be permitted on Newark Boulevard or Mayhews Landing Road. If open trenching is required, the applicant must grind and overlay and/or slurry seal the pavement (limits to be determined) on Newark Boulevard and/or Mayhews Landing Road to the satisfaction of the City Engineer.
- ccc. The project may involve the installation of various above ground utility facilities such as backflow prevention devices and pad-mounted transformer and telephone facilities. These facilities must be located outside the street right-of-way to the extent possible. Special consideration should be given to the placement of pad-mounted facilities. Such facilities should be located as far as possible from the street and screened in an aesthetically pleasing manner.
- ddd. As part of the grading operations, the developer shall ensure that the site is watered on a sufficiently frequent basis to control dust as directed by the City Engineer. A pick-up or vacuum type street sweeper shall be available at all time at the direction of the City Engineer to remove tracked dirt and debris from adjacent streets.
- eee. Prior to final map approval, any outstanding Area Improvement District assessments will have to be either paid off or segregated. If segregation is to occur, an amended assessment diagram will be required at the developer's expense.
- fff. Prior to the issuance of any permits, the applicant shall submit a noise study justifying the type, height, and the limits of the new sound wall along the Thornton Avenue and Mayhews Landing Road frontages.

- ggg. The site is within an area determined to be outside the 0.2% annual chance floodplains (Zone X – Unshaded) shown on the Flood Insurance Rate Map (FIRM) for the City of Newark. All site construction must conform to the City’s Flood Plain Management Ordinance.
- hhh. Prior to the issuance of a Certificate of Occupancy, any and all damage to public improvements and along shared boundary lines on private property as a result of construction activity associated with this project shall be repaired to the satisfaction of the City Engineer and/or adjoining property owners.
- iii. The developer shall provide all required paper and electronic versions of the project final map, tract improvements plans, and as-built plans as required by the City Engineer, including but not necessarily limited to the following: (1) One full-size reproducible copy and one reduced reproducible copy of the approved tentative map; (2) Two electronic copies of the approved final map and improvement plans in a format approved by the City Engineer; (3) One full-size mylar copy and one reduced copy of the recorded final map; (4) One reproducible set and four blue-line or photocopied sets of the approved tract improvement plans; (5) Two electronic copies and one mylar set of the as-built tract improvement plans. A deposit of \$500 shall be submitted by the developer to the City to ensure the submittal of the recorded map.
- jjj. Prior to the initial submittal of plans for any permits, soil, soil vapor and groundwater shall be reassessed by a qualified environmental professional. Samples shall be submitted to a certified environmental testing laboratory in the State of California. The results of the assessment shall be submitted to the Alameda County Water District and Regional Water Quality Control Board—San Francisco Bay Region (“Water Board”) to determine whether Case File No. 01-1804 (BGS), as referenced in the Case Closure letter dated June 24, 2016, needs to be re-opened and if site remediation, vapor mitigation, or other response action is needed to achieve conditions for residential occupancy. Any additional actions required by the Water Board or the Alameda County Water District shall be summarized in a formal letter to the Public Works Director/City Engineer and reflected in the site improvement plans.
- kkk. Prior to the initial submittal of plans for any permits, the applicant shall retain a qualified environmental professional to prepare and submit for Water Board approval a “site management plan” which sets forth procedures for soil and groundwater management, contingency planning, and health and safety measures that shall be deployed in the event that soil and/or groundwater impacted by hazardous substances are encountered or disturbed during earthwork for the project, including within the Mayhews Landing Road public right-of-way. The approved “site management plan” shall be submitted to the Public Works Director/City Engineer prior to the initial submittal of plans for any permits. Any remediation measures within the public right-of-way require the issuance of a City of Newark Encroachment Permit.

- III. Prior to submitting plans for a demolition or grading permit, the applicant shall make any required notifications, submittals and/or demonstrate compliance with the applicable requirements of Bay Area Air Quality Management District.
- mmm. Prior to the initial submittal of plans for any permits, the applicant shall coordinate with the Alameda County Water District to obtain required permit(s) for the removal/destruction of all on and off-site wells as required by or approved by the Water Board.

Landscape/Parks Division

- nnn. Concurrent with the final map, the developer shall dedicate a minimum 10-foot wide landscape and public utility easement along the Newark Boulevard and Mayhews Landing Road frontages of the project adjacent to the new right-of-way limit.
- ooo. Prior to approval of the final map, the developer shall enter into a Landscape Maintenance Agreement to ensure the perpetual maintenance of all landscaping along the property frontage and within the common areas of the site. This agreement shall run with the land and be binding upon all future owners or assigns.
- ppp. The developer shall retain a licensed landscape architect to prepare detailed landscape plans for construction in accordance to with City of Newark requirements and the State of California Model Water Efficient Landscape Ordinance. The associated Landscape Documentation Package must be approved by the City Engineer prior to final map approval.
- qqq. The developer shall implement Bay Friendly Landscaping Practices in accordance with Newark Municipal Code, Chapter 15.44.080. Prior to final map approval, the developer shall provide sufficient information to detail the environmentally-conscious landscape practices to be used on the project.
- rrr. The plant species identified for any proposed landscape-based stormwater treatment measures are subject to final approval of the City Engineer.
- sss. Prior to installation by the developer, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.
- ttt. Prior to the release of utilities or issuance of any Certificate of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.
- uuu. Prior to issuance of Certificate of Occupancy or release of utilities, the developer shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The developer shall insure that the landscape shall be

installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.

- vvv. Landscaping adjacent to the public right-of-way must conform to the City's visibility requirements in accordance with Newark Municipal Code, Chapter 10.36.

Building Division

- www. A fully automatic fire sprinkler system shall be installed in each dwelling.
- xxx. This project will require the payment of school developer fees. School developer fees are assessed and collected by the Newark Unified School District.

Police Department

- yyy. The development shall comply with Chapter 15.06, Security Code, of the Newark Municipal Code and Section 5.10 of the California Fire Code for radio reception.
- zzz. Security cameras need to be placed so that the driveways/streets areas are captured by surveillance cameras. Cameras placed at the entrance to the complex should be of sufficient acuity to identify vehicle license plates, vehicle make, model and color. Cameras need to be placed at pedestrian and vehicle access points to deter criminal activity. Cameras could be operated and controlled by individual owners or a HOA.

Fire Department

- aaaa. Proposed fire hydrant shall be relocated closer to the building. Coordinate new location with ACFD prior to the issuance of a building permit.

General

- bbbb. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Planning Commission and City Council review and, if so decided, said changes shall be submitted for the Commission's and Council's review and decision. The applicant shall pay the prevailing fee for each additional separate submittal of project exhibits requiring Planning Commission and/or City Council review and approval.
- cccc. If any condition of this Planned Development be declared invalid or unenforceable by a court of competent jurisdiction, this planned development and conditional use permit shall terminate and be of no force and effect, at the election of the City Council on motion.
- dddd. The applicant hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any

and all claims, suits, actions, liability, loss, damage, expense, cost (including, without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.

eeee. In the event that any person should bring an action to attack, set aside, void or annul the City's approval of this project, the applicant shall defend, indemnify and hold harmless the City and/or its agents, officers and employees from any claim, action, or proceeding against the City and/or its agents, officers and employees with counsel selected by the applicant (which shall be the same counsel used by applicant) and reasonably approved by the City. Applicant's obligation to defend, indemnify and hold harmless the City and/or its agents, officers and employees shall be subject to the City's compliance with Government Code Section 66474.9.

ffff. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The applicant is hereby further notified that the 90-day approval period in which the applicant may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the applicant fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the applicant will be legally barred from later challenging such exactions.



PROJECT DATA

SITE ADDRESS
36589 NEWARK BLVD.
NEWARK, CA

APN: 092A-0623-043
LOT SIZE: ±.53 ACRE = 22,449 SQ. FT.

PROJECT DESCRIPTION:
THE SITE IS LOCATED AT THE INTERSECTION OF NEWARK BOULEVARD AND MAYHEWS LANDING ROAD. THE REAR OF THE PARCEL ADJUTS AN ESTABLISHED SINGLE FAMILY SUBDIVISION. SITE AREA IS APPROXIMATELY .53 ACRES AND IS ROUGHLY CONFIGURED IN THE SHAPE OF A TRIANGLE. IT IS BISECTED BY A FOURTEEN FOOT WIDE EASEMENT.

THE DESIGN PROPOSES SIX ATTACHED SINGLE FAMILY TWO STORY UNITS (FEE SIMPLE). UNITS ARE 1,893 TO 2,797 SQUARE FEET IN SIZE, AND CONFIGURED IN TWO ROWS ON EITHER SIDE OF THE EASEMENT. AUTO ACCESS IS FROM MAYHEWS LANDING ROAD AND RUNS OVER THE EASEMENT. FIVE OF THE SIX UNITS HAVE FRONT ENTRANCES ORIENTED TOWARDS ONE OF THE STREETS. ALL UNITS HAVE ENCLOSED USABLE OUTDOOR PATIOS AND GARDENS.

THE EXTERIOR IS MEDITERRANEAN IN CHARACTER, IN PART TO BE CONSISTENT WITH THE ADJACENT NEIGHBORHOOD, AND IS ACHIEVED WITH CONCRETE "TILE" ROOFS, AND STUCCO AND STONE FACADES.

**36589 NEWARK BOULEVARD
NEWARK, CA**

SUBMITTAL DATE: 10/20/2016
RESUBMITTAL DATE: 05/04/2018

DRAWING INDEX

C5 - COVER SHEET

ARCHITECTURAL:
SP - ARCHITECTURAL SITE PLAN
A1.1 - BLDG. A - MAIN & UPPER FLOOR PLANS
A1.2 - BLDG. A - ROOF PLAN
A1.3 - BLDG. A - SOUTH & EAST ELEVATIONS
A1.4 - BLDG. A - NORTH & WEST ELEVATIONS
A2.1 - BLDG. B - MAIN & UPPER FLOOR PLANS
A2.2 - BLDG. B - ROOF PLAN
A2.3 - BLDG. B - SOUTH & WEST ELEVATIONS
A2.4 - BLDG. B - NORTH & EAST ELEVATIONS
A3.1 - BLDG. A - RENDERED ELEVATIONS
A3.2 - BLDG. B - RENDERED ELEVATIONS
A4.1 - STREETSCAPE

LANDSCAPE:
L1.0 - NOTES & LEGENDS
L3.1 - LAYOUT PLAN
L4.1 - DETAILS
L4.2 - DETAILS
L4.3 - DETAILS
L5.0 - IRRIGATION NOTES
L5.1 - HYDROZONE PLAN
L6.0 - PLANTING NOTES
L6.1 - PLANTING PLAN
L6.2 - PLANTING DETAILS
L7.1 - LIGHTING PLAN

CIVIL:
C1 - TITLE SHEET & SITE PLAN
C2 - TOPOGRAPHY SURVEY & DEMOLITION PLAN
C3 - PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
C4 - PRELIMINARY C3 STORM WATER CONTROL PLAN

TOTAL GROSS AREA: 22449 SQ. FT.
TOTAL NET AREA: 17321 SQ. FT.
ZONING: RM - MEDIUM DENSITY RESIDENTIAL
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
EXISTING USE: VACANT
PROPOSED USE: 6 LOTS - MULTI FAMILY RESIDENTIAL
PROPOSED DENSITY: 12 DU/ AC
FEMA FLOOD DESIGNATION: ZONE "X" UNSHADED
MAXIMUM BUILDING HEIGHT: 28' 0"
FIRE PROTECTION DISTRICT: ALAMEDA COUNTY FIRE PROTECTION DIST

22449 SQ. FT.
17321 SQ. FT.
RM - MEDIUM DENSITY RESIDENTIAL
MEDIUM DENSITY RESIDENTIAL
VACANT
6 LOTS - MULTI FAMILY RESIDENTIAL
12 DU/ AC
ZONE "X" UNSHADED
28' 0"
ALAMEDA COUNTY FIRE PROTECTION DIST

PARKING:
2 COVERED SPACES
PER UNIT: 12
GUEST SPACE: 3
TOTAL SPACES: 15

SETBACKS:
FROM NEWARK BLVD: 15'-0"
FROM MAYHEWS LANDING: 15'-0"
REAR SETBACKS: 10'-0"

6 UNITS

UNIT #1	2264 SQ. FT.
UNIT #2	2064 SQ. FT.
UNIT #3	2017 SQ. FT.
UNIT #4	2134 SQ. FT.
UNIT #5	2032 SQ. FT.
UNIT #6	2406 SQ. FT.

LOTS	LOT SIZE	LOT COVERAGE	%
LOT #1	2338 SQ. FT.	1451 SQ. FT.	61.7%
LOT #2	1873 SQ. FT.	1346 SQ. FT.	71.9%
LOT #3	2220 SQ. FT.	1333 SQ. FT.	60.0%
LOT #4	2354 SQ. FT.	1404 SQ. FT.	59.6%
LOT #5	1823 SQ. FT.	1183 SQ. FT.	64.9%
LOT #6	2797 SQ. FT.	1664 SQ. FT.	59.5%

PARCEL (A&B) SIZE: 8838 SQ. FT.

LOT COVERAGE: 8391 SQ. FT. (37.3%)
OPEN SPACE: 5341 SQ. FT. (23.8%)
LANDSCAPE: 8805 SQ. FT. (39.2%)

DEVELOPER
DAVID LANGON CONSTRUCTION, INC.
3189 DANVILLE BLVD., SUITE 245
ALAMO, CA 94507
PHONE: (510) 368-3263

ARCHITECT
HUNT HALE JONES ARCHITECTS
444 SPEAR STREET, SUITE 200
SAN FRANCISCO, CA 94105
PHONE: (415) 512-1300
FAX: (415) 288-0288

LANDSCAPE ARCHITECT
LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CA 94501
PHONE: (510) 521-6700

CIVIL ENGINEER
APEX CIVIL ENGINEERING &
LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
PHONE: (925) 639-5635

EXHIBIT Ap1



VIEW OF MATHEWS LANDING RD AT NEWARK BLVD

NEWARK PROJECT
 35588 NEWARK BLVD, NEWARK, CA
 REVISED: 05/04/2018
 355001.00

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EXHIBIT A102

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 San Francisco, CA 94105
 www.hunt-hale.com
 T 415.513.1300
 F 415.266.0286

HUNT
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 JONES
 ARCHITECTS

SECURITY & POLICE DEPARTMENT NOTES:

1. THE DEVELOPER SHALL COMPLY WITH CHAPTER 14.06, SECURITY CODE, OF THE NEWARK MUNICIPAL CODE AND SECTION 4.18 OF THE CALIFORNIA FIRE CODE FOR RATED PROTECTION.
2. SECURITY CAMERAS NEED TO BE PLACED SO THAT THE DRIVEWAYS/STREETS AREAS ARE CAPTURED BY SURVEILLANCE. CAMERAS PLACED AT THE ENTRANCE TO THE COMPLEX SHOULD BE SUFFICIENTLY HIGH TO EXCEED VEHICLE LICENSE PLATES, VEHICLE MAKE, MODEL AND COLOR. CAMERAS NEED TO BE PLACED AT PEDESTRIAN AND VEHICLE ACCESS POINTS TO DETERMINE ACTIVITY. CAMERAS SHOULD BE OPERATED AND CONTROLLED BY IN-COMPLEX OWNERS OR A PCA.

OTHER CONSTRUCTION NOTES:

1. CONSTRUCTION FOR THIS PROJECT, INCLUDING SITE WORK AND ALL STRUCTURES, CAN OCCUR ONLY BETWEEN THE HOURS OF 8:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY. THE APPLICANT MAY MAKE A WRITTEN REQUEST TO THE BUILDING OFFICIAL FOR EXTENDED WORKING HOURS AND/OR DAYS, BY GRANTING OR DENYING ANY REQUEST THE BUILDING OFFICIAL WILL TAKE INTO CONSIDERATION THE NATURE OF THE CONSTRUCTION ACTIVITY WHICH SHOULD OCCUR DURING EXTENDED HOURS, THE TIME DURATION OF THE REQUEST, THE PROXIMITY TO RESIDENTIAL NEIGHBORHOODS AND SHUTTLE BY APPROVED MESH-SIGNS. ALL APPROVALS WILL BE DONE SO IN WRITING.
2. AS PER THE NEWARK MUNICIPAL CODE ALL THE STRUCTURES SHALL BE EQUIPPED WITH A FULLY AUTOMATIC FIRE SUPPRESSION SYSTEM.

DISTANCES TAKEN FROM BUILDINGS TO PROPERTY LOT LINES, FOR ROOF OVERHANGS AND DISTANCES, SEE ROOF PLANS OR SHEETS A1.5 & A1.6.

*NOTE - COMPACT SPACE WILL CLEARLY BE INDICATED THROUGH SIGNAGE OR OTHER LABELING METHOD.

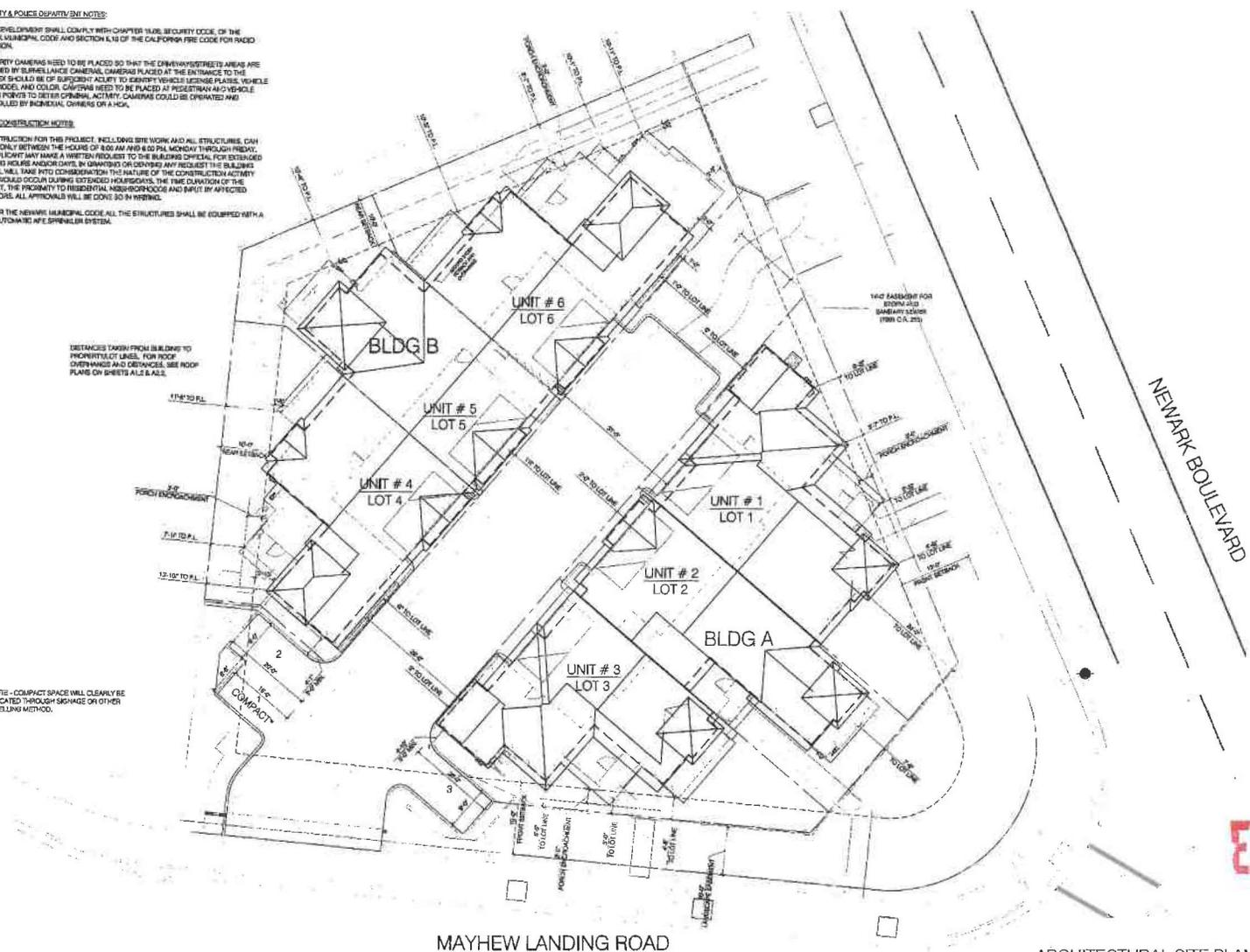
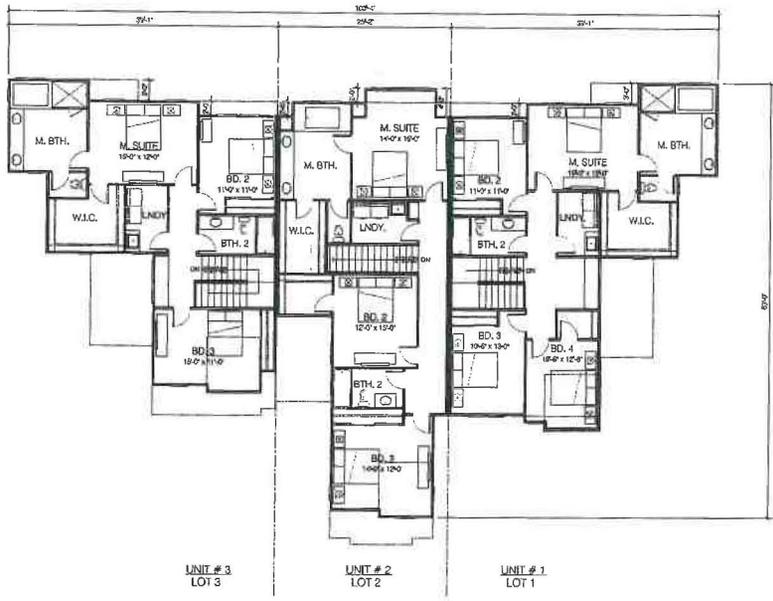


EXHIBIT Ap3

NEWARK PROJECT
 30589 NEWARK BLVD, NEWARK CA
 REVISED: 05/04/2018
 335001.00
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ARCHITECTURAL SITE PLAN
SP
 444 Spear Street, Suite 105
 San Francisco, CA 94105
 www.hunt halejones.com
 t. 415-512-1300
 f. 415-288-0288

SCALE: 1"=10'-0"



UPPER FLOOR PLAN

BUILDING A - NORTH-WEST BLDG.



MAIN FLOOR PLAN

BUILDING A - NORTH-WEST BLDG.



BUILDING KEY

EXHIBIT A_{PH}

BLDG. A - MAIN & UPPER FLOOR PLANS

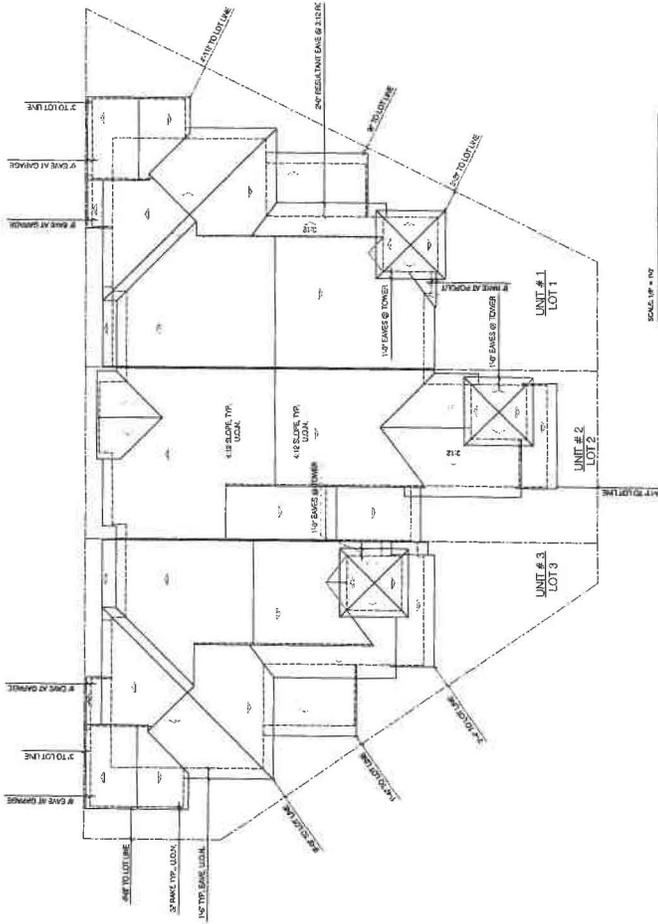
A1.1

SCALE: 1/8"=1'-0"

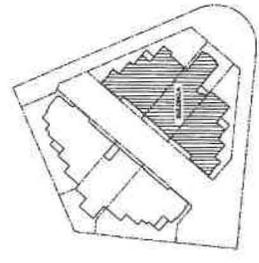
NEWARK PROJECT
38828 NEWARK BLVD, NEWARK, CA
REVISED: 05/04/2018
335001.00

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ROOF PLAN
BUILDING A - NORTHWEST BLDG.



BUILDING KEY

EXHIBIT A1.2

BLDG. A - ROOF PLAN

444 Spear Street, Suite 105
Newark, NJ 07102
www.hartshorn.com
T. 415-512-1300
F. 415-288-2288

A1.2

SCALE: 1/8"=1'-0"

NEWARK PROJECT
36599 NEWARK BLVD, NEWARK, CA
REVISED: 05/04/2018
335001.00

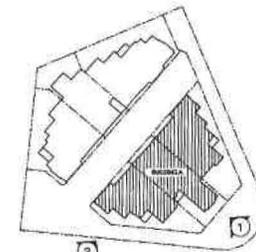
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① SOUTH ELEVATION
BUILDING A - NORTHWEST BLDG.



② EAST ELEVATION
BUILDING A - NORTHWEST BLDG.



② BUILDING KEY

EXHIBIT *ApG*

BLDG. A - SOUTH & EAST ELEVATIONS

A1.3

SCALE: 1/8"=1'-0"

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3 NORTH ELEVATION
BUILDING A - NORTHWEST BLDG.



4 WEST ELEVATION
BUILDING A - NORTHWEST BLDG.



BUILDING KEY

EXHIBIT A_{p7}

BLDG. A - NORTH & WEST ELEVATIONS

A1.4

SCALE: 3/16"=1'-0"

NEWARK PROJECT
36589 NEWARK BLVD, NEWARK CA
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335001.00

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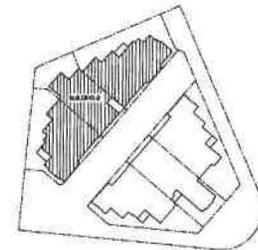
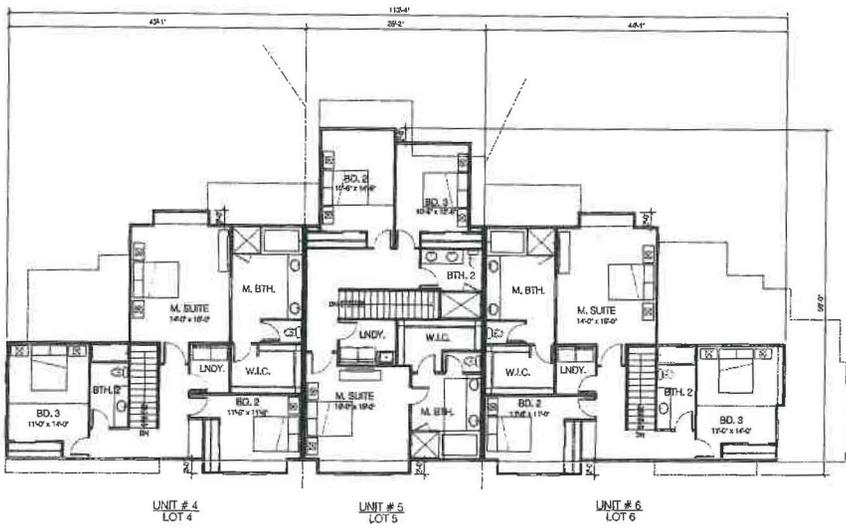


EXHIBIT A-8

BLDG. B - MAIN & UPPER FLOOR PLANS

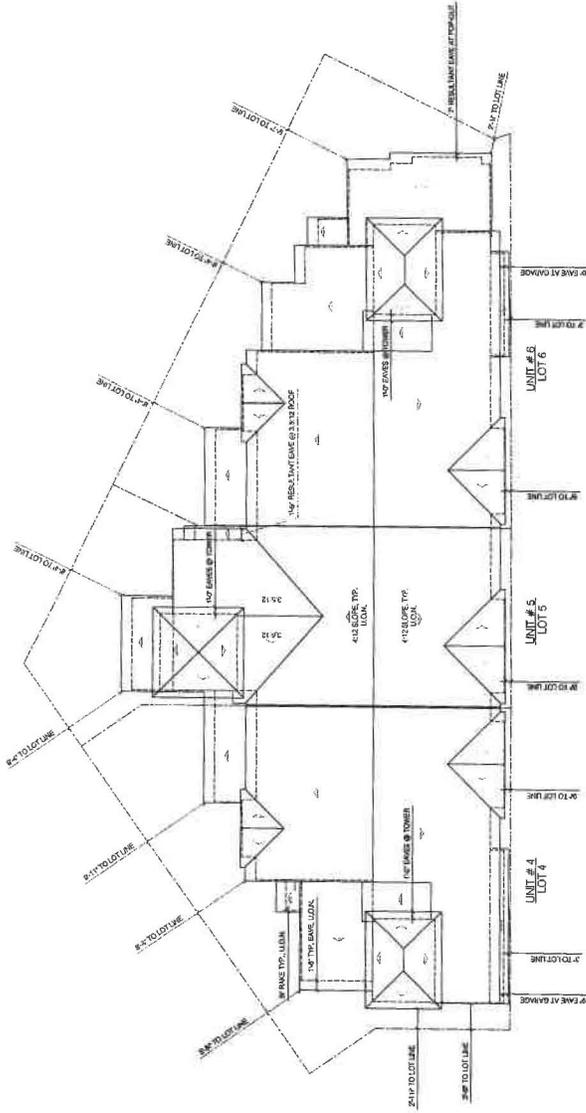
A2.1

SCALE: 1/8" = 1'-0"

NEWARK PROJECT
36509 NEWARK BLVD, NEWARK, CA
REVISED: 05/04/2018
335001.00

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ROOF PLAN
BUILDING B - SOUTHEAST BLDG.

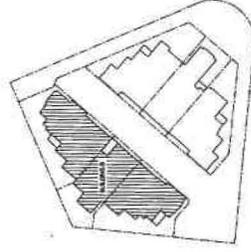


EXHIBIT App
BUILDING KEY

BLDG. B - ROOF PLAN
A2.2

SCALE: 1/8"=1'-0"

NEWARK PROJECT
3068B NEWARK BLVD, NEWARK, CA
REVISED: 05/04/2018
3385001.D00

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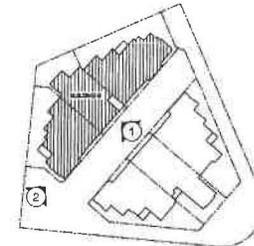
444 Spear Street, Suite 105
San Francisco, CA 94105
www.mutualconcepts.com
T: 415-512-1300
F: 415-238-2088



1 SOUTH ELEVATION
BUILDING B - SOUTHEAST BLDG.



2 WEST ELEVATION
BUILDING B - SOUTHEAST BLDG.



BUILDING KEY

EXHIBIT *A*10

BLDG. B - SOUTH & WEST ELEVATIONS

A2.3

SCALE: 1/8"=1'-0"

NEWARK PROJECT
35589 NEWARK BLVD, NEWARK, CA
REVISED: 05/04/2016
336001.00

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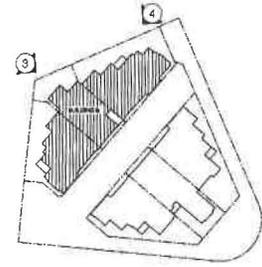
444 Spear Street, Suite 105
San Francisco, CA 94105
www.huntHallJones.com
L 415-512-1300
T 415-286-0288



3 NORTH ELEVATION
BUILDING B - SOUTHEAST BLDG.



4 EAST ELEVATION
BUILDING B - SOUTHEAST BLDG.



BUILDING KEY

EXHIBIT April

BLDG. B - NORTH & EAST ELEVATIONS

A2.4

SCALE: 3/16"=1'-0"

NEWARK PROJECT
35589 NEWARK BLVD, NEWARK CA
REVISED: 05/04/2018
335001.00
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San Francisco, CA 94105
www.hurthalejones.com
T. 415-512-1300
F. 415-289-0288



EAST ELEVATION

BUILDING A - NORTHWEST BLDG.



SOUTH ELEVATION

BUILDING A - NORTHWEST BLDG.

- LEGEND
1. SMOOTH FINISHED STUCCO COLOR: SHERWIN WILLIAMS - HONOLULU DESERT
 2. BLDGRD STONE: DYPRESS RIDGE - ORCHARD
 3. HARDY TRIM AND PANELS: SELECT CEDARWELL - TRIMMER BANK
 4. ALUMINUM WINDOWS - ANODIZED FINISH
 5. DECORATIVE METAL AWNING
 6. PRECAST TRIM
 7. SECTIONAL ROLL-UP GARAGE DOOR
 8. DECORATIVE SHUTTER
 9. WOOD TRIM PAINTED: SHERWIN WILLIAMS - BEST BRONZE



WEST ELEVATION

BUILDING A - NORTHWEST BLDG.



NORTH ELEVATION

BUILDING A - NORTHWEST BLDG.

EXHIBIT A p12

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335001.00

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BLDG. A - RENDERED ELEVATIONS

A3.1

SCALE: N.T.S.

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t. 415-512-1300
f. 415-288-0289





WEST ELEVATION
BUILDING B - SOUTHEAST BLDG.



SOUTH ELEVATION
BUILDING B - SOUTHEAST BLDG.

- LEGEND
1. SMOOTH FINISHED STUCCO COLOR: SHERWIN WILLIAMS - NOMADIC DESERT
 2. ELDERWOOD STONE
 3. WOOD TRIM AND PANELS: CYPRESS RIDGE - ORCHARD
SELECT CEDAR/BAL - TRADER BARK
 4. ALUMINUM WINDOWS - ANODIZED FINISH
 5. DECORATIVE METAL AWNING
 6. PRECAST TRIM
 7. SECTIONAL ROLL-UP GARAGE DOOR
 8. DECORATIVE BARN DOOR
 9. WOOD TRIM PAINTED: SHERWIN WILLIAMS - BEST BRONZE



EAST ELEVATION
BUILDING B - SOUTHEAST BLDG.



NORTH ELEVATION
BUILDING B - SOUTHEAST BLDG.

EXHIBIT Ap13

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335001.00

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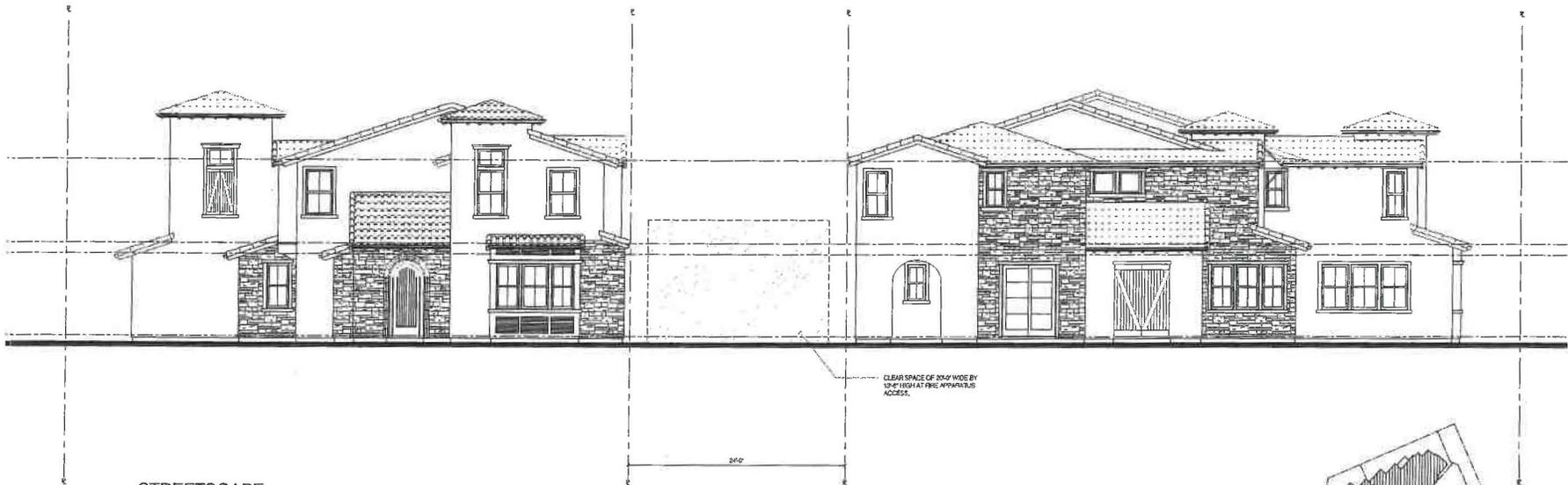
BLDG. B - RENDERED ELEVATIONS

A3.2

SCALE: N.T.S.

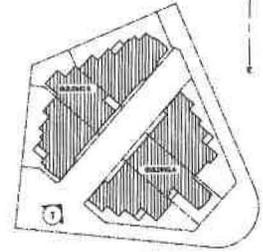
444 Spear Street, Suite 105
San Francisco, CA 94105
www.munthalejones.com
t. 415-512-1300
f. 415-288-0288





1 STREETScape
PASSEO/DRIVEWAY

CLEAR SPACE OF 20'-0" WIDE BY 10'-0" HIGH AT THE APPROXIMATE ADDRESS.



BUILDING KEY

NEWARK PROJECT
38589 NEWARK BLVD, NEWARK CA
REVISED: 05/04/2018
338001.00

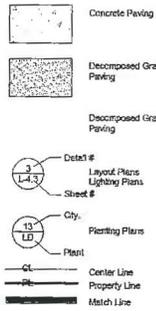
©MULLHALL JONES ARCHITECTS

EXHIBIT A014 STREETScape
A4.1

444 Spear Street, Suite 105
San Francisco, CA 94105
www.mullhalljones.com
T. 415-512-1900
F. 415-288-0288

SCALE: 3/16"=1'-0"

LAYOUT LEGEND



AD	Area Drain
BOC	Back of Curb
BC	Back of Curb
CL	Center Line
CO	Clean Out
CP	Center Point
DIA	Diameter
DI	Drain Inlet
EQ	Equal
EJ	Expansion Joint
FOC	Face of Curb
FC	Face of Curb
GALV	Galvanized
MA	Multi Area
MAX	Maximum
MIN	Minimum
PA	Planting Area
PL	Property Line
POC	Point of connection
PRFP	Perforated
PREP	Perpendicular
PT	Pressure Treated
RDRW	Right of Way
ROW	Right of Way
SAD	See Architect's Drawings
SCD	See Civil Engineer's Drawings
SED	See Electrical Engineer's Drawings
SHT	Sheet
SP	Start Point
SSD	See Structural Engineer's Drawings
TSB	To Be Determined
TYP	Typical



LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the builder and Landscape Architect for a decision before proceeding with the work.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building, wall, face of curb, edge of curb, property line, or centerline of street or culchun unless otherwise noted on the drawings.
- Walk scoring, expansion joints and headers shall be located as indicated on the Plans or as field adjusted under the direction of the Landscape Architect.
- The contractor is to verify location of all on-site utilities before commencing with the work. The contractor shall also be responsible for the repair of any damaged utilities.
- All work is to be in compliance with the City of Mountain View's Conditions of Approval, standard plans and specifications.
- Design Team:

Architect:
Hunt Hale Jones Architects
444 Spear Street, #105
San Francisco, California 94105
(415) 512-1300

Civil Engineer:
Apex Civil Engineering & Land Surveying
817 Alameda Drive, Suite 50
Martinez, California 94533
(925) 476-8499

FINE GRADING NOTES:

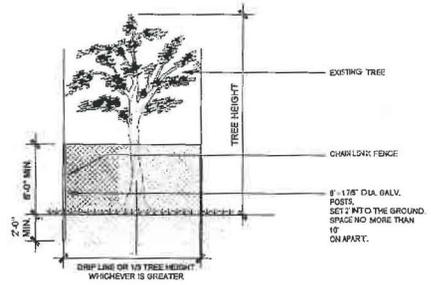
- The Landscape Contractor is responsible for fine grading and positive surface drainage in all landscape areas. The Contractor shall verify all rough grades in the field and bring any discrepancies to the attention of the General Contractor, Landscape Architect and Civil Engineer for a decision before proceeding with the work.
- See Civil Engineer's drawings for roof surface elevations, roadway sections, catch basins, sidewalks, and top of curb elevations.
- Contractors are to exercise extreme care in backfilling and compacting any excavation or trenching in areas previously compacted for other aspects of the system.
- The Landscape Contractor shall remove from the site all debris and unusable material generated by their construction operations.
- All on-grade areas marked for planting shall be verified by the fine grading contractor, that they are within a tenth of a foot of that grade. The Landscape Contractor shall rip compacted rough graded soil to a depth of 12 inches in both directions (back side), then fill in the soil amendment. Soil amendment shall be determined by an agricultural suitability's analysis (see Planting Note 5). A minimum of one foot depth of non-mechanically compacted soil is available for water absorption and root growth in planted areas.
- Review structural soils report for recommendations on soil type, grading procedures, soil compaction, maximum allowable slopes, Ratovick base material, etc. Copies of the report are available from the Owner.
- Minimum paving slope to be typically 1 percent. Minimum planting area slope to be typically 2 percent. Bring any discrepancies to the attention of the Landscape Architect for a decision prior to fine grading.
- Groundcover areas: Finish grades shall be 2 inch below the top of adjacent pavement, headers, curbs, or walls, unless otherwise specified. Lower headers where required to allow water to flow to drainage structures.
- Lawn Areas: Finish grades shall be 1 inch below the top of adjacent pavement, headers, curbs, or walls, unless otherwise specified. Lower headers where required to allow water to flow to drainage structures.

CERTIFICATE OF COMPLETION

Final Acceptance section / Certificate of Completion
At the completion of the project the contractor shall supply a Certificate of Completion document. Document shall include:
1. Project information sheet that contains:
a. Date,
b. Project name,
c. Project applicant name, telephone and mailing address,
d. Project address and location,
e. Property owner name, telephone, and mailing address.
2. Certification by either the signer of the landscape design plan, the designer of the irrigation design plan or the licensed landscape contractor that the landscape project has been installed per the approved Landscape documentation Package.
a. Where that have been significant changes made in the field during construction, these "as-built" or record drawings shall be included with the certification.
b. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
3. Irrigation scheduling parameters used to set the controller.
4. Landscape and irrigation maintenance schedule.
5. Irrigation audit report.
6. Soils analysis report if not submitted with the Landscape Documentation package and documentation verifying implementation of the soil recommendations.

TREE PROTECTION NOTES:

- Prior to initiating any construction activity in the area, including grading, temporary protective fencing shall be installed at each site tree. Fencing shall be located at or beyond the canopy drip line so that 100% of the drip line will be protected by fencing. To reduce soil compaction from equipment, a minimum of 1-2 inch sized wood chips shall be placed at a depth of 4 inches where no excavation is to occur in the vicinity of the trees to be protected.
- The tree protection fence shall be per detail. The fencing shall form a continuous barrier without entry points around each tree. Any encroachment into the drip line for fencing or construction purposes shall not be permitted.
- Low hanging limbs of saved trees shall be pruned prior to grading, or any equipment mobilization on site. The purpose of this requirement is to avoid tearing limbs by heavy equipment. All limbs to be pruned shall be supported by the amount of record for the job.
- This fencing shall serve as a barrier to prevent the encroachment of any type of construction activities and equipment. No oils, gas, chemicals, liquid waste, solid waste, construction machinery or construction materials shall be stored or allowed to stand for any period of time within the drip line of the tree. Further, no one shall enter the fence perimeter for any reason except for the purpose of monitoring the health of the tree. Accidental damage to bark, root crown, or limbs may increase potential for future decline.
- Contractors and subcontractors shall direct all equipment and personnel to remain outside the fenced area and at all times until project is complete, and shall instruct employees as to the purpose and importance of fencing. A warning sign shall be posted at each tree indicating the purpose of the fencing. See Arborist Report for specified signage.
- The arborist of record for the job or the city arborist shall be responsible for inspection and approval of the fencing prior to any grading operations. Fencing must remain in place and shall not be removed until all construction activities are completed. This shall include grading and compaction activities. Installation of underground, all construction activities and any other construction or activity which is scheduled prior or landscape installation.
- Roots of single standing trees often extend up to three times the distance of the actual drip line and function primarily in they uptake of nutrients and water. The drip line is arbitrarily established as the minimum root area generally required to preserve tree health. As much area around the circumference of the tree should have minimum intrusion to further insure tree survival and health.



TYPICAL EXISTING TREE PROTECTION
NOT TO SCALE

SHEET SCHEDULE

L-1.0	NOTES AND LEGENDS
L-3.1	LAYOUT PLAN
L-4.1	DETAILS
L-4.2	DETAILS
L-4.3	DETAILS
L-5.0	IRRIGATION NOTES
L-5.1	HYDROZONE PLAN
L-6.0	PLANTING NOTES
L-6.1	PLANTING PLAN
L-6.2	PLANTING DETAILS
L-7.1	LIGHTING PLAN

EXHIBIT Apr 15

**NOTES & LEGENDS
PRELIMINARY LANDSCAPE PLAN**

I have complied with the criteria of the Model Efficient Landscape Ordinance and applied them for efficient use of water in the landscape and irrigation design plans.
Tom Wong
5/1/2018

Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California



LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: May 7, 2018
Job: 16-133

L-1.0

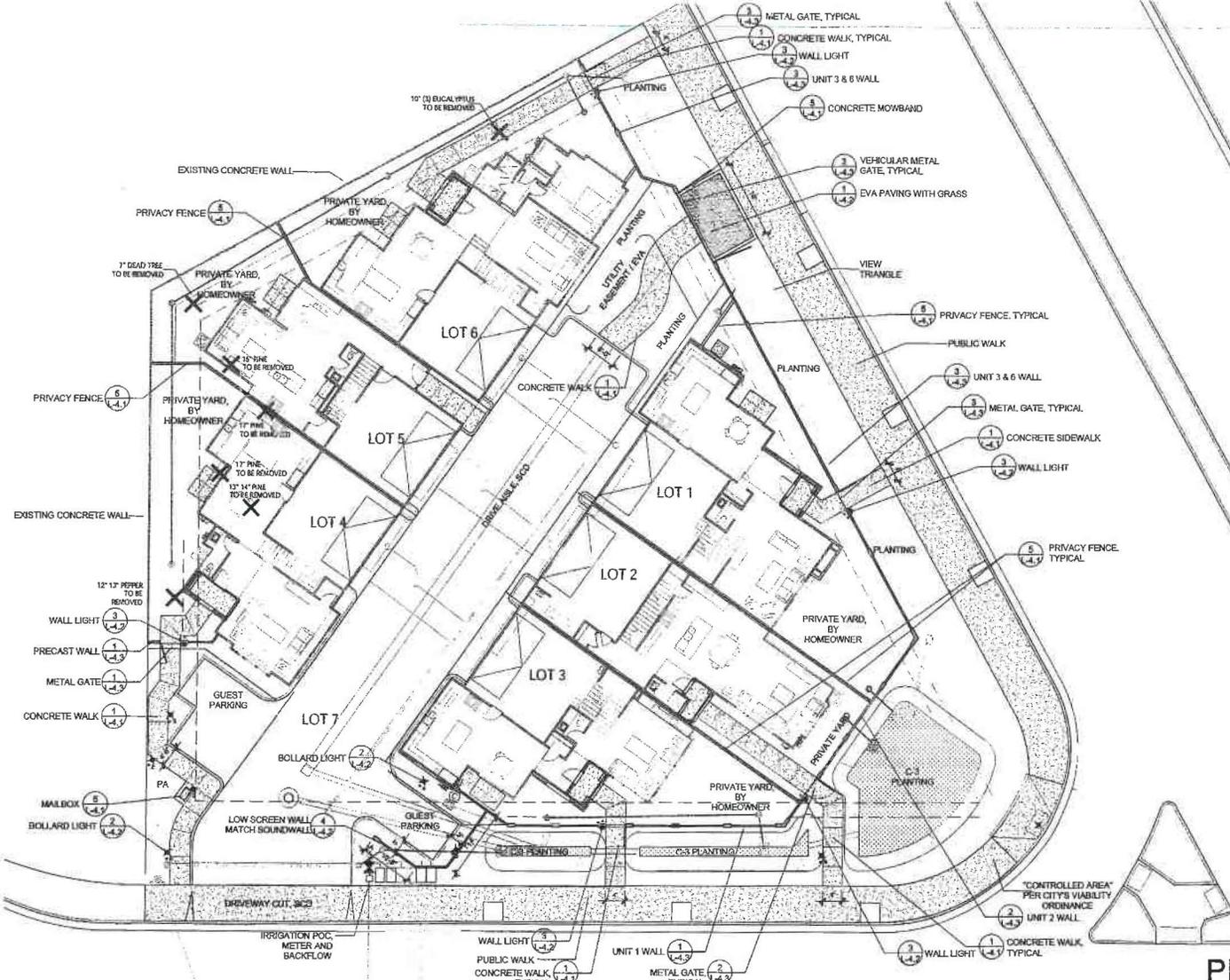


EXHIBIT *Apl6*

SCALE: 1" = 10'-0"

LAYOUT PLAN
PRELIMINARY LANDSCAPE PLAN

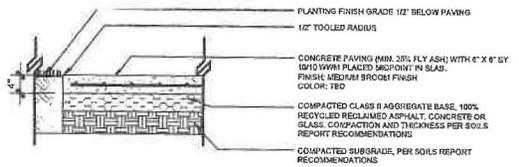
Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California



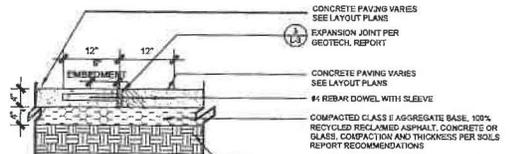
LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: May 7, 2018
Job: 16-133

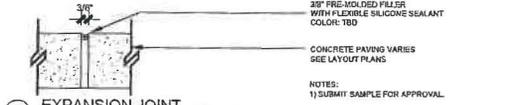
L-3.1



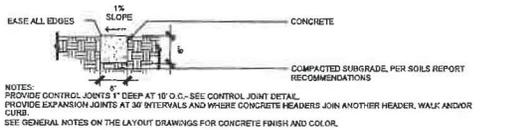
1) CONCRETE PAVING
SCALE: 1"=1'-0"



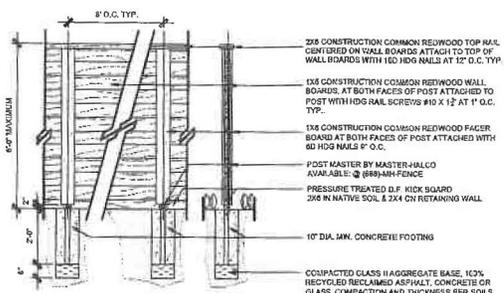
2) DOWEL DETAIL
SCALE: 1"=1'-0"



3) EXPANSION JOINT
3" = 1'-0"

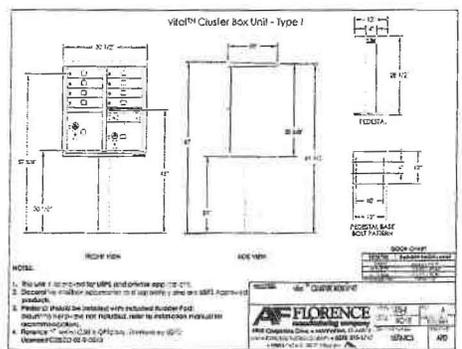


4) CONCRETE HEADER
NOT TO SCALE

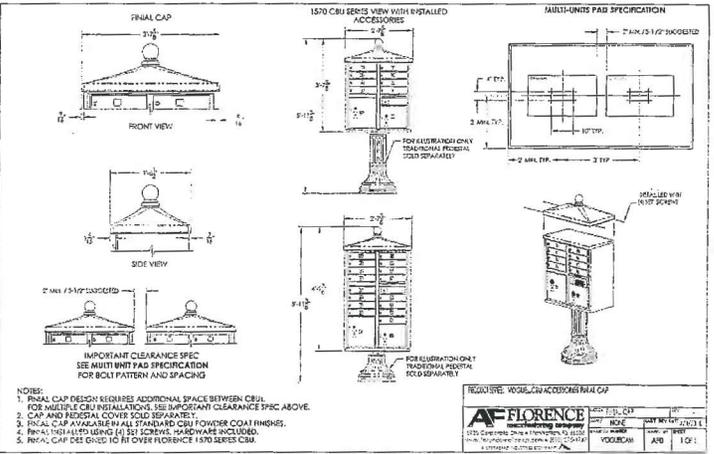
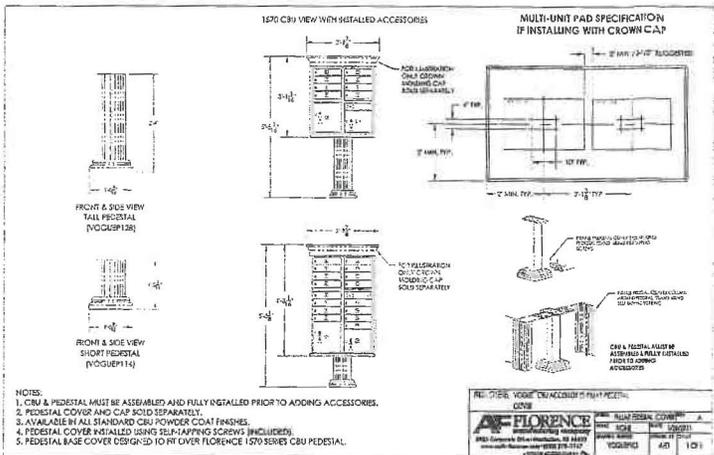


ELEVATION SECTION

5) PRIVACY FENCE
SCALE: 1/2"=1'-0"



6) MAILBOX



CONSTRUCTION DETAILS
PRELIMINARY LANDSCAPE PLAN

Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California

EXHIBIT A-17

LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
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(510) 521 6700

Date: May 7, 2018
Job: 16-133

L-4.1



AirPave

By AirField Systems

A flexible porous paving and drainage system for grass pavers for roads, reinforced turf paving and more. With over 400 installations across the country AirPave for grass pavers is 223 psi wet/cu. ft. and is made of 100% recycled content which was certified as LEED v3 green.

AirPave allows sheet with coverage for 2 layers of the structural subgrade if needed. Grid for the sub base to be worked in before compaction and installed. And the filler to be added on top of the sand filled grid and subgrade to before the turf grass is installed. We believe if done properly it will not let us the project to be best possible result.

AirPave can save the owner up to \$0.08 per square foot or more over our nearest competitors. CSI MasterFormat #32 12 43, #32 43 89 and #32 10 43.

8.74Tpsf = 97.06psf

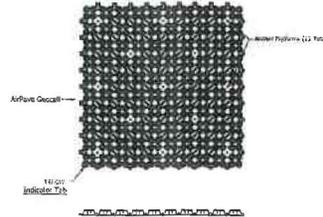
Allowing enough for
Flex Brackets weighing
more than 75,000 lbs.

Exceeding 10-20 & 10-25
ASHTO requirements

Benefits of an AirPave grass paving system include:

- A 40% or more material cost savings over most competitors
- Up to 40% cost savings on installation, compared with other paving systems
- 2 Layers of Subgrade Filler with a guaranteed warranty provided with every project.
- AirPave has been tested in over 400 flexible porous paving projects.
- AirPave is made with 100% recycled content polypropylene plastic with an integral weather retarder to enhance a (HD-6000) plastic classification and a minimum 3% carbon black added for UV protection.
- Loading capability is rated to 223 psi empty and 4,747 psi when filled with shock heavy loads, over an appropriate base depth that provides adequate support for project design loads exceeding 10-20 & 10-25 ASHTO requirements.
- AirPave is stamped in a grid with 1.8 grids equal to 756 sq. ft. per panel. Each panel is 32" x 32" x 1", weight 3.10 lbs and is 97% solid.

The following information is for informational purposes only. It is not intended to constitute an offer of any financial product or service. Please contact your local AirPave distributor for more information.



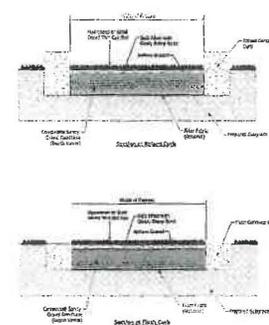
Grid Panel Specifications
Size: 32" x 32" x 1"
Height: 1.10"
Weight: 3.10 lbs (wet/cu ft)
Area: 1076 Sq/ft (90%)
Coverage with 1/2" Subgrade: 765 Sq/ft (70% Porous Material)
Color: (7% carbon black added for UV Protection)

AirPave Cross Section
Typical

CSI # 32 12 43

CSI # 32 43 89

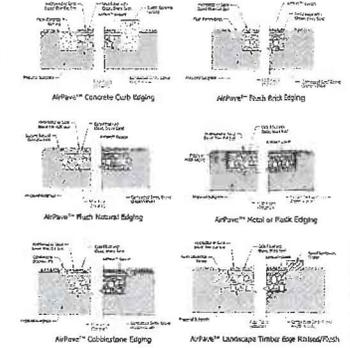
AirField Systems, LLC
800 N. Main Ave., Suite 201
Chattanooga, TN 37402
(423) 266-2222



AirPave Typical Firelane Detail
For AirPave Cross Section

AirField Systems, LLC
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Chattanooga, TN 37402
(423) 266-2222

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Chattanooga, TN 37402
(423) 266-2222

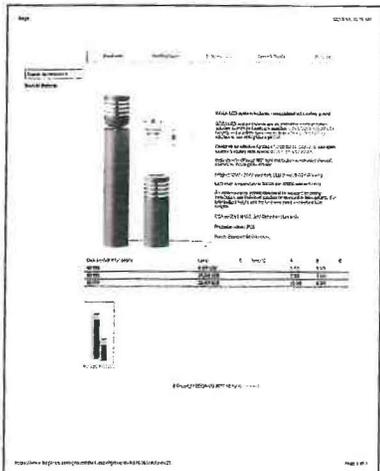


AirPave™ Permeable Edging Options

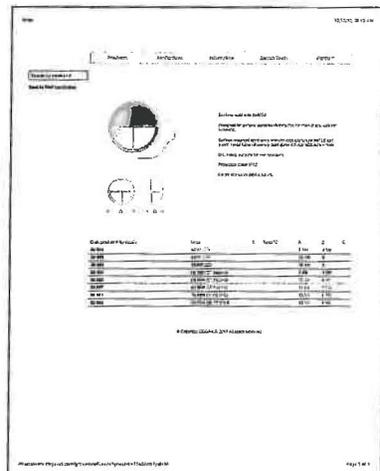
AirField Systems, LLC
800 N. Main Ave., Suite 201
Chattanooga, TN 37402
(423) 266-2222

Drawing No. DWG-18-001
Scale: 1/4" = 1'-0"

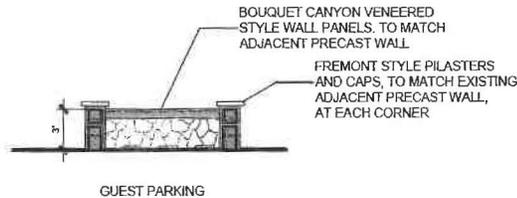
1 EVA GRASS PAVING



2 BOLLARD LIGHT



3 WALL LIGHT



4 LOW SCREEN WALL

SCALE: 1/4" = 1'-0"

- NOTES:
1. MATCH EXISTING BOUQUET CANYON STONE WITH LOCALLY (WITHIN 200 MILES) QUARRIED STONE.

EXHIBIT Ap18

CONSTRUCTION DETAILS PRELIMINARY LANDSCAPE PLAN

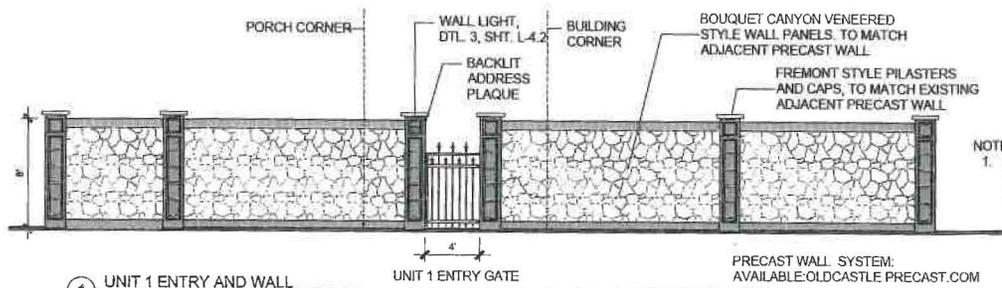
Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California



LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: May 7, 2018
Job: 16-133

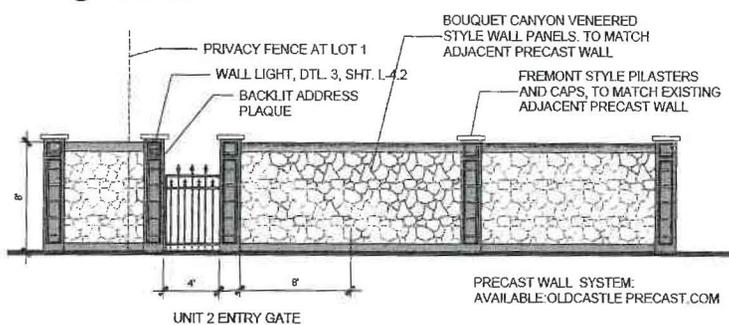
L-4.2



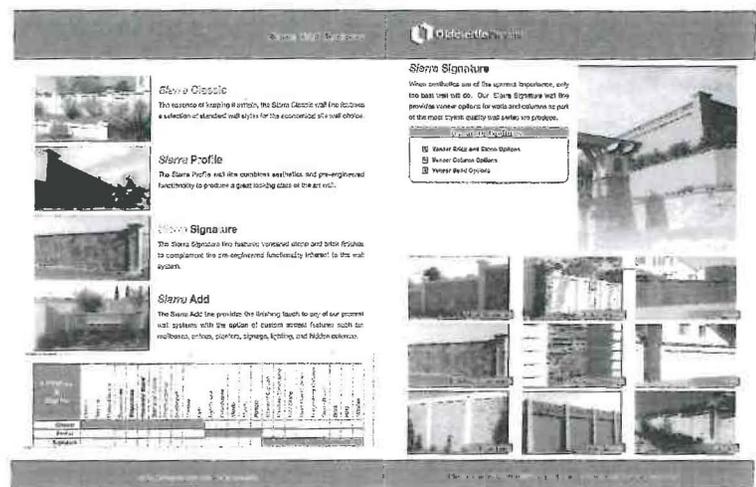
NOTES:
1. MATCH EXISTING BOUQUET CANYON STONE WITH LOCALLY (WITHIN 200 MILES) QUARRIED STONE.



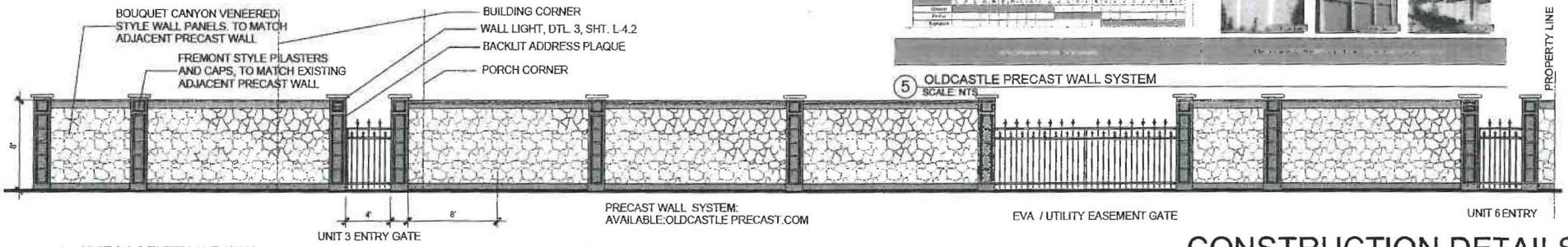
4 EXISTING ADJACENT WALL SCALE: NTS



NOTES:
1. MATCH EXISTING BOUQUET CANYON STONE WITH LOCALLY (WITHIN 200 MILES) QUARRIED STONE.



5 OLDCASTLE PRECAST WALL SYSTEM SCALE: NTS



NOTES:
1. MATCH EXISTING BOUQUET CANYON STONE WITH LOCALLY (WITHIN 200 MILES) QUARRIED STONE.

CONSTRUCTION DETAILS
PRELIMINARY LANDSCAPE PLAN

Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California

LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

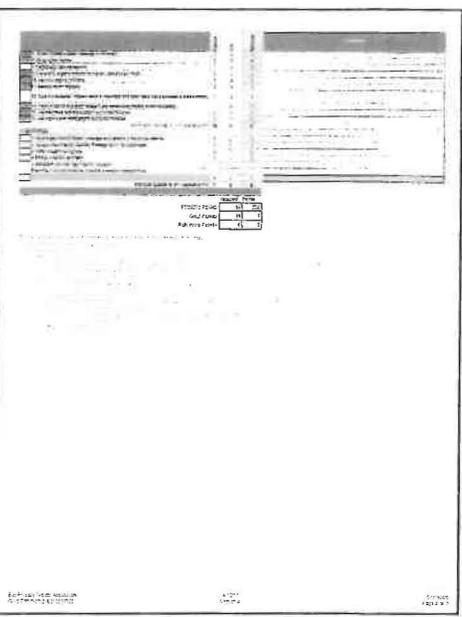
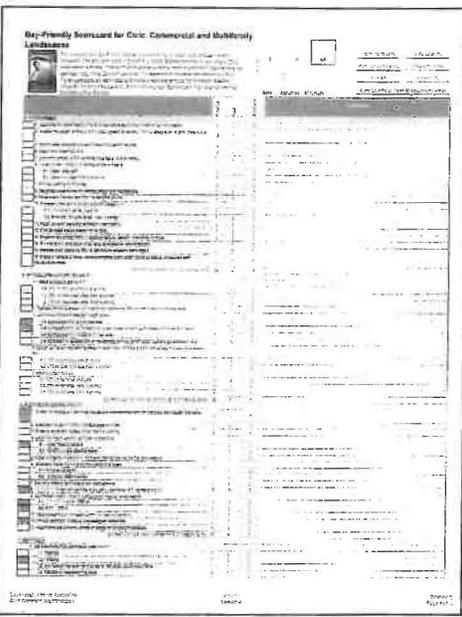
Date: May 7, 2018
Job: 16-133

EXHIBIT Ap 19

L-4.3

IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGNOSTIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOULD BE FIELD CHECKED FOR CLARITY AND ARE TO BE INSTALLED WITH PLUMBING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL SIZES, FITTINGS, SIZES, ETC. WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, SPACE REQUIREMENTS OR OTHER ADVERSE INTERFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED BY THE ENGINEERING. IN THE EVENT OF FIELD INTERFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION BEFORE AUTOMATICALLY BEGINNING WORK AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND CONSIDER ANY ADVERSE INTERFERENCES WITH ALL APPLICABLE CONTRACTORS FOR THE LANDSCAPE AND INSTALLATION OF PIPING, CONDUIT OR BUNDLES THROUGH OR UNDER WALLS, FOUNDATIONS, PAVING, STRUCTURE, ETC. BEFORE COMMENCEMENT. IN THE EVENT THESE INTERFERENCES ARE NOT FORESEEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.
2. THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING PIPING AS TO NOT CONFLICT WITH OTHER UTILITIES. DO NOT INSTALL IRRIGATION PIPING PARALLEL TO AND DIRECTLY OVER OTHER UTILITIES.
3. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
4. IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLS TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, WINDS AND SUNSHINE, SOIL SHADE, AND SOIL EXPOSURES.
5. AT THE END OF THE REQUIRED MAINTENANCE PERIOD OF THE CONTRACTOR, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, CHECKING, MAINTAINING AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEMS.
6. 120 VOLT A.C. (0.5 AMP MAXIMUM) ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATION IS TO BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL SUB-OUTLET TO CONTROLLER AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
7. CONTROLLER SHALL HAVE ITS OWN GROUND ROD. THE GROUND ROD SHALL BE AN EIGHT FEET LONG BY 5/8" DIAMETER U.S.L. APPROVED COPPER CLAD ROD. NO MORE THAN 4" OF THE GROUND ROD TO BE ABOVE GRADE. CONNECT #6 GAUGE WIRE WITH A U.S.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND RODS AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. THIS WIRE SHOULD BE AS SHORT AS POSSIBLE, AVOIDING ANY KINKS OR BENDS. GROUND ROD SHALL BE A MINIMUM OF EIGHT FEET (8') FROM IRRIGATION CONTROL WIRE BUNDLES.
8. IRRIGATION CONTROLLER TO HAVE ITS OWN INDEPENDENT 24 VOLT COMMON GROUND WIRE.
9. CONTRACTOR SHALL PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE IRRIGATION TO ALL PLANTING WITHIN THE ALLOWED BIDDING WINDOW OF THE AS REQUIRED. THE CONTRACTOR SHALL CREATE CONTROLLER PROGRAMS THAT WILL NOT EXCEED THE MAXIMUM ALLOWED PER MINUTE FLOW RATE LISTED ON THE DRAWINGS, AND NOT EXCEED THE CAPACITY OF ANY MAIN LINE PIPING.
10. IRRIGATION CONTROL WIRES SHALL BE COVERED WITH ALL APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14-1. COMMON GROUND WIRE SHALL HAVE WHITE INSULATING JACKET. CONTROL WIRE SHALL HAVE INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICE SHALL BE MADE WITH JM-D807V-5 SEAL PASTE.
11. FLOW SENSOR CABLE SHALL BE A SOLID COPPER SHIELDED PAIR CABLE, SIZE #16. NO SPLICES ALLOWED.
12. INSTALL SPARK CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 30" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. MINIMUM OF ONE SPARK WIRE PER CONTROLLER.
13. DISCONNECT OF 24 VOLT WIRE IS NOT PERMITTED EXCEPT IN VALVE BOXES. USE WIRE SPLICES WITH JM-D807V-5 SPLICE SEALING DEVICES OF SIZE COMPATIBLE WITH WIRE SIZE. LEAVE A 30" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 6" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAP WIRE TOGETHER EVERY TEN FEET. TAPPS WIRE IS NOT REQUIRED INSIDE BUNDLES.
14. PLASTIC VALVE BOXES ARE TO BE BLACK IN COLOR WITH BOLT DOWN, NON-HINGED COVER MARKED "BERKSHIRE". BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE GARDON INDUSTRIES.
15. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, LAWN, HEADER BOUND, BUILDING OR LANDSCAPE FEATURE. AT MAXIMUM VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, ETC.
16. VALVE LOCATIONS SHOWN ARE DIAGNOSTIC. INSTALL IN GROUND COVER/SHIM AREA WHERE POSSIBLE (NOT IN LAWN AREA).
17. THE REMOTE CONTROL VALVE SPECIFIED ON THE DRAWINGS IS A PRESSURE REDUCING TYPE. SET THE DISCHARGE PRESSURE AS FOLLOWS:
 1. DRIP BUBBLERS - 30 PSI
 2. SUB-SURFACE DRIP EMITTERS - 30 PSI
 3. TREE BUBBLERS - 38 PSI
18. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST PATTERN OF AND TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE BEST OPERATING PRESSURE FOR EACH SYSTEM.
19. LOCATE DRIP EMITTERS ON UP-HILL SIDE OF PLANT.
20. LOCATE BUBBLERS ON UP-HILL SIDE OF TREE.
21. INSTALL A WALCON 6000 SERIES SPRING LOADED CHECK VALVE BELOW THOSE BUBBLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EXCESSION AND/OR EXCESS WATER.
22. WHERE IT IS NECESSARY TO DIGRATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. DIGRATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITH TROD-DY-TRON (24) HOURS AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADDED WITH BURLAP OR CANVAS.
23. IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
24. PRESSURE TEST PROCEDURE. THE CONTRACTOR SHALL:
 - A. NOTIFY ARCHITECT AT LEAST THREE (3) DAY IN ADVANCE OF TESTING.
 - B. PERFORM TESTING AT HIS OWN EXPENSE.
 - C. COVER LEAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. NO FITTINGS SHALL BE COVERED.
 - D. APPLY THE FOLLOWING TESTS AFTER WELD PLASTIC PIPE JOINTS HAVE CURED AT LEAST 24 HOURS.



**IRRIGATION NOTES
PRELIMINARY LANDSCAPE PLAN**

Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California

- IRRIGATION NOTES:
1. IRRIGATION SHALL BE SET TO AVOID RUNOFF BY SPLITTING IRRIGATION INTO A SERIES OF SHORT CYCLES.
 2. THE IRRIGATION PLAN SHALL HAVE A MULTI-PROGRAMMABLE CONTROLLER.
 3. A RAIN SHUT OFF VALVE SHALL BE EMPLOYED TO SHUT OFF THE SYSTEM AFTER SIGNIFICANT PRECIPITATION.
 4. DRIP AND OR BUBBLERS SHALL BE USED IN ALL PLANTED AREAS, SPRAY IRRIGATION SHALL NOT BE USED ON THIS PROJECT.
 5. THE IRRIGATION SYSTEM SHALL USE FLOW REDUCERS TO MITIGATE BROKEN HEADS.
 6. ALL OF THE ABOVE PRACTICES, SHALL BE USED IN THE BUILDING PLAN SUBMITTAL.
 7. THE PLANS SHALL CONFORM TO ALL WELD REQUIREMENTS.



LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: May 7, 2018
Job: 16-133

EXHIBIT *Ap20* **L-5.0**

- The scope of the planting work includes, but is not limited to the following:
 - Ordering and delivery of the plant materials to site.
 - Soil preparation and conditioning.
 - Fine grading of all landscape areas, including supplying and installing amendments or imported topsoil as described on the drawings and as required by the recommendations of the soils testing report.
 - Coordination of additional drainage work as shown on the drawings.
 - Soil Testing by Landscape Contractor.
 - Installation of plant materials.
 - Minimally 90 day maintenance period.
 - Replacement of all unsatisfactory plant materials.
 - Final Approval
 - Warranty

2. The Landscape Contractor shall notify the site contractor and Landscape Architect of any discrepancy between the Drawings and/or Specifications and actual conditions. Specifications shall take precedence. No work shall be done in any area where there is such a discrepancy until the discrepancy has been identified and a written response has been given by the Landscape Architect.

3. All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.

4. Within 30 days after award of contract the Landscape Contractor shall arrange with a nursery to obtain all plant materials noted on the plans and have them available for inspection by the Owner and the Landscape Architect. Upon approval of the plant materials, the contractor shall purchase the material and have it regraded and grown for the job. The deposit necessary for such contract growing (if required) to be born by the Landscape Contractor. If travel is required by the L.A. to inspect plant material, cost of travel shall be at the contractor's expense.

5. The Landscape Contractor shall arrange and pay provide for 2 (two) sustainable agricultural suitability and soil fertility tests to be performed on the rough graded soil. The Landscape Architect shall approve of the soil testing lab in advance. The soil lab shall make recommendations for use of organic and locally available amendments. Locations for soil samples shall be determined by the Landscape Architect. Soil amendments shall be thoroughly and evenly incorporated into the top 12" of all planter and lawn areas. After amendment, the soil shall have an organic content of 5.0% min. The results of these tests shall be reviewed by the Owner, General Contractor and the Landscape Architect for a decision prior to amending the soil. This analysis shall be conducted and paid for by the Landscape Contractor. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price (when necessary). For test purposes include:

- 1 cubic yards of Composted Greenwaste/Thousand Sq. Ft.
- 10 pounds of Soil Sulfur /Thousand Sq. Ft.

6. All trees are to be staked or guyed as shown in the staking/guying diagrams (see Planting Plan sheets). Contractor shall establish one in place example of each for approval by the Landscape Architect. Cut stake height as directed by the Landscape Architect.

7. The Landscape Contractor shall be responsible for providing all plant material indicated on the plans, unless otherwise denoted in writing. Contractor to submit unit quantities and unit costs as a part of the bid. Cost for additional plants requested and approved by Owner and/or Landscape Architect will be based on this bid unit price.

8. Plant locations are diagrammatic and are to be adjusted in the field as necessary to screen utilities but not impede access.

9. The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as he feels necessary while work is in progress. Such changes, with written authorization, are to be accompanied by equitable adjustments in the contract price (when necessary).

10. All ground cover planting areas and plant pits shall be top-dressed with 3" layer of Monterey Dune Natural Mulch, available from WMEarthcare, 1-877-963-2784 or approved equal. Submit sample to Landscape Architect for approval prior to ordering. Material shall not be a redwood product.

11. The planting backfill mix shall consist of 75% (by volume) native topsoil (no rocks larger than 2" diameter) mixed with 25% approved soil amendment.

12. Materials Delivery and Storage: Manufactured materials shall be delivered in original containers with brand and maker's name marked thereon. Materials in broken containers or showing evidence of damage will be rejected and must be immediately removed from the site. Colorous materials shall not be brought to the site until they are to be used.

13. Contractor shall provide dust alleviation and control measures during the course of the work to the Owner's satisfaction at no additional costs to the contract.

14. Plant Material Specifications and Quantities: Plant materials shall be furnished in quantities required to complete the work as indicated on the drawings and shall be of species, kinds, sizes, spacing, etc., specified in the drawings herein.

- Plant material shall conform with American Association of Nurseryman Standards, ANSI Z60.1, in all ways.

B. Nomenclatures: Plant Names listed on drawings conform to Standardized Plant Names established by American Joint Committee on Horticultural Nomenclature, except that for names not covered therein, the established custom of naming plants by the nursery trade shall be followed.

- Right of inspection for approval or rejection is reserved at the place of growth or on the project site at any time upon delivery or during the work. Plants shall be inspected for size, variety, condition, defects, or injury. Notify the Landscape Architect as to place of growth for inspection of plants within one month or award of contract.
- No plant shall be bound with wire or rope at any time so as to damage the bark or break branches.
- Dimensions: If applicable, height and spread of specimen plants are specified on the drawings. Measurements shall be made with materials in normal position without support of branches. Plants specified by container size shall be equal in size to similar plants in local retail nurseries.
- Plants shall not be pruned prior to delivery, except as authorized by the Landscape Architect.

15. Fine Grading and Soil Preparation:

- The current site is at final grade. The contractor shall maintain existing grading and ensure positive drainage away from the building foundation.
- All planting areas shall have a positive runoff at a minimum 2 percent slope without pockets or low spots.
- All planting areas shall be cleaned of weeds and debris prior to any soil preparation or grading work. Noxious weeds and grasses shall be removed by the contractor whenever they are found at any stage of the work. Weeds and debris shall be disposed of off the site. Contractor shall meet with Landscape Architect before removing any existing shrubs and groundcover.
- Soil Compaction: In cement, pack, plaster, herbicide, or other construction debris shall be removed from the site and replaced with soil of an equal cost to the Owner. Replacement soil shall be reviewed by the Landscape Architect prior to placement.
- Moisture Content: Soil shall not be worked when moisture content is so great that excessive compaction will occur nor when it is so dry that there will be dust in the air or that clods will not readily break. Water shall be applied, if necessary, to bring soil to an ideal moisture content for planting.

16. Planting Procedures:

- Do not install plant materials until all exterior construction work has been completed and all irrigation systems have been installed and tested. Planting areas shall have been graded and prepared as specified and shall be approved by the Landscape Architect.
- Insect and Pest Management: An integrated Pest Management program shall be implemented to minimize insect pest and disease damage during construction. Synthetic chemical pesticides are prohibited.
- Install drainage weirs in tree pits which do not drain. Fill tree pits with 18" of water and let settle for 24 hours. Pits with 1/2" or more of standing water shall have an 6" diameter by 36" deep well filled with drain rock (below bottom of plant pit). Cover top of well with a 24" square piece of filter fabric. Install per written authorization by the Owner. Provide a unit price quote per tree in the bid.
- Before excavation, plants in containers shall be placed as indicated on the planting plan bringing any conflict with underground utility lines to the attention of the Landscape Architect.
- Excavate square shaped and vertical sided holes to the sizes and depths indicated on the Drawings. Scarify the sides and bottom of all holes.
- Remove containers, including boxes, prior to backfilling.
- Verify that plants are not root bound or girdled, and that the primary leader is intact.
- Remove any solid rock encountered to a depth of not less than 2 feet below the bottom of plant container. If existing conditions prevent this, bring the condition to the attention of the Landscape Architect for a solution.
- Backfill the planting holes with the special backfill mix herein specified, see Planting Note 11.
- Water-settle backfill areas thoroughly or compact by other approved method after planting so plants do not settle.
- Place "teat" products fertilizer tablets or Agrifilm Plant Tablets in holes, per manufacturer's written recommendations, at the following rates:
 - 1-Gallon Containers: 2 tablets @ 21 grams.
 - 5-Gallon Containers: 4 tablets @ 21 grams.
 Larger sized plants per manufacturer's recommendations.

17. Inspections:

- Notify Owner's Authorized Representative at least seven (7) days in advance of an anticipated inspection. Inspections are as follows:
 - Acceptance of Establishment and Maintenance work.
 - At thirty (30) day intervals through the maintenance period.
 - Completion of the Establishment and Maintenance work - Final walk-through, ten (10) days before the end of the maintenance period.

18. Establishing Maintenance Period:

- A Start of Maintenance - Establishment and Maintenance period shall not start until all elements of the landscape construction, including planting and irrigation for the entire project are complete. Project will not be segmented into maintenance phases, unless specifically authorized in writing by the Owner's Authorized Representative.
- Request an inspection to begin the Establishment and Maintenance period after planting and related work has been completed in accordance with the Contract Documents. All planting shall be complete at the time of inspection. If such criteria is met to the satisfaction of the Owner's Authorized Representative and the Landscape Architect, written notification shall be issued to the Contractor to start the Establishment Maintenance period, noting the effective beginning and ending date of completion.

19. Plant Establishment & Maintenance:

- Protection: Work under this Section shall include complete responsibility for maintaining adequate protection for all areas. Any area damaged by the maintenance crew including paved areas, shall be repaired at no additional expense to the Owner.
- Continuous maintenance in areas included in the Contract from the beginning of the Contract work, during the progress of work, and for a period of 90 days after certified completion of all work until final acceptance of all contract work. Maintenance shall be performed at intervals of not more than ten (10) days.
 - Scope: Continuous maintenance and operations of the irrigation system, cultivating, weeding, thinning, pruning, adjustment of planting depth, fertilizing, spraying, and debris removal and clean-up, insect, pest, fungus, and rodent control, and any other operations are to be included in this scope of work to assure healthy, normal growth.
 - Fertilizing:
 - Fertilize all planting with the following or as noted in the required Horticulture Soils Report. At the end of the first 30 day and at 30 day intervals, apply top dress fertilizer. The fertilizer shall be an organic fertilizer as specified in the soils report. Fertilizer shall be mixed by a commercial fertilizer supplier.
 - After application, water fertilizer thoroughly into the soil.
 - Avoid applying fertilizer to the rootball or base of main stems; rather, spread evenly under the plant drip line.
 - Weed Control: Weeding, Cutbacking, and Cleanup: Planting areas shall be kept neat and free from weeds and debris at all times and shall be manually weeded at not more than 10-day intervals. Said areas shall be mowed free at the end of the Maintenance Period. Apply pre-emergent weed control per city standards, verify compatibility of herbicide with the plant material. Synthetic chemical pre-emergent herbicides are prohibited. Do not use material which inhibits specified plant material's growth.
 - Insect and Pest Management: An integrated Pest Management program shall be implemented to minimize insect pest and disease damage to the plantings. Synthetic chemical pesticides are prohibited.
 - Lawn Maintenance: Maintenance of lawns shall consist of watering, mowing, mowing, treatment of fungus disease and insect pests, repair of erosion, fertilizing and all incidental work necessary to maintain turf satisfactory to the Owner. All areas sodded shall be mowed weekly beginning 14 days after sodding at a height no less than 2". All areas seeded shall be mowed only after lawn reaches 2" in height, lawn shall not be cut lower than 3" at first mowing. After first mowing, lawn shall be mowed weekly at a height of no less than 2".

H. Tree and Shrub Care:

- Maintain large enough basin around plants so hot enough water can be applied to establish moisture throughout the major root zone. When hand water, use a water wand to break the force, maintain mulch at a depth of 3" minimum depth to reduce evaporation and frequency of watering.
- Pruning Trees: Prune trees to develop permanent scaffold branches that are smaller in diameter than the trunk or branch to which they are attached, which have vertical spacing from 18" to 48" and radial orientation so as not to swelter one another, to eliminate diseased or damaged growth; to eliminate narrow V-shaped branch forks that lack strength; to reduce toppling and wind damage by thinning out crowns to maintain growth within space limitation; to maintain a natural appearance; to balance crown with roots.
- Trees shall not be topped and shall be allowed to grow to the full genetic height and habit. Under no circumstances will topping of lower branches (raising-up) of young trees be permitted. Lower branches shall be retained in a "tipped back" or pinched condition with as much foliage as possible to promote callus trunk growth (seal trunk). Lower branches can be cut flush with the trunk only after the tree is able to stand erect without staking or other support. Remove sucker growth if deemed appropriate by the Owner's authorized representative.
- The cut evergreen trees and shape when necessary to prevent wind storm damage. The primary pruning of deciduous trees shall be done during the dormant season. Prune damaged trees or those that constitute health or safety hazards at anytime of the year as required to eliminate unsafe conditions.
- Trimming Shrubs: The objective of shrub pruning is the same as for trees. Do not clip shrubs into barked or boxed forms unless such is required by the design and directed by the landscape architect. Make pruning cuts at lateral branches or buds or flush with the trunk. "Stubbing" will not be permitted.
- Staking and Guying: Remove stakes and guys as soon as they are no longer needed. Periodically inspect stakes to prevent girdling or rubbing that causes bark wounds. Replace broken stakes and ties with specified materials. All stakes shall be removed at one year after completed installation, if not sooner.

I. Replacement: The contractor shall replace any plant materials that die or are damaged. Replacement shall occur within seven (7) days of plant die or damage. Replacements shall be made to the same Specifications as required for original plantings.

- At the termination of the Maintenance Period, all plant materials shall be alive, healthy, undamaged, free from infestations, and in flourishing condition. Plantings that do not conform to Specifications shall be replaced and brought to a satisfactory condition before final acceptance of the work can be made.

20. Following the 90 day Maintenance Period, there will be a final inspection by the Owner, Landscape Architect, and the City Representative. Items noted during the final inspection as not in accordance with the maintenance requirements shall be corrected by the Contractor prior to Final Acceptance of the landscape work. The 1 year warranty period shall begin with the Final Acceptance and the Owner's acceptance of the project. A letter documenting Final Acceptance, signed by the Owner's Authorized Representative, the Contractor and the Landscape Architect shall be issued, with the starting date and the completion date of the warranty period.

21. Warranty:

- Trees, shrubs, groundcovers and other plant materials shall be guaranteed to take root, grow and thrive for a period of one year after acceptance of the Work by the Owner. Plant materials which do not thrive as the direct result of the installation process or maintenance practices during the maintenance period of the installing contractor shall be replaced by the installing contractor. This shall be as determined by the Owner.
- Plant materials which fail as the result of poor maintenance practices after acceptance of the landscape by the Owner (at the end of the maintenance period) shall be the responsibility of the Owner's maintenance contractor.
- Trees or other plant materials that die back and lose the form and size originally specified shall be replaced, even though they have taken root and are growing after the die-back.
- Within fifteen days of written notification by the Owner, remove and replace warranted plant materials which, for any reason, fail to meet requirements of Warranty. Replacements shall be made to the same Specifications required for original materials and shall carry the same Warranty from the time they are replaced.

22. The intent of the layout design and planting is to establish a high quality landscape installation. Future plant growth should require minimum trimming, thinning and pruning of the plant materials. Plant spacing is designed to allow for natural full growth and should not need the removal of some plant materials if over crowding occurs. The planting installations will require maintenance and management, by knowledgeable and trained personnel, to assure a quality project.

23. Water Efficient Ordinance / AS 1861 Requirements:

- This project requires compliance with AS 1861, Model Water Efficient Landscape Ordinance. The Maintenance contractor shall provide the following:
 - Irrigation schedule based on ET weather-based data and information on the drawings;
 - A regular landscape maintenance schedule;
 - An irrigation audit report of the newly installed irrigation system;
 - Copy of the horticultural soils report per the Planting Note 5, this sheet.
- Penalties by a governing agency for non-compliance and over-water use during the landscape maintenance period shall be the responsibility of the maintenance contractor.
- See the Irrigation Notes on sheet L-.

24. Irrigation System:

- The Landscape Contractor shall arrange a meeting with the manufacturer's representative of the irrigation controller to train the maintenance personnel on the controller's proper use. Controller charts and as-builts of the planting and irrigation plans shall be given to the Owner at the end of the maintenance period.
- Set and program automatic controllers per irrigation schedule. Give the Owner's authorized representative, keys to each controller and written instructions on how to turn the system off in case of emergency.
- Check system weekly for proper operation and coverage. Lateral lines shall be flushed out after removing the bubbler or two at the end of the lateral.
- Repair damages to irrigation system at Contractor's expense. Make repairs within one watering period.

25. Drainage System:

- All drains in landscape areas, subsurface drain lines and grates shall be kept free and clear of leaves, litter and debris to ensure proper and free flow of water.
- Drain lines shall be periodically flushed with clean water to avoid build up of silt and debris.
- Ensure that at the end of Maintenance period, drainage system is clean and free of debris and silt build up.

26. Debris Removal:

- Remove trash in the landscape areas and debris generated by landscape maintenance operations and legally dispose of offsite.

EXHIBIT *AP 22*

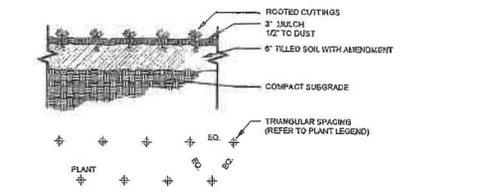
PLANTING NOTES
PRELIMINARY LANDSCAPE PLAN

Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California

LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
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L-6.0

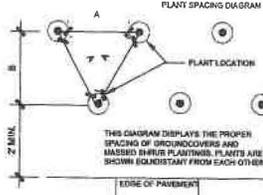


1 GROUNDCOVER PLANTING

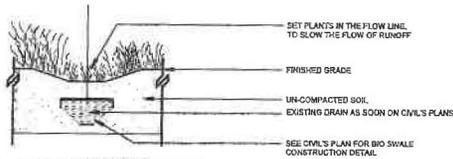
PLANT QUANTITY CHART

A	B	# PLANTS / S.F.
6" O.C.	5.30'	4.80
8" O.C.	6.80'	3.60
10" O.C.	7.70'	3.18
12" O.C.	10.40'	2.34
14" O.C.	13.00'	1.81
16" O.C.	15.00'	1.33
18" O.C.	18.00'	0.81
20" O.C.	20.00'	0.70
24" O.C.	24.00'	0.50
30" O.C.	30.00'	0.33
36" O.C.	36.00'	0.28
42" O.C.	42.00'	0.24
48" O.C.	48.00'	0.20

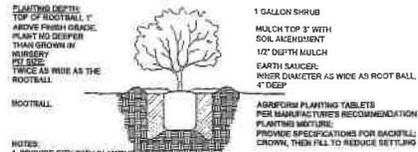
SEE GROUNDCOVER PLANT LIST FOR SPACING OF MASS PLANTS. THIS DIAGRAM IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ASSURING PROPER COVERAGE AND PLANT COUNTS BASED ON SPECIFIED SPACING.



2 PLANT SPACING
N.T.S.



3 SWALE PLANTING DETAIL
N.T.S.

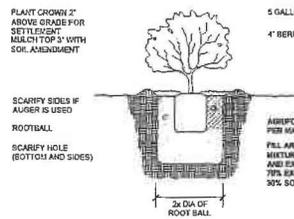


PLANTING DETAILS
TOP OF ROOTBALL 1" ABOVE FINISH GRADE. PLANTING DEPTH SHALL BE DEEPER THAN GROWN IN NURSERY. FIT SIZE THREE AS WIDE AS THE ROOTBALL.

1 GALLON SHRUB
MULCH TOP 3" WITH SOIL AMENDMENT
1/2" DEPTH MULCH
EARTH SAUCER: MINOR DIAMETER AS WIDE AS ROOT BALL, 4" DEEP

AGRIFORM PLANTING TABLETS PER MANUFACTURER'S RECOMMENDATION
PLANTING MIXTURE:
PROVIDE SPECIFICATIONS FOR BAGS/FILL, CROWN, THEN FILL TO REDUCE SETTLING

NOTES:
1. PROVIDE CITY WITH PLANTING MIXTURE SPECIFICATIONS
2. PLANTER AREA SHALL HAVE PRE-EMERGENT HERBICIDE APPLIED BEFORE PLANTING TO PREVENT GERMINATION OF WEED SEEDS.



PLANT CROWN 2" ABOVE GRADE FOR SETTLING
MULCH TOP 3" WITH SOIL AMENDMENT

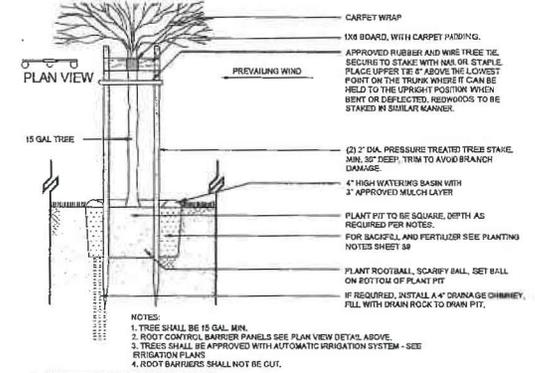
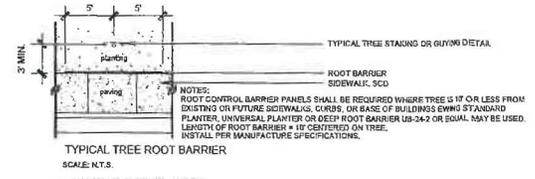
5 GALLON SHRUB
4" BERM

AGRIFORM PLANTING TABLETS PER MANUFACTURER'S RECOMMENDATION
PLANTING MIXTURE:
FILL AROUND ROOT BALL WITH A MIXTURE OF SOIL AMENDMENT AND EXCAVATED SOIL. MIXTURE: 70% EXCAVATED SOIL, 30% SOIL AMENDMENT

SCARIFY SIDES IF ALUMINUM IS USED
ROOTBALL
SCARIFY HOLE (BOTTOM AND SIDES)

2x DIA OF ROOT BALL

4 SHRUB PLANTING DETAILS



6 TREE STAKING DETAIL
N.T.S.

Agriform Planting Tablets

Agriform® 20-10-5 Planting Tablets Plus Minors
SUGGESTED APPLICATION RATES

Planting Method	Application Rate (lb/100 sq ft)
Hand Planted	1.0
Machine Planted	0.5
Broadcast	0.25
Top Dressing	0.1

AGRIFORM PLANTING TABLETS

Agriform® 20-10-5 Planting Tablets Plus Minors
Top 100 Planting Tablets for Root Zone Feeding of Grass, Shrubs and General Green

NEW LANDSCAPE PLANTING SUBSTITUTIONS:

- Do not place with other soil amendments or fertilizers.
- Do not place in areas where plants are not to be planted.
- Do not place in areas where plants are not to be planted.
- Do not place in areas where plants are not to be planted.

INDOOR/OUTDOOR CONSIDERATIONS:

- Place in areas where plants are not to be planted.
- Do not place in areas where plants are not to be planted.
- Do not place in areas where plants are not to be planted.

INSTALLATION INSTRUCTIONS:

- Place in areas where plants are not to be planted.
- Do not place in areas where plants are not to be planted.
- Do not place in areas where plants are not to be planted.

5 FERTILIZER

EXHIBIT A-24

PLANTING DETAILS
PRELIMINARY LANDSCAPE PLAN

Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California

LEVESQUE DESIGN
Date: May 7, 2018
Job: 16-133
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

L-6.2

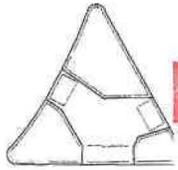
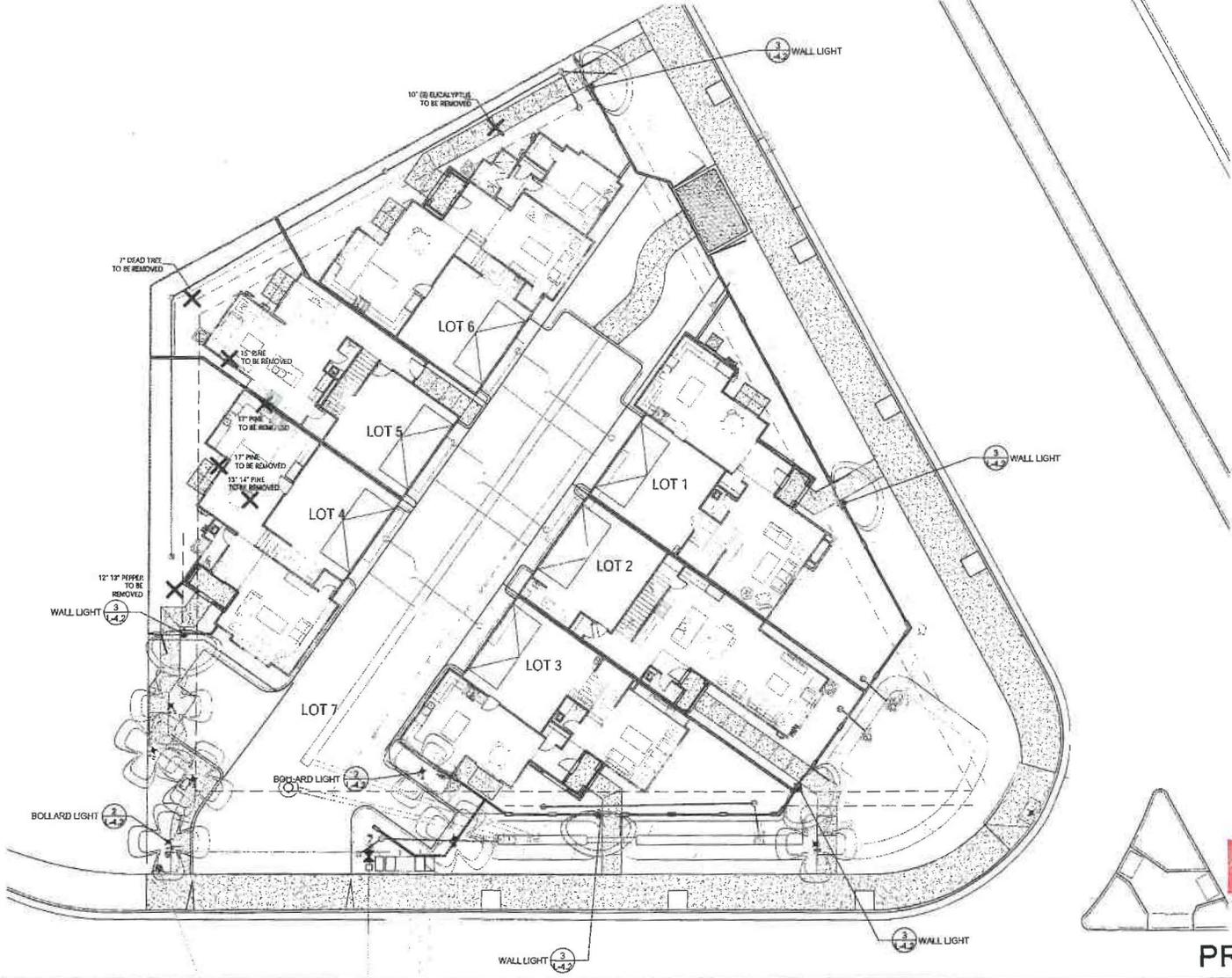
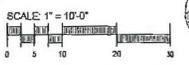


EXHIBIT *Ap25*



**LIGHTING PLAN
PRELIMINARY LANDSCAPE PLAN**

Mayhew's Landing Townhomes
36589 Newark Boulevard
Newark, California

- LIGHTING NOTES:**
1. ALL LANDSCAPE LIGHTING SHALL BE DARK SKY COMPLIANT.
 2. ALL LANDSCAPE LIGHTING SHALL BE PROPERLY SHIELDED TO REDUCE OFF-SITE GLARE.
 3. SEE ARCHITECT'S PLANS FOR ADDITIONAL ARCHITECTURAL LIGHTING.
 4. PRIVATE LOT LANDSCAPE LIGHTING BY FUTURE HOMEOWNERS.



LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: May 7, 2018
Job: 16-133

L-7.1

LEGEND

- LOT BOUNDARY
- RIGHT-OF-WAY CENTERLINE
- ADJACENT PROPERTY LINE
- NEW BUILDING
- EX. BUILDING
- EX. ASPHALT
- NEW ASPHALT
- NEW CONCRETE
- NEW PAVERS
- BIG RETENTION AREA
- EX 14.00' EASEMENT FOR STORM AND SANITARY SEWER (7.25' SEE C.R. 283)
- 22.0 x 5.0 FINISHED SPOT GRADE
- FINISHED GRADE SLOPE
- DIRECTION OF DRAINAGE FLOW
- EX. TREE
- STORM DRAIN LINE
- KEYSTONE RETAINING WALL OR APPROVED EQUAL

ABBREVIATIONS

- AB - AGGREGATE BASE
- AC - ACRE
- AD - AREA DRAIN
- BW - BOTTOM OF WALL
- CB - CATCH BASIN
- CONC - CONCRETE
- DET - DETAIL
- DU - DWELLING UNITS
- EVAE - EMERGENCY VEHICLE ACCESS EASEMENT
- EX - EXISTING
- FF - FINISH FLOOR
- FG - FINISH GRADE
- FL - FLOW LINE ELEVATION
- G - GRATE ELEVATION
- GTF - GARAGE FLOOR
- GL - GARAGE LIP ELEVATION
- HP - HIGH POINT
- LF - LINEAR FEET
- P - PAD
- P - PROPERTY LINE
- PUE - PUBLIC UTILITY EASEMENT
- PVC - POLYETHYLENE CHLORIDE
- PVAW - PRIVATE VEHICLE ACCESS WAY
- R/W - RIGHT OF WAY
- SD - STORM DRAIN
- SDHW - SIDEWALK
- SF - SQUARE FEET
- SSCO - SEWER CLEANOUT
- STD - STANDARD
- STC - STORM DRAIN EASEMENT
- STC - SELF TREATED AREA
- TC - TOP OF CURB
- TSK - TOP OF SOIL LAYER
- TW - TOP OF WALL
- TYP - TYPICAL

ADDRESS ASSIGNMENT

LOT NO.	ADDRESS
1	6035 MAYHEWS LANDING ROAD
2	6019 MAYHEWS LANDING ROAD
3	6003 MAYHEWS LANDING ROAD
4	6075 MAYHEWS LANDING ROAD
5	6061 MAYHEWS LANDING ROAD
6	6047 MAYHEWS LANDING ROAD

OWNER / DEVELOPER

MAYHEWS PLACE, LLC
3189 DANVILLE BLVD., SUITE 245
ALAMO, CA 94507
925-946-1820

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
(925) 476-8499

ARCHITECT

HUNT HALE JONES
444 SPEAR STREET, SUITE 103
SAN FRANCISCO, CA 94105
(415) 512-1300

LANDSCAPE ARCHITECT

KEVIN LEVESQUE
LEVESQUE DESIGN
1414 BAY STREET
ALAMEDA, CA, 94501
510-571-6700

BASIS OF ELEVATIONS

CITY OF NEWARK BENCHMARK: 438
A CHISELED SQUARE AT THE
NORTHWEST CORNER AT THE CORNER
OF NEWARK BLVD & MAYHEWS
LANDING RD.
ELEVATION = 26.879'
(CITY OF NEWARK DATUM)

BASIS OF BEARINGS

THE ALIGNMENT LINE OF NEWARK BOULEVARD
AS IT BEARS NORTH 23°50'00" WEST AS
SHOWN ON THE MAP OF TRACT 2359
RECORDED IN BOOK 45 OF MAPS AT PAGE
100 WAS TAKEN AS THE BASIS OF BEARING
SHOWN HEREON.

TENTATIVE TRACT MAP 8409

MAYHEWS PLACE

6-LOT RESIDENTIAL TOWNHOUSE PROJECT

A 6 LOT RESIDENTIAL TOWNHOUSE PROJECT BEING AN 8 LOT SUBDIVISION OF ALL OF THAT
PARCEL OF LAND DESCRIBED IN THE DEED RECORDED SEPT. 6, 2016 RECORDER'S SERIES NO.
2016226248 ALAMEDA COUNTY RECORDS
CITY OF NEWARK, CALIFORNIA



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET No.	DESCRIPTION
CI	TITLE SHEET & SITE PLAN
CS	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
CD	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
CE	PRELIMINARY C.3 STORM WATER CONTROL PLAN

NOTES

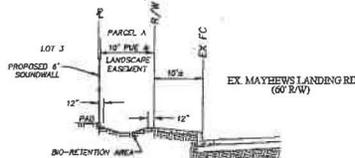
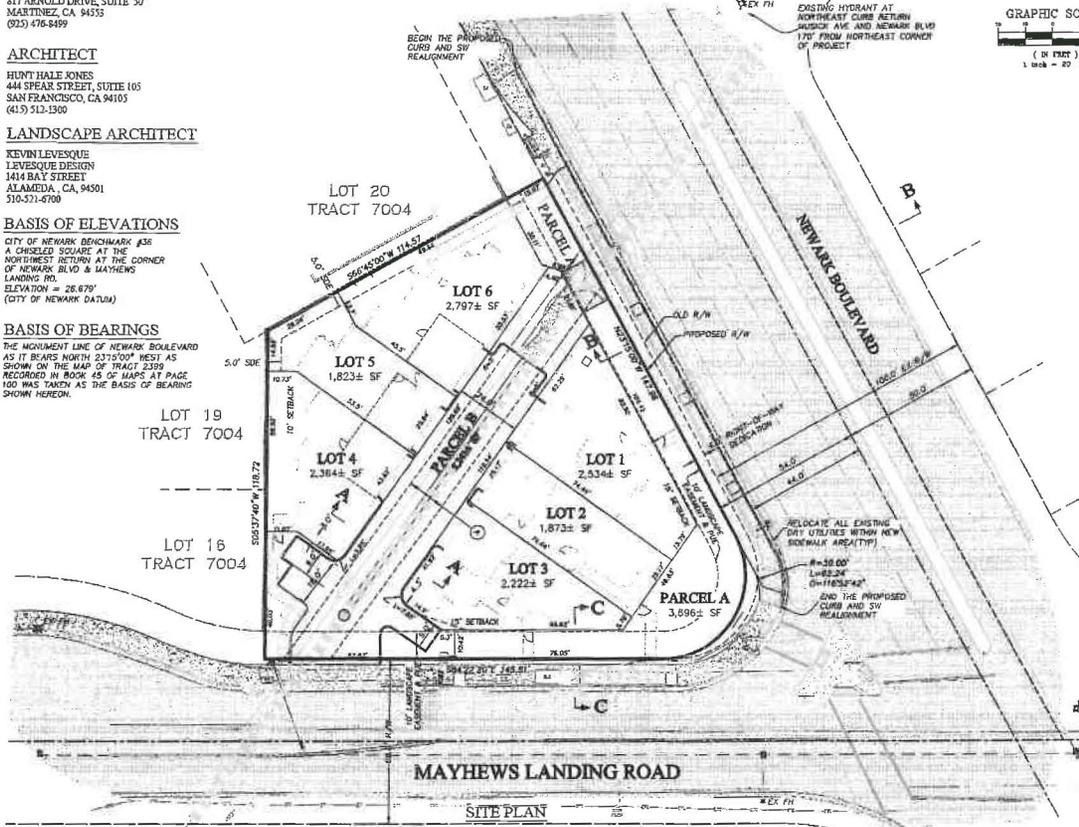
- NO PUBLIC AREAS ARE PROPOSED.
- NO NEW STREET NAMES ARE PROPOSED.

GENERAL

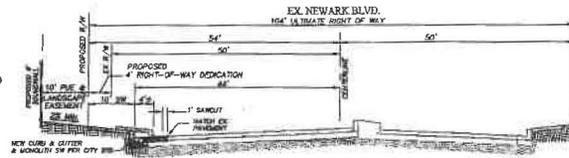
ASSESSORS PARCEL NO: 092A-0623-043
PROJECT ADDRESS: 36509 NEWARK BOULEVARD
NEWARK, CA 94588
TOTAL GROSS AREA: 22,448 SF
TOTAL NET AREA: 17,321 SF
EXISTING ZONING: RM-MEDIUM DENSITY RESIDENTIAL
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
EXISTING USE: VACANT
PROPOSED USE: 6 LOTS - MULTI-FAMILY RESIDENTIAL
PROPOSED DENSITY: 12 DU/AC
FEMA FLOOD DESIGNATION: ZONE "X" UNSHADED
EXISTING TOPOGRAPHY DATE: 02-14-2014 BY LEA & BRAZE ENGINEERING
MAXIMUM BUILDING HEIGHT: 28'
FIRE PROTECTION DISTRICT: ALAMEDA COUNTY FIRE PROTECTION DIST

FACILITIES

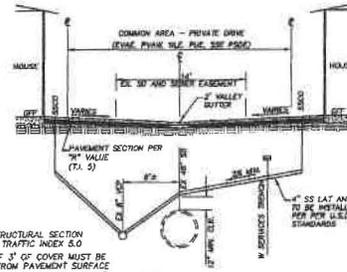
WATER: ALAMEDA COUNTY WATER DISTRICT
SEWER: UNION SANITARY DISTRICT
STORM DRAIN: CITY OF NEWARK & ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
GARBAGE: REPUBLIC SERVICES



SECTION C-C
NOT TO SCALE



SECTION B-B
NOT TO SCALE



SECTION A-A
NOT TO SCALE

- NOTES:
- PAVEMENT STRUCTURAL SECTION BASED ON A TRAFFIC INDEX 6.0
 - A MINIMUM OF 3" OF COVER MUST BE MAINTAINED FROM PAVEMENT SURFACE TO ANY UTILITIES GREATER THAN 2.5'



817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph. (925) 476-8499
www.apexcc.com



NO.	REVISIONS	DATE

TENTATIVE MAP
TITLE SHEET & SITE PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SECRET
CI
DATE
05-03-2018
PROJECT NO. 18112

EXHIBIT A206

1652 NEWARK BLVD ~ TENTATIVE MAP ~ 05-03-2018

TENTATIVE TRACT MAP 8409 MAYHEWS PLACE EXISTING CONDITION / DEMOLITION PLAN 6-LOT RESIDENTIAL TOWNHOUSE PROJECT

A 6 LOT RESIDENTIAL TOWNHOUSE PROJECT BEING AN 8 LOT SUBDIVISION OF ALL OF THAT PARCEL OF LAND DESCRIBED IN THE DEED RECORDED SEPT. 6, 2016 RECORDERS SERIES NO. 2016226248 ALAMEDA COUNTY RECORDS
CITY OF NEWARK, CALIFORNIA
CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA

BASIS OF BEARINGS

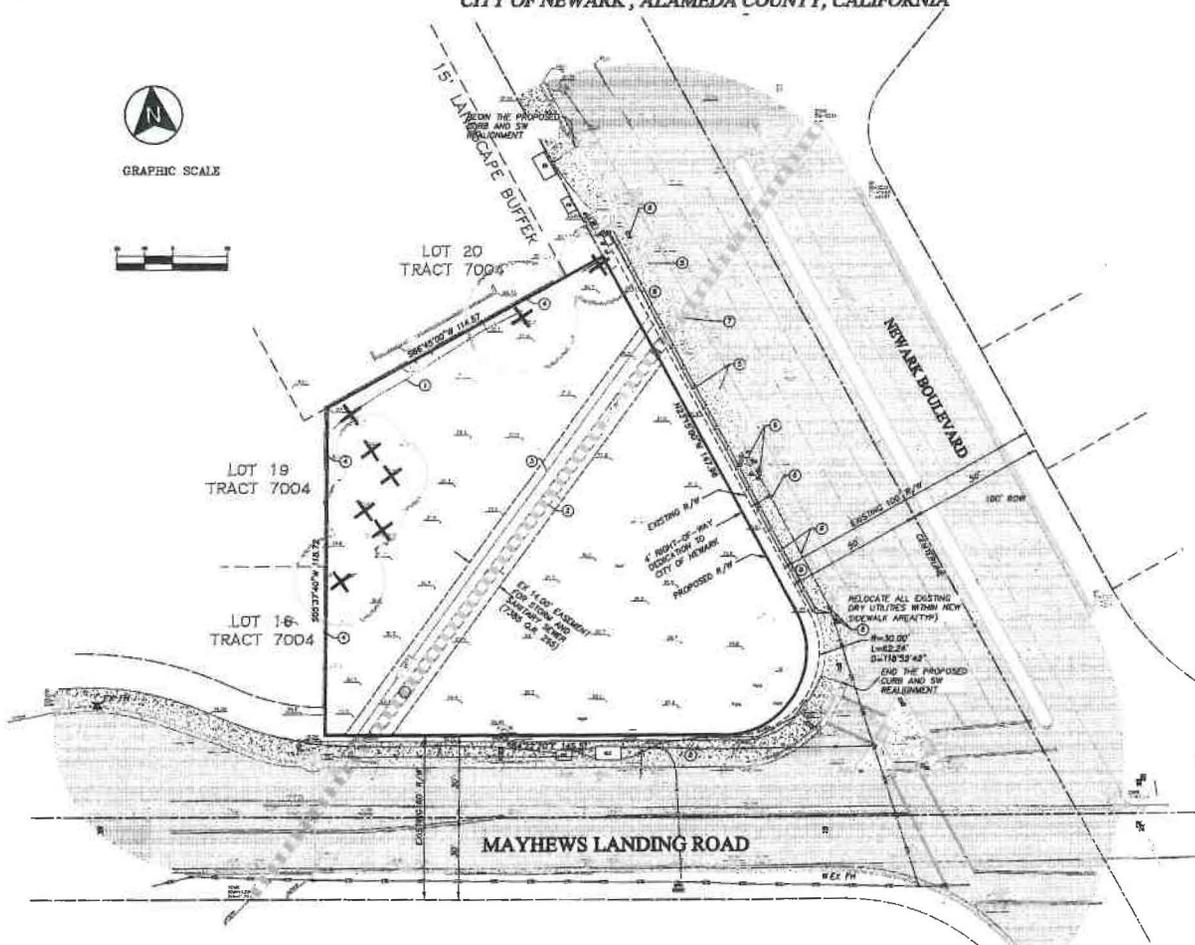
THE MONUMENT LINE OF NEWARK BOULEVARD AS IT BEARS NORTH 23°15'00" WEST AS SHOWN ON THE MAP OF TRACT 2309 RECORDED IN BOOK 45 OF MAPS AT PAGE 100 WAS TAKEN AS THE BASIS OF BEARING SHOWN HEREON.

BASIS OF ELEVATIONS

CITY OF NEWARK BENCHMARK #36 A CHISELED SQUARE AT THE NORTHWEST CORNER AT THE CORNER OF NEWARK BLVD & MAYHEWS LANDING RD.
ELEVATION = 25.673'
(CITY OF NEWARK DATUM)



GRAPHIC SCALE



DEMOLITION KEY LEGEND

- ① EXISTING CHAINLINK FENCE TO BE REMOVED
- ② EXISTING 48" SD AT S=0.0004
- ③ EXISTING 8" VCP SEWER PIPE AT S=0.0023
- ④ EXISTING SOUNDWALL TO BE REMAIN
- ⑤ EXISTING CURB, CUTTER AND SIDEWALK TO BE REMOVED AND REALIGNED ALONG FRONTAGE OF NEWARK BLVD.
- ⑥ EXISTING POWER POLES TO BE REMOVED (2 TOTAL) / UTILITY BOXES TO BE UNDERGROUND, OVERHEAD UTILITY LINES ACROSS MAYHEWS LANDING ROAD AND NEWARK BOULEVARD TO BE UNDERGROUND.
- ⑦ EXISTING CR TO BE RELOCATED TO NEW CURB ALIGNMENT.
- ⑧ EXISTING DRIVEWAY TO BE REMOVED.

LEGEND

- ⊗ TREE TO BE REMOVED



817 Arnold Drive, Ste. 50
Berkeley, CA 94705
Tel: 925-835-1100
www.apex-eng.com



NO.	DATE	BY	APP	DESCRIPTION

TENTATIVE MAP
TOPOGRAPHIC SURVEY & DEMOLITION PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET

3

DATE

05-03-2018

PROJECT NO. 18258

EXHIBIT Apr 27

TENTATIVE TRACT MAP 8409 MAYHEWS PLACE PRELIMINARY C.3 STORM WATER CONTROL PLAN 6-LOT RESIDENTIAL TOWNHOUSE PROJECT CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA



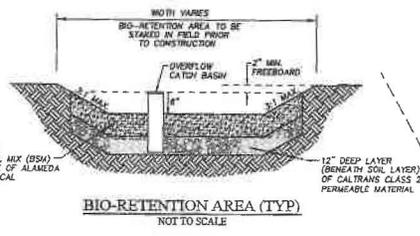
817 Arnold Drive, Ste. 50
Newark, CA 94558
Ph: 925-776-8099
www.apexinc.com



DATE	BY	APP	DATE

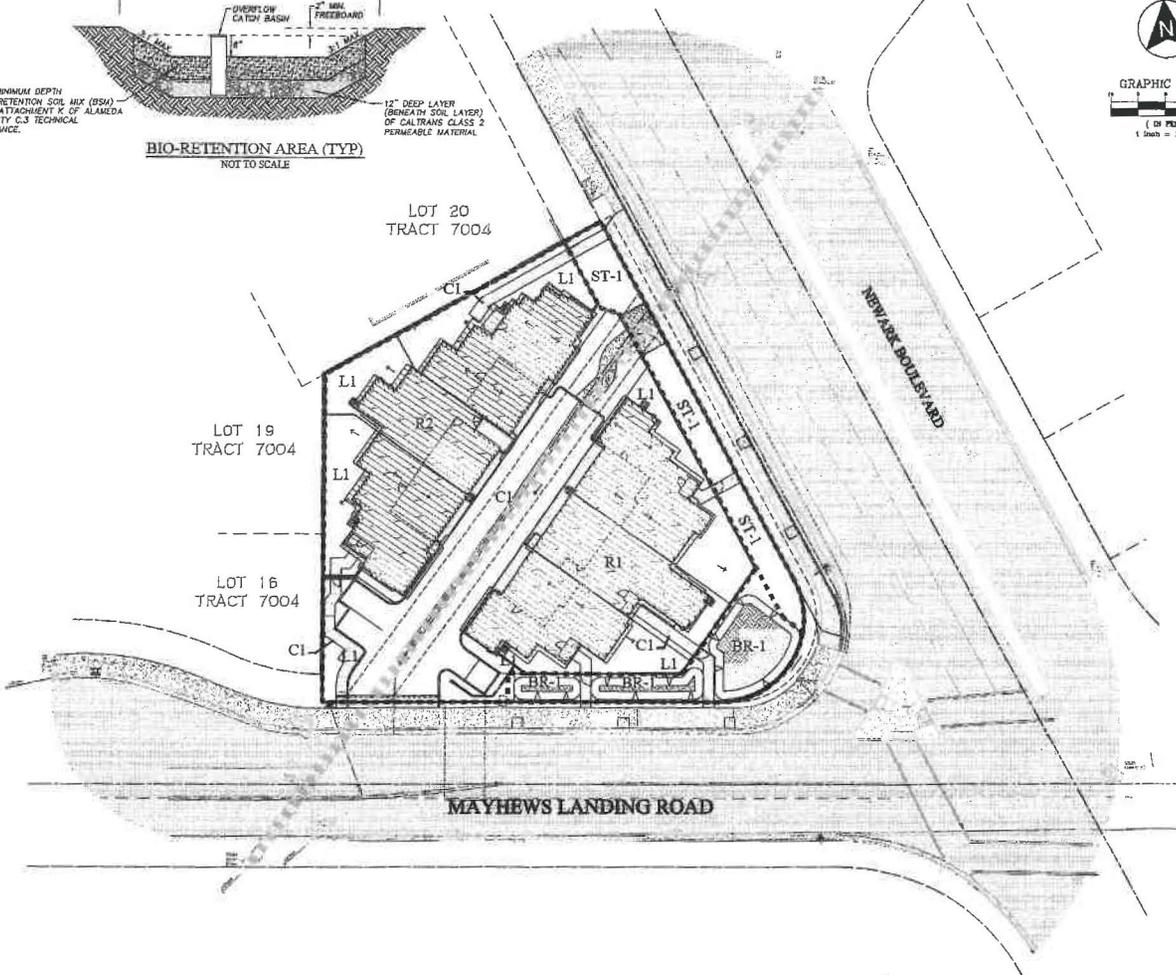
TENTATIVE MAP
PRELIMINARY C.3 STORM WATER CONTROL PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET
C4
DATE
05-03-2018
PROJECT # 10123



16" MINIMUM DEPTH
BIO-RETENTION SOIL MIX (BSM)
PER ATTACHMENT K OF ALAMEDA
COUNTY C.3 TECHNICAL
GUIDANCE.

12" DEEP LAYER
(BENEATH SOIL LAYER)
OF CALTRANS CLASS 2
PERMEABLE MATERIAL



C.3 STORM WATER CONTROL LEGEND

DRAINAGE MANAGEMENT AREAS (DMA):

SELF TREATED AREA (PERVIOUS SURFACE)	ST
LANDSCAPE AREA (PERVIOUS SURFACE)	L
NEW CONCRETE (IMPERVIOUS SURFACE)	C
ROOFTOP (IMPERVIOUS SURFACE)	R
BIO-RETENTION AREA	BR-1

BMP TRIBUTARY BOUNDARY:

PROJECT DATA FORM

PROJECT PARAMETERS	NEWARK BLVD
PROJECT LOCATION	36249 HOWARD BLVD, NEWARK, CA
NAME OF DEVELOPER	MAYHEWS PLACE LLC
PROJECT TYPE/LAND DESCRIPTION	6 LOTS (RESIDENTIAL TOWNHOUSES)
PROJECT DESCRIPTION	NEWARK BLVD SIDE WALKWAY
TOTAL PROJECT SITE AREA (ACRES)	0.52 ACRES (22,449 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	14,172 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	0 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	0 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	14,172 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. INTERGRADE RUNWAY TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CURBS/IS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTIONS FACILITY OR PLANTER BOX

BIO-RETENTION AREA SUMMARY

DMA AREA NAME	DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	DMA SIZING FACTOR	MINIMUM AREA (SF)	REQUIRED DMA AREA (SF)	PROPOSED DMA AREA (SF)
BR-1	C1	4,452	1.0	4,452	0.04	178	590	654
	R1	4,879	1.0	4,879	0.04	195		
	L1	5,863	0.1	586	0.04	23		
	R2	4,841	1.0	4,841	0.04	194		
ST-1 = 1,760 SF								

AREA BREAKDOWN

PERVIOUS	
LANDSCAPING	5,863 SF
BIO-RETENTION AREA:	654 SF
TOTAL:	6,517 SF
IMPERVIOUS	
CONCRETE	4,452 SF
ROOF:	9,720 SF
TOTAL:	14,172 SF

EXHIBIT A-29

ILLINGWORTH & RODKIN, INC.
Acoustics • Air Quality

1 Willowbrook Court, Suite 120
Petaluma, CA 94954

Memo

Date: January 18, 2018
To: Carmela Gonzales Pena
David Langon Construction, Inc.
From: Michael Thill
Illingworth & Rodkin, Inc.
SUBJECT: 36589 Newark Boulevard Residential Project, Newark, CA –
Response to City of Newark Comment on Noise Assessment
(IR Job # 16-205)

This memo has been prepared at your request to address Planning Division Comment #10 related to our environmental noise assessment dated May 5, 2017. The City of Newark's comment was as follows:

10. Revise the sound and vibration study to evaluate the recommended height of a sound wall along Newark Boulevard property line. A minimum 8-foot high block wall is to be installed along the property line. This height adjustment could potentially allow the outdoor noise level to meet our standards. Request Illingworth & Rodkin, Inc. to provide an official letter with the noise level outcome with the wall height increased to 8-feet.

The project currently proposes 8-foot noise barriers to shield residential outdoor activity areas from traffic noise. The TNM model created during the initial noise assessment was revised to reflect the change in the barrier design including increased height and the elimination of the open metal fencing elements except for the access gates. The model input was based on the Tentative Map Preliminary Grading, Drainage, & Utility Plan (Sheet C3) dated September 26, 2017 and Construction Details, Preliminary Landscape Plan (Sheet L-4.3) dated December 13, 2017. Similar to the prior analysis, it was assumed that the future noise environment would increase by 3 dBA L_{dn} because of anticipated future growth, as documented in the General Plan Tune Up Draft Program EIR¹. In addition to the 8-foot noise barrier scenario requested by the City of Newark, additional modeling runs were completed to calculate noise levels with 6-foot and 7-foot noise barriers in order to inform the decision-making process. The results of the traffic noise modeling conducted for this project are discussed below and are summarized in Table 1. This table identifies the noise modeling receptor and summarizes future noise levels resulting from the ultimate build-out traffic condition.

¹ General Plan Tune Up Draft Program EIR for the City of Newark, August 13, 2013.

TABLE 1 Traffic Noise Modeling Results, dBA L_{dn}

Receptor	Normally Acceptable Noise Level	Future Noise Level with 6 ft. Noise Barrier	Future Noise Level with 7 ft. Noise Barrier	Future Noise Level with 8 ft. Noise Barrier (Proposed)
Unit 1	65	65	63	62
Unit 2	65	64	62	61
Unit 3	65	63	62	61
Unit 4	65	59	58	58
Unit 5	65	56	56	56
Unit 6	65	60	60	60

The changes made in the barrier design, particularly the elimination of the open metal fencing elements (with the exception of the access gates) has improved the overall noise reduction provided by the noise barrier. As shown in Table 1, minimum 6-foot noise barriers would be required to just meet the 65 dBA L_{dn} “normally acceptable” noise level threshold at outdoor activity areas throughout the site. With 6-foot noise barriers, exterior noise levels would range from 56 to 65 dBA L_{dn}. Minimum 7-foot noise barriers would reduce exterior noise levels to range from 56 to 63 dBA L_{dn}, and minimum 8-foot noise barriers would further reduce exterior noise levels to range from 56 to 62 dBA L_{dn}. The City of Newark’s “normally acceptable” noise level threshold would be achieved at outdoor activity areas of Units 1-6 with noise barriers 6-feet in height or greater under the current design scenario.

ILLINGWORTH & RODKIN, INC.
Acoustics • Air Quality

1 Willowbrook Court, Suite 120
Petaluma, California 94954

Tel: 707-794-0400
www.Illingworthrodkin.com

Fax: 707-794-0405
illro@illingworthrodkin.com

May 5, 2017

David Langdon
David Langdon Construction, Inc.
3189 Danville Boulevard, Suite 245
Alamo, CA 94507

VIA E-MAIL: david@langonconstruction.com

SUBJECT: **36589 Newark Boulevard Residential Project, Newark, CA –
Environmental Noise Assessment (I&R Job No. 16-205)**

Dear David:

This letter presents the results of Illingworth & Rodkin Inc.'s (I&R) noise assessment of the six-unit townhome project proposed northwest of the Newark Boulevard/Mayhews Landing Road intersection in Newark, California. This analysis addresses environmental noise attenuation at exterior use areas and within residential interiors in order to meet City noise standards.

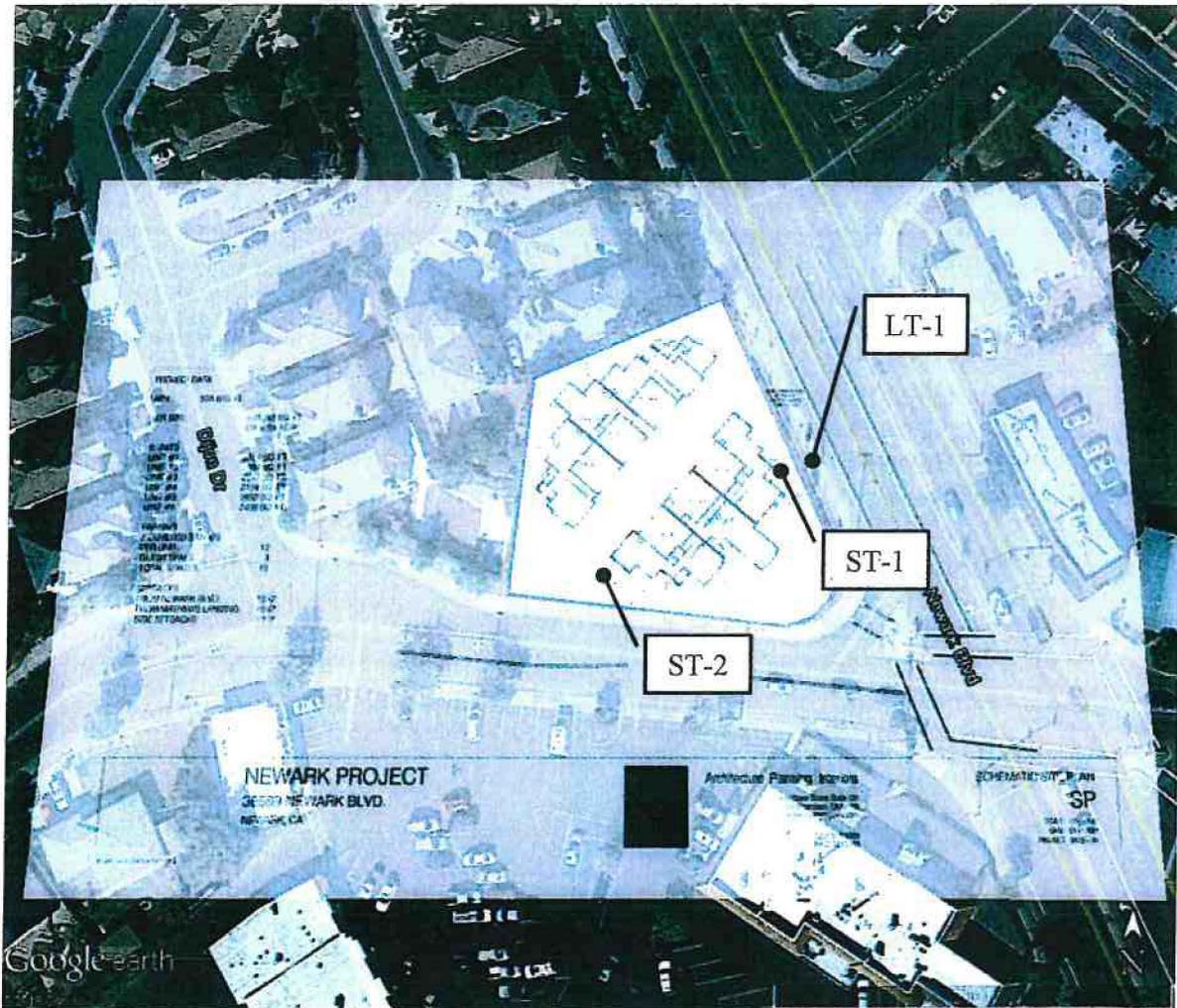
REGULATORY CRITERIA

The City of Newark General Plan considers multi-family residential land uses “normally acceptable” in noise environments of 65 dBA L_{dn} or less. The maximum allowable interior noise level, attributable to exterior noise sources, is 45 dBA L_{dn} for multi-family residential land uses. Where the exterior or interior noise levels would exceed the normally acceptable level, noise control measures are required to achieve noise limits.

EXISTING NOISE EXPOSURE OF PROJECT SITE

The project site is located at the northwest corner of Newark Boulevard and Mayhews Landing Road. A noise monitoring survey was performed at the site between Thursday, September 22, 2016 and Friday, September 23, 2016. The noise monitoring survey included one long-term (LT) and two short-term (ST) noise measurements, which are shown in Figure 1. The noise environment at the site results primarily from vehicular traffic.

FIGURE 1 Noise Measurement Locations



Long-term noise measurement LT-1 was made along the easternmost portion of the project site, approximately 50 feet from the centerline of Newark Boulevard. Hourly average noise levels at this location typically ranged from 64 to 75 dBA L_{eq} during the day, and from 55 to 66 dBA L_{eq} at night. The day-night average noise level measured at LT-1 was 70 dBA L_{dn} . The daily trend in noise levels measured at LT-1 is shown in Figure 2.

Short-term noise measurements, ST-1 and ST-2, were conducted on Thursday, September 22, 2016. As shown in Figure 1, ST-1 was made approximately 80 feet from the center of Newark Boulevard and west of LT-1. The ten-minute average noise level measured at ST-1 was 61 dBA $L_{eq(10-min)}$. ST-2 was made approximately 55 feet from the center line of Mayhews Landing Road. The ten-minute average noise level measured at ST-2 was 59 dBA $L_{eq(10-min)}$. Short-term measurements from ST-1 and ST-2 are summarized in Table 1.

FIGURE 2 Noise Levels at Site LT-1

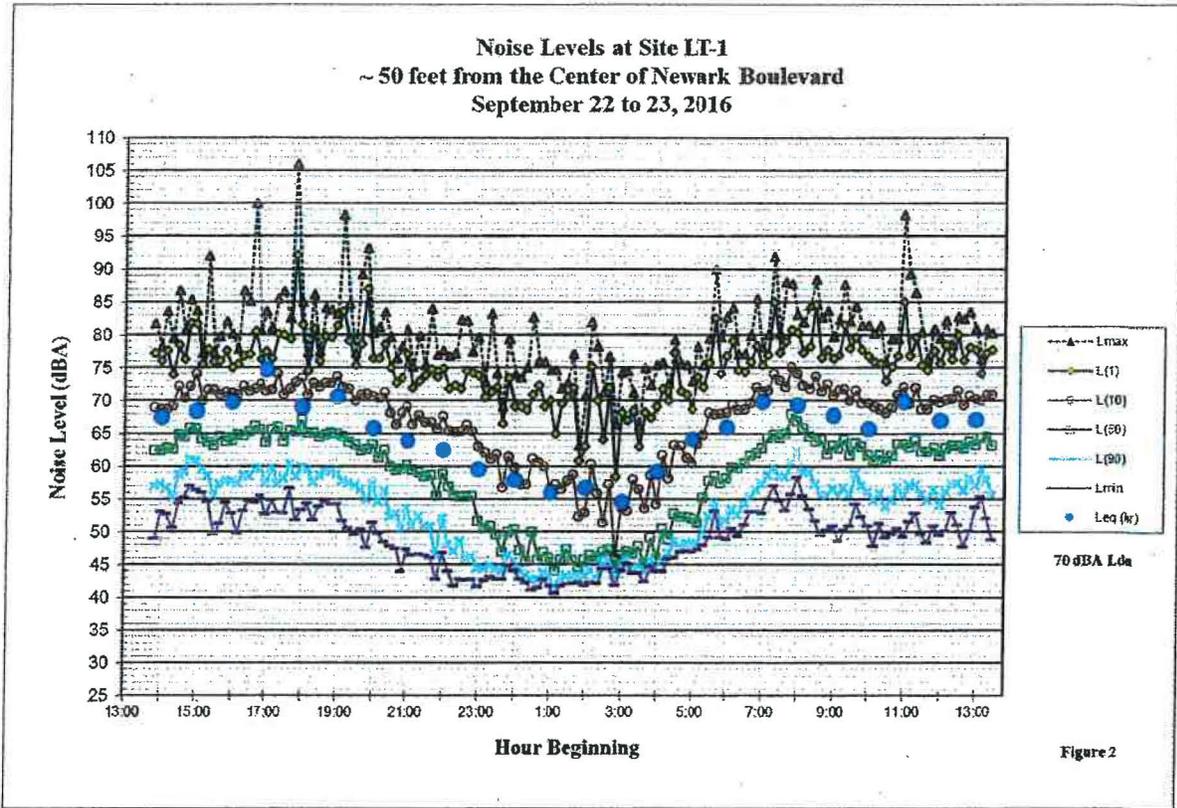


TABLE 1 Summary of Short-Term Noise Measurements (dBA)

Noise Measurement Location (Date, Time)	L_{max}	$L_{(1)}$	$L_{(10)}$	$L_{(50)}$	$L_{(90)}$	$L_{eq(10)}$
ST-1: 80 feet from the center of Newark Boulevard (9/22/16, 1:50 p.m. - 2:00 p.m.)	75	70	64	58	53	61
ST-2: 50 feet from the center of Mayhews Landing Road (9/22/16, 1:50 p.m. - 2:00 p.m.)	74	67	63	57	52	59

NOISE AND LAND USE COMPATIBILITY ASSESSMENT

Future Exterior Noise Environment

The future exterior noise environment at the project site will continue to result primarily from local traffic along Newark Boulevard and Mayhews Landing Road. Future traffic noise levels at residential receptor locations were calculated with FHWA’s Traffic Noise Model (TNM v. 2.5). Roadway, barrier, terrain features, and receptor locations were digitized and input into the traffic noise model in a three-dimensional reference coordinate system. The model input was based on the Schematic Site Plan¹ dated March 17, 2017 and Wall Elevations² dated March 13, 2017. The

¹ Newark Project, 36589 Newark Blvd., Newark, CA, Hunt Hale Jones, March 17, 2017.

² 36589 Newark Blvd., Newark CA, Levesque Design, March 13, 2017.

analysis assumed that the future noise environment would increase by 3 dBA L_{dn} because of anticipated future growth, as documented in the General Plan Tune Up Draft Program EIR³. The results of the traffic noise modeling conducted for this project are discussed below and are summarized in Table 2. This table identifies the noise modeling receptor and summarizes existing and future noise levels resulting from the ultimate build-out traffic condition.

As shown in Table 2, under existing conditions, exterior noise levels at a receptor located within the private outdoor activity area of Units 1-6 are calculated to range from 54 to 64 dBA L_{dn} assuming the partial shielding provided by the proposed 6-foot noise barrier and residential structures, themselves. Under future conditions, exterior noise levels outside of Units 1-6 are calculated to increase by 3 dBA L_{dn} and would range from 57 to 67 dBA L_{dn} . Future exterior noise levels in the private outdoor activity areas of Units 1 and 2 would exceed the 65 dBA L_{dn} “normally acceptable” noise level threshold by 2 dBA L_{dn} and would fall within the “conditionally acceptable” noise and land use compatibility designation.

TABLE 2 Traffic Noise Modeling Results, dBA L_{dn}

Receptor	Normally Acceptable Noise Level	Existing Noise Level with Proposed 6 ft. Noise Barrier	Future Noise Level with Proposed 6 ft. Noise Barrier
Unit 1	65	64	67
Unit 2	65	64	67
Unit 3	65	61	64
Unit 4	65	56	59
Unit 5	65	54	57
Unit 6	65	58	61

The following available measures should be considered during final design to reduce exterior noise levels to acceptable levels:

- In order to reduce future exterior noise levels to 65 dBA L_{dn} or less at the outdoor activity areas of Units 1 and 2, redesign the noise barrier to eliminate the metal entry gates and metal fencing panels that are currently proposed because open metal fencing is not a suitable noise barrier. In order to be acoustically effective, the six-foot noise barrier should be constructed solidly over the face and at the base of the barrier (i.e., free of any gaps or cracks) from materials having a minimum surface weight of 3 lbs./sq.ft. Suitable barrier materials include wood (1-inch nominal thickness fence boards), concrete, and masonry blocks.

Future Interior Noise Environment

Interior noise levels within new residential units are required to be maintained at or below 45 dBA L_{dn} . Exterior noise levels at the facades of residences nearest to Newark Boulevard are calculated to range from 70 to 72 dBA L_{dn} . Facades of residences nearest to Mayhews Landing Road would be exposed to exterior noise levels between 68 and 70 dBA L_{dn} .

³ General Plan Tune Up Draft Program EIR for the City of Newark, August 13, 2013.

Calculations were made to estimate the transmission loss provided by the proposed building elements to determine the expected interior noise levels resulting from traffic. Interior noise levels were calculated based on a review of the project's exterior building elevations and floor plans dated March 17, 2017. The relative areas of walls, windows, and doors were input into an acoustical model to calculate interior noise levels within the proposed residential building. The proposed exterior siding types are not called out in the current drawings, but based on project renderings, the analysis assumed that the proposed units would have a 7/8-inch stucco exterior siding. The exterior wood stud framed walls would have cavity insulation and a single layer of gypsum board at the interior face. The sound isolation rating of this exterior wall assembly would be STC 46⁴.

Windows and doors were then tested to determine the necessary sound transmission class ratings of these building elements in order to reduce interior noise levels due to traffic to acceptable levels. The calculations showed that windows and doors of Units 1 and 6 should be rated at a minimum of 30 STC in order to reduce traffic noise levels below 45 dBA L_{dn} with an adequate margin of safety. Windows and doors of Units 2, 3, 4, and 5 should be rated at a minimum of 28 STC. In addition, all six units should be mechanically ventilated by some form of forced-air mechanical ventilation, satisfactory to the local building official, to allow occupants the option of closing the windows and doors to control noise.

The following available measures should be considered during final design to reduce interior noise levels to acceptable levels:

- Provide sound rated windows and doors for proposed residential units. Windows and doors of Units 1 and 6 should be rated at a minimum of 30 STC and Windows and doors of Units 2, 3, 4, and 5 should be rated at a minimum of 28 STC.
- Provide a suitable form of forced-air mechanical ventilation, as determined by the local building official, for units throughout the site, so that windows can be kept closed at the occupant's discretion to control interior noise and achieve the interior noise standards. In our experience, a standard central air conditioning system or a central heating system equipped with a "summer switch", which allows the fan to circulate air without furnace operation, would be sufficient in order to provide a habitable interior environment.



This concludes Illingworth & Rodkin, Inc.'s noise assessment for the six-unit townhome project proposed northwest of the Newark Boulevard/Mayhews Landing Road intersection in Newark, California. Please do not hesitate to call with any questions or concerns.

Sincerely,



Michael S. Thill
Principal Consultant
ILLINGWORTH & RODKIN, INC.

⁴ Based on laboratory test number W-50-71 published by the U.S. National Bureau of Standards.

ORDINANCE NO.

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
NEWARK ESTABLISHING A PLANNED DEVELOPMENT
OVERLAY DISTRICT AT 36589 NEWARK BOULEVARD
(APN: 92A-623-43)

The City Council of the City of Newark does ordain as follows:

Section 1: Pursuant to Section 17.39.070 of Title 17 (Zoning) of the City of Newark Municipal Code, the City Council of the City of Newark does hereby find that the zoning map amendment embodied in this ordinance is consistent with the General Plan; is necessary and desirable to achieve the purposes of Title 17 (Zoning) of the Newark Municipal Code, which seeks to establish a Planned Development Overlay District on the subject property.

Section 2: The City Council of the City of Newark does hereby find and declare that the zoning map amendment embodied in this ordinance is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3), which provides that where it can be seen with certainty that there is no possibility that the activity in question may have a significant impact on the environment, the activity is not subject to CEQA.

Section 3: Effective Date. This ordinance shall take effect thirty (30) days from the date of its passage. Before expiration of fifteen (15) days after its passage, this ordinance shall be published in The Tri-City Voice, a newspaper of general circulation published and printed in the County of Alameda and circulated in the City of Newark.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK APPROVING VESTING TENTATIVE TRACT MAP
8409 AND SUBDIVISION AND ZONING VARIANCES
THERETO

WHEREAS, David Langon Construction, Inc. has submitted TTM-18-7, Vesting Tentative Tract Map 8409, to the City Council of the City of Newark with subdivision and zoning variances covered by P-18-6, a planned development, for a six unit multi-family residential townhome subdivision located at 36589 Newark Boulevard (APN: 92A-623-43).

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark does hereby approve TTM-18-7, Vesting Tentative Tract Map 8409, with said subdivision and zoning variances covered by P-18-6, as shown on Exhibit A, pages 1 through 4 and made part hereof by reference, subject to the following conditions:

- a. All applicable conditions listed in City Council Resolution No. ____, dated June 28, 2018, recommending approval of P-18-6, a planned development, for a six unit multi-family residential townhome subdivision located at 36589 Newark Boulevard (APN: 92A-623-43).
- b. The applicant shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.
- c. That if any condition of this vesting tentative tract map be declared invalid or unenforceable by a court of competent jurisdiction, this vesting tentative tract map shall terminate and be of no force and effect, at the election of the City Council on motion.

LEGEND

- LOT BOUNDARY
- RIGHT-OF-WAY CENTERLINE
- ADJACENT PROPERTY LINE
- ||||| NEW BUILDING
- ||||| EX. BUILDING
- ▭ EX. ASPHALT
- ▭ NEW ASPHALT
- ▭ NEW CONCRETE
- ▭ NEW PAVERS
- ▨ BIO RETENTION AREA
- ⊙ EX 14.00' EASEMENT FOR STORM AND SANITARY SEWER (7385 O.R. 255)
- 22.0 x FINISHED SPOT GRADE
- 5x FINISHED GRADE SLOPE
- DIRECTION OF DRAINAGE FLOW
- ⊙ EX. TREE
- STORM DRAIN LINE
- KEYSTONE RETAINING WALL OR APPROVED EQUAL

ABBREVIATIONS

- AB -- AGGREGATE BASE
- AC -- ACRE
- AD -- AREA DRAIN
- BD -- BOTTOM OF WALL
- CB -- CATCH BASIN
- CONC -- CONCRETE
- DET -- DETAIL
- DU -- DWELLING UNITS
- EVAE -- EMERGENCY VEHICLE ACCESS EASEMENT
- EX -- EXISTING
- FF -- FINISH FLOOR
- FG -- FINISH GRADE
- FL -- FLOW LINE ELEVATION
- G -- GRATE ELEVATION
- OFF -- GARAGE FLOOR
- GL -- GARAGE LIP ELEVATION
- HP -- HIGH POINT
- LF -- LINEAR FEET
- P -- PAD
- R -- PROPERTY LINE
- PUE -- PUBLIC UTILITY EASEMENT
- PVC -- POLYVINYL CHLORIDE
- PVAV -- PRIVATE VEHICLE ACCESS WAY
- R/W -- RIGHT OF WAY
- SD -- STORM DRAIN
- SHOW -- SIDEWALK
- SF -- SQUARE FEET
- SSCO -- SEWER CLEANOUT
- STD -- STAMBOARD
- SSE -- STORM DRAIN EASEMENT
- STE -- SELF TREATED AREA
- TC -- TOP OF CURB
- TSL -- TOP OF SOIL LAYER
- TW -- TOP OF WALL
- TYP -- TYPICAL

ADDRESS ASSIGNMENT

LOT NO.	ADDRESS
1	6033 MAYHEWS LANDING ROAD
2	6039 MAYHEWS LANDING ROAD
3	6045 MAYHEWS LANDING ROAD
4	6051 MAYHEWS LANDING ROAD
5	6057 MAYHEWS LANDING ROAD
6	6063 MAYHEWS LANDING ROAD

OWNER / DEVELOPER

MAYHEWS PLACE, LLC
3189 DANYVILLE BLVD. SUITE 245
ALAMEDA, CA 94501
925-946-1839

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
(925) 415-9099

ARCHITECT

HUNTI HALL KINOS
444 SPEAR STREET, SUITE 103
SAN FRANCISCO, CA 94109
(415) 512-1300

LANDSCAPE ARCHITECT

KEVIN LEVESQUE
LEVESQUE DESIGN
1414 BAY STREET
ALAMEDA, CA 94501
510-521-0700

BASIS OF ELEVATIONS

CITY OF NEWARK BENCHMARK #M #1 CIRCLED SQUARE AT THE NORTHWEST CORNER AT THE INTERSECTION OF NEWARK BLVD & MAYHEWS LANDING RD. ELEVATION = 28.87' (CITY OF NEWARK DATUM)

BASIS OF BEARINGS

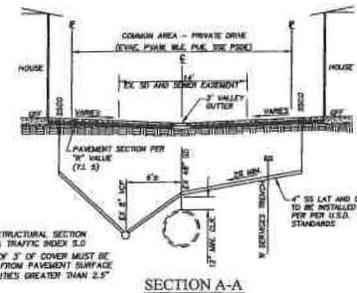
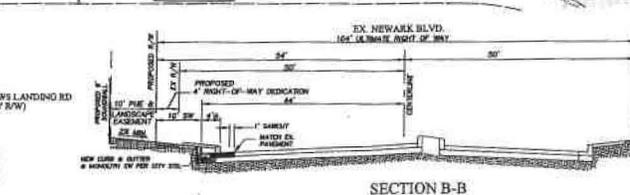
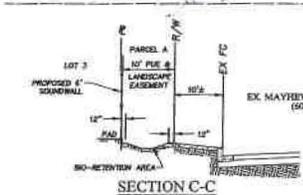
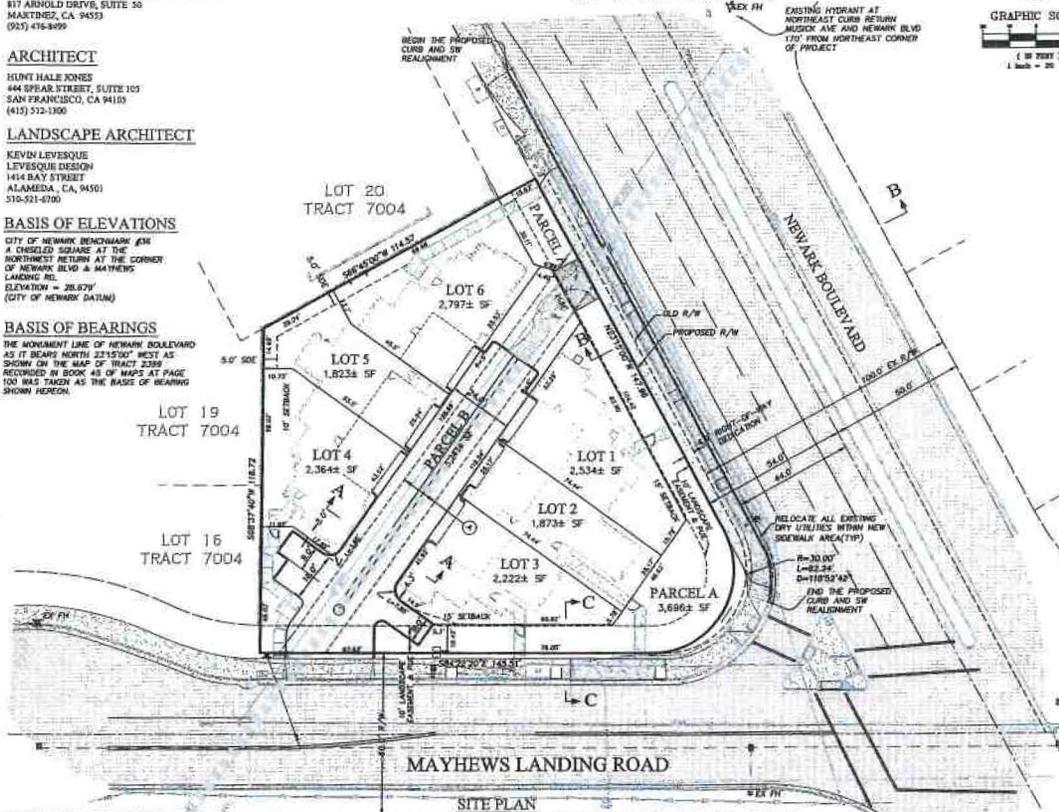
THE MONUMENT LINE OF NEWARK BOULEVARD AS IT BEARS NORTH 22°15'00" WEST AS SHOWN ON THE MAP OF TRACT 2388 RECORDED IN BOOK 48 OF MAPS AT PAGE 100 WAS TAKEN AS THE BASIS OF BEARING SHOWN HEREON.

TENTATIVE TRACT MAP 8409

MAYHEWS PLACE

6-LOT RESIDENTIAL TOWNHOUSE PROJECT

A 6 LOT RESIDENTIAL TOWNHOUSE PROJECT BEING AN 8 LOT SUBDIVISION OF ALL OF THAT PARCEL OF LAND DESCRIBED IN THE DEED RECORDED SEPT. 6, 2016 RECORDERS SERIES NO. 2016226248 ALAMEDA COUNTY RECORDS CITY OF NEWARK, CALIFORNIA



NOTES:
1. PAVEMENT STRUCTURAL SECTION BASED ON A TRAFFIC INDEX 3.0
2. A MINIMUM OF 3" OF COVER MUST BE MAINTAINED FROM PAVEMENT SURFACE TO ANY UTILITIES GREATER THAN 2.5'

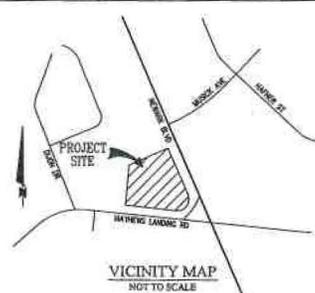
SHEET INDEX

SHEET NO.	DESCRIPTION
C1	TITLE SHEET & SITE PLAN
C2	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C3	PRELIMINARY OR ADMIN. DRAINAGE & UTILITY PLAN
C4	PRELIMINARY C1 STORM WATER CONTROL PLAN

NOTES
1. NO PUBLIC AREAS ARE PROPOSED
2. NO NEW STREET NAMES ARE PROPOSED

GENERAL
ASSESSOR'S PARCEL NO: 0924-0623-043
PROJECT ADDRESS: 3689R NEWARK BOULEVARD, NEWARK, CA 94595
TOTAL GROSS AREA: 25,449 SF
TOTAL NET AREA: 17,321 SF
EXISTING ZONING: RM-MEDIUM DENSITY RESIDENTIAL
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
EXISTING USE: VACANT
PROPOSED USE: 6 LOTS - MULTI-FAMILY RESIDENTIAL
PROPOSED DENSITY: 12 DU/AC
FEMA FLOOD DESIGNATION: ZONE X1 UNSHADED
EXISTING TOPOGRAPHY DATE: 02-14-2014 BY LEA & BRAZE ENGINEERS
MAXIMUM BUILDING HEIGHT: 38'
ALAMEDA COUNTY FIRE PROTECTION DISTRICT

FACILITIES
WATER: ALAMEDA COUNTY WATER DISTRICT
SEWER: UNION SANITARY DISTRICT
STORM DRAIN: CITY OF NEWARK & ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
GARAGE: REPUBLIC SERVICES



817 Arnold Drive, Ste. 50
Martinez, CA 94553
Phone: 925-415-9099
www.apexce.com



NO.	DATE	BY	APP.	REVISION

TENTATIVE MAP
TITLE SHEET & SITE PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET
C1
DATE
05-05-2018
PROJECT #: 14189

1652 NEWARK BLVD ~ TENTATIVE MAP ~ 05-03-2018

EXHIBIT A p1

TENTATIVE TRACT MAP 8409 MAYHEWS PLACE EXISTING CONDITION / DEMOLITION PLAN 6-LOT RESIDENTIAL TOWNHOUSE PROJECT

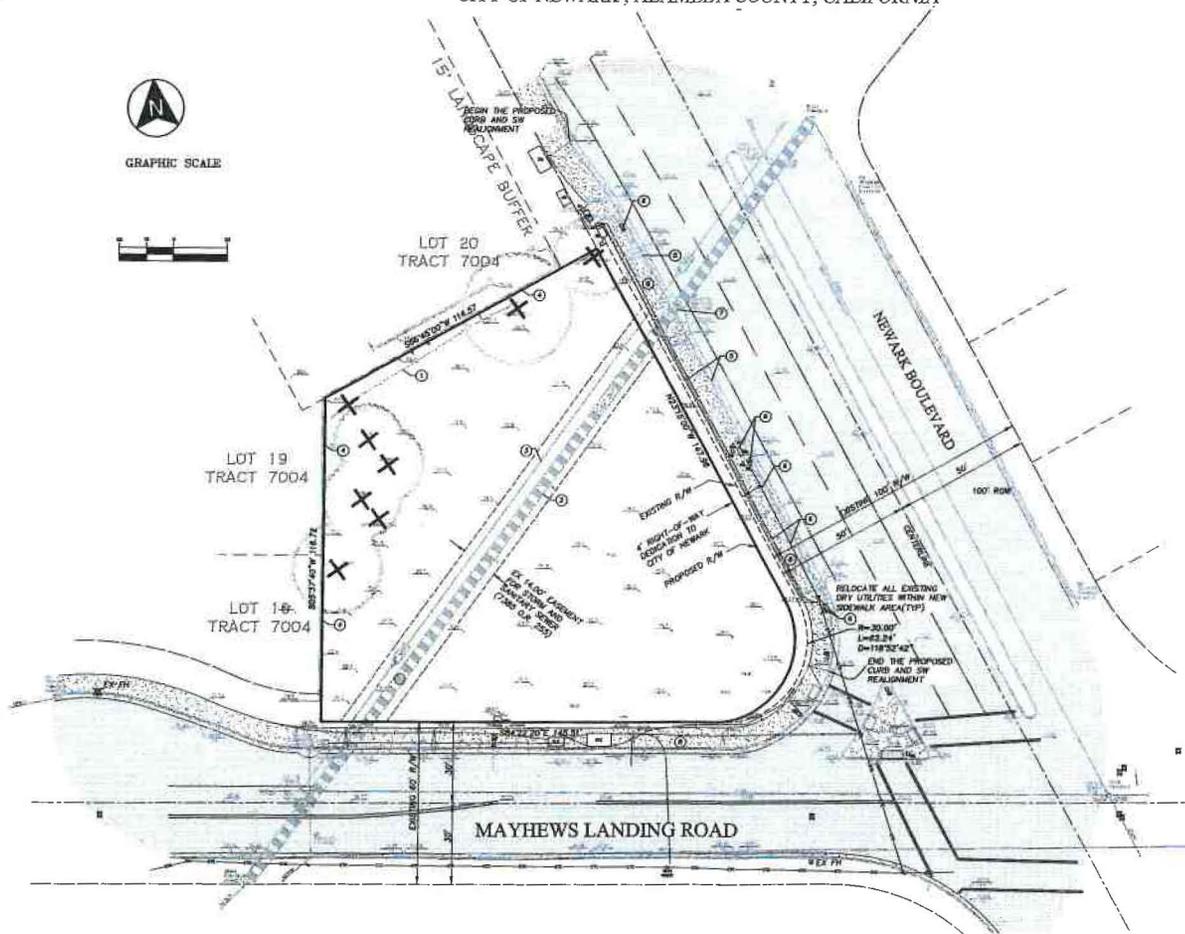
A 6 LOT RESIDENTIAL TOWNHOUSE PROJECT BEING AN 8 LOT SUBDIVISION OF ALL OF THAT PARCEL OF LAND DESCRIBED IN THE DEED RECORDED SEPT. 6, 2016 RECORDERS SERIES NO. 2016226248 ALAMEDA COUNTY RECORDS CITY OF NEWARK, CALIFORNIA
CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA

BASIS OF BEARINGS
THE MONUMENT LINE OF NEWARK BOULEVARD AS IT BEARS NORTH 23°15'00" WEST AS SHOWN ON THE MAP OF TRACT 2309 RECORDED IN BOOK 43 OF MAPS AT PAGE 100 WAS TAKEN AS THE BASIS OF BEARING SHOWN HEREON.

BASIS OF ELEVATIONS
CITY OF NEWARK BENCHMARK #06 A CONVEYED SQUARE AT THE NORTHWEST RETURN AT THE CORNER OF NEWARK BLVD & MAYHEWS LANDING RD.
ELEVATION = 28.879'
(CITY OF NEWARK DATUM)



GRAPHIC SCALE



DEMOLITION KEY LEGEND

- ① EXISTING CHAINLINK FENCE TO BE REMOVED
- ② EXISTING 48" SD AT S=0.0004
- ③ EXISTING 8" VCP SEWER PIPE AT S=0.0023
- ④ EXISTING SOUNDWALL TO BE REMAIN
- ⑤ EXISTING CURB, CUTTER AND SIDEWALK TO BE REMOVED AND REALIGNED ALONG FRONTAGE OF NEWARK BLVD.
- ⑥ EXISTING POWER POLES TO BE REMOVED (2 TOTAL) / UTILITY BOXES TO BE UNDERGROUND. OVERHEAD UTILITY LINES ACROSS MAYHEWS LANDING ROAD AND NEWARK BOULEVARD TO BE UNDERGROUNDED.
- ⑦ EXISTING CB TO BE RELOCATED TO NEW CURB ALIGNMENT.
- ⑧ EXISTING DRIVEWAY TO BE REMOVED.

LEGEND



817 Arnold Drive, Ste. 50
Fremont, CA 94539
Tel: (925) 416-8499
www.apexca.net



NO.	REVISIONS	BY	APP	DATE

TENTATIVE MAP
TOPOGRAPHIC SURVEY & DEMOLITION PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET
02
DATE
05-03-2018
PROJECT # 18182

EXHIBIT Ap2

TENTATIVE TRACT MAP 8409 MAYHEWS PLACE PRELIMINARY C.3 STORM WATER CONTROL PLAN 6-LOT RESIDENTIAL TOWNHOUSE PROJECT CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA



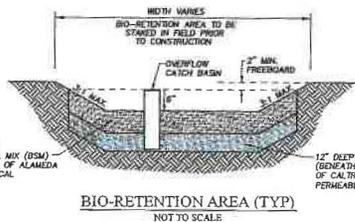
817 Avenida Drive, Ste. 50
Newark, CA 94560
Ph: (925) 476-8899
www.apex-inc.com



DATE	BY	APP	DATE

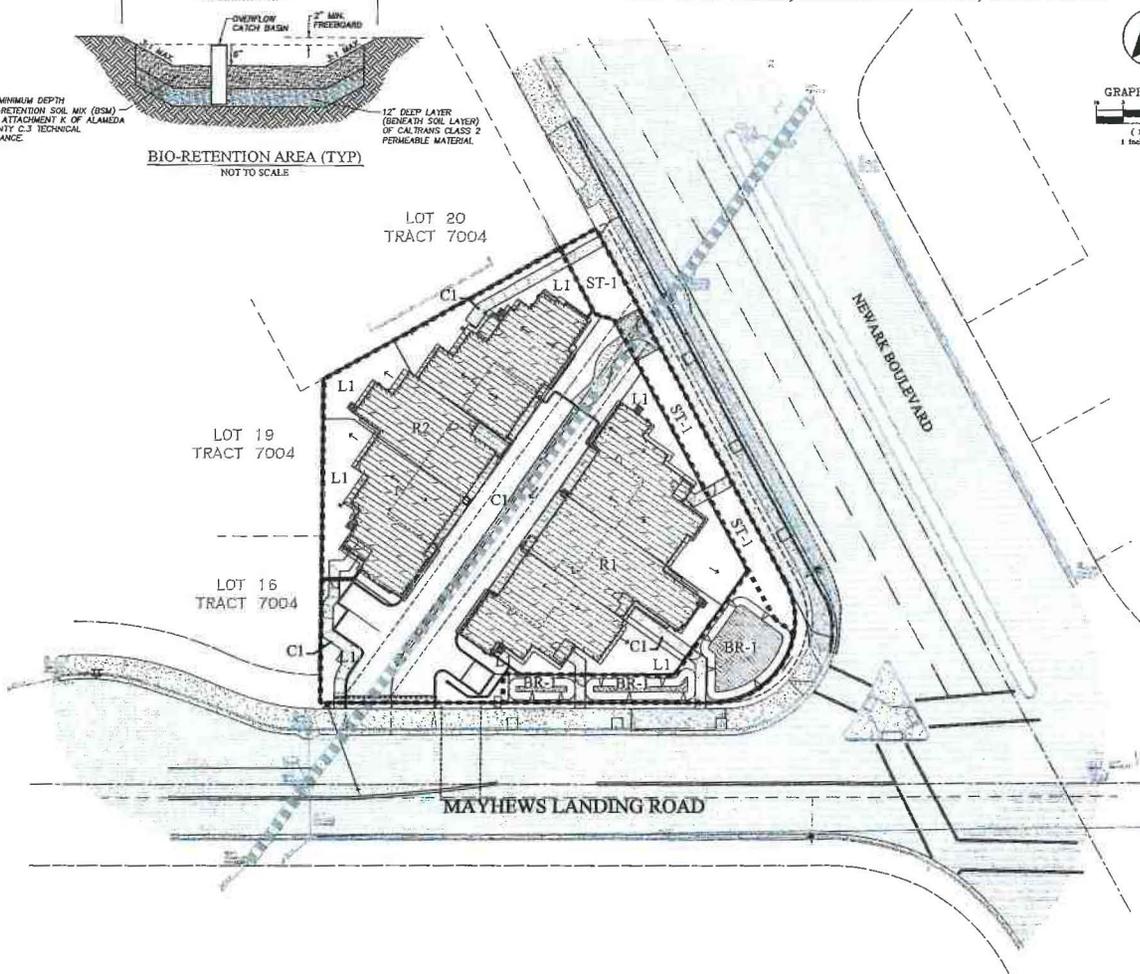
TENTATIVE MAP
PRELIMINARY C.3 STORM WATER CONTROL PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET
C4
DATE
05-03-2018
PROJECT #: 16183



18" MINIMUM DEPTH
BIO-RETENTION SOIL MIX (BSM)
PER ATTACHMENT K OF ALAMEDA
COUNTY C.3 TECHNICAL
GUIDANCE.

12" DEEP LAYER
(BENEATH SOIL LAYER)
OF CALIFORNIA CLASS 2
PERMEABLE MATERIAL



C.3 STORM WATER CONTROL LEGEND

DRAINAGE MANAGEMENT AREAS (DMA):

SELF TREATED AREA (PERVIOUS SURFACE)	ST
LANDSCAPE AREA (PERVIOUS SURFACE)	L
NEW CONCRETE (IMPERVIOUS SURFACE)	C
ROOFTOP (IMPERVIOUS SURFACE)	R
BIO-RETENTION AREA	BR-1

BMP TRIBUTARY BOUNDARY: - - - - -

PROJECT DATA FORM

PROJECT NAME/NUMBER	NEWARK BLVD.
PROJECT LOCATION	35489 NEWARK BLVD. NEWARK, CA
NAME OF DEVELOPER	MAYHEWS PLACE LLC
PROJECT TYPE AND DESCRIPTION	6 LOTS (RESIDENTIAL TOWNHOUSES)
PROJECT WATERBODY	NEWARK SLough WATERBODY
TOTAL PROJECT SITE AREA (ACRES)	0.52 ACRES (22,449 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	14,172 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	0 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	0 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	14,172 SF
RUNOFF REDUCTION MEASURES SELECTED:	<input checked="" type="checkbox"/> 1. IMPERVIOUS RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEDMENTS (PAVERES) <input type="checkbox"/> 3. CISTERNS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR PLANTER BOX

BIO-RETENTION AREA SUMMARY

DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	IMP SIZING FACTOR	REQUIRED IMP AREA (SF)	PROPOSED IMP AREA (SF)	
BR-1	CI	4,432	1.0	4,432	0.04	178	
	R1	4,879	1.0	4,830	0.04	195	
	L1	5,863	0.1	585	0.04	23	
	R2	4,841	1.0	4,841	0.04	194	
	ST-1	ST-1 = 1,700 SF					
	BR-1	590					654

AREA BREAKDOWN

PERVIOUS LANDSCAPING:	5,863 SF
BIO-RETENTION AREA:	654 SF
TOTAL:	6,517 SF
IMPERVIOUS CONCRETE:	4,452 SF
ROOF:	9,720 SF
TOTAL:	14,172 SF

EXHIBIT A p4

PLANNING COMMISSION ACTIONS

RESOLUTION NO. 1959

RESOLUTION RECOMMENDING APPROVAL OF P-18-6, A
PLANNED DEVELOPMENT, TO ALLOW FOR A SIX UNIT
MULTI-FAMILY RESIDENTIAL TOWNHOME SUBDIVISION
AT 36589 NEWARK BOULEVARD (APN: 92A-623-43)

WHEREAS, David Langon Construction, Inc. has filed with the Planning Commission of the City of Newark an application for P-18-6, a planned development, for a six unit residential townhome project; and

PURSUANT to the Municipal Code Section 17.31.060, a public hearing notice was published in The Tri City Voice on May 15, 2018 and mailed as required, and the Planning Commission held a public hearing on said application at 7:30 p.m. on May 29, 2018 at the City Administration Building, 37101 Newark Boulevard, Newark, California; and

WHEREAS, pursuant to Chapter 17.12 (Planned Development), Section 17.12.060 (Required Findings), the Planning Commission hereby makes the following findings:

- a. The proposed development is consistent with the General Plan and any applicable specific plan, including the density and intensity limitations that apply;
- b. Adequate transportation facilities and public services exist or will be provided in accord with the conditions of development plan approval, to serve the proposed development; and the approval of the proposed development will not result in a reduction of traffic levels of service or public services so as to be a detriment to public health, safety, or welfare;
- c. The proposed development will not have a substantial adverse effect on surrounding land uses and will be compatible with the existing and planned land use character of the surrounding area;
- d. The development generally complies with applicable adopted design guidelines; and
- e. The proposed development is demonstratively superior to the development that could occur under the standards applicable to the underlying base district, and will achieve superior community design, environmental preservation and/or substantial public benefit.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby recommends the City Council approve this application as shown on Exhibit A, pages 1 through 29, and Exhibit B, subject to compliance with the following conditions:

Planning Division

- a. There shall be no roof-mounted equipment other than satellite dishes, other similar television or radio antennas, and solar equipment. A/C units shall be fully screened from public view.
- b. All lighting shall be directed on-site so as not to create glare off-site, as required by the Community Development Director.
- c. Construction site trailers and buildings located on-site shall be used for office and storage purposes only, and shall not be used for living or sleeping quarters. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- d. Measures to respond to and track complaints pertaining to construction noise shall include: (1) a procedure and phone numbers for notifying the City of Newark Building Inspection Division and Newark Police Department (during regular construction hours and off-hours); and (2) a sign posted on-site pertaining to the permitted construction days and hours and complaint procedures and who to notify in the event of a problem. The sign shall also include a listing of both the City and construction contractor's telephone numbers (during regular construction hours and off-hours).
- e. The covenants, conditions and restrictions (CC&Rs) filed for this development shall include a provision requiring that garages shall only be used for automobile parking.
- f. The site and its improvements shall be maintained in a neat and presentable condition, to the satisfaction of the Community Development Director. This shall include, but not be limited to, repainting surfaces damaged by graffiti and site clean-up. Graffiti removal/repainting and site cleanup shall occur on a continuing, as needed basis. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- g. All exterior utility pipes and meters shall be painted to match and/or complement the color of the adjoining building surface, as approved by the Community Development Director.
- h. Any changes to the approved color elevations shall be reviewed and approved by the Planning Commission and City Council. Any minor changes shall be submitted for the review and approval of the Community Development Director to assure consistency with the approved project.
- i. Prior to the issuance of a building permit, any major changes to the floor plans as submitted by the applicant as part of this application shall be reviewed and approved by the Planning Commission and City Council. Any minor changes shall be submitted for the review and approval of the Community Development Director to assure consistency with the approved project.

- j. Prior to the issuance of a building permit, the roof material as submitted by the applicant as part of this application shall be reviewed and approved by the Community Development Director. All roof material shall consist of fire retardant shake roof, concrete tile, or a roof of similar noncombustible material. Mansard roofs with the above material may be used to screen tar and gravel roofs. All roofs shall be of Class C fire resistant construction or better. Composition shingles shall be Presidential-style or of comparable quality, subject to the review and approval of the Community Development Director.
- k. Prior to the issuance of a building permit, the project shall be submitted for the review and approval of Republic Services and the Community Development Director, in that order. The appropriate garbage, refuse and recycling service shall be approved prior to the issuance of a Certificate of Occupancy, as required by the Community Development Director. No refuse, garbage or recycling shall be stored outdoors except within the approved trash and recycling containers.
- l. Prior to issuance of a grading permit, the applicant shall hire a qualified biologist to: (1) determine if occupied Burrowing Owl habitat(s) exist on the site, and (2) implement a plan to protect the owls and to excavate the site around any active burrows using hand tools to assure that the owls are not buried during grading in the event Burrowing Owl habitat(s) is found on the site. The occupied Burrowing Owl habitat(s), if found, shall not be disturbed during the nesting season. The Burrowing Owl study shall be conducted not more than 30 days prior to the time site grading activities will commence.
- m. During project construction, if historic, archeological or Native American materials or artifacts are identified, work within a 50-foot radius of such find shall cease and the City shall retain the services of a qualified archeologist and/or paleontologist to assess the significance of the find. If such find is determined to be significant by the archeologist and/or paleontologist, a resource protection plan conforming to CEQA Section 15064.5 shall be prepared by the archeologist and/or paleontologist and approved by the Community Development Director. The plan may include, but would not be limited to, removal of resources or similar actions. Project work may be resumed in compliance with such plan. If human remains are encountered, the County Coroner shall be contacted immediately and the provisions of State law carried out.
- n. Prior to the issuance of a building permit, the applicant shall pay the following fees: park impact fee (\$18,000 per unit), public safety impact fee (\$3,451 per unit), community service and facilities impact fee (\$2,311 per unit), transportation impact fee (\$2,586 per unit), housing impact fee (\$20 per square foot of building area for the first 1000 square feet and \$8 per square foot above 1000 square feet per unit), art in public places and private development impact fee (\$270/unit), and the community development maintenance fee (0.5% of construction valuation).
- o. There shall be no Accessory Dwelling Units (including Standard Accessory Dwelling Units or Junior Accessory Dwelling Units) allowed.

- p. There shall be no pools allowed.
- q. There shall be no short term rentals allowed.
- r. Prior to their installation, mailbox locations and designs shall be approved by the Community Development Director and Newark Postmaster, in that order. The mailbox compartments of centralized mailboxes shall identify the individual dwelling units with permanent, easily legible lettering.
- s. Prior to the issuance of a Certificate of Occupancy, roll-up garage doors with automatic garage door openers shall be provided for each unit.
- t. Prior to final inspection and utility release for each unit, the applicant shall pre-wire each unit for satellite and cable television connections, as required by the Community Development Director. The exterior connections for the pre-wire shall be made to the roof and not on the side elevation walls of the units.
- u. Prior to the issuance of a sign permit, all signs, other than those referring to construction, sale, or future use of this site, shall be submitted for the review and approval of the Community Development Director.
- v. Prior to the issuance of a Certificate of Occupancy, the parking areas, aisles and access drives shall be installed and striped as shown on the approved site plan. Guest parking spaces shall be clearly marked as reserved for guests, as approved by the Community Development Director.
- w. The applicant shall meet all mitigation measures listed in the Environmental Noise Assessment conducted by Illingworth & Rodkin, Inc. dated January 18, 2018, with original dated May 5, 2017.
- x. Prior to the initial submittal of plans for any permits, soil vapor samples must be collected to confirm that the residual benzene concentrations do not pose a potential risk to human health. (See also Condition jjj.)
- y. Prior to the initial submittal of plans for any permits, provide documentation that known contamination on the site, including locations where work is proposed in adjacent right-of-ways, has been remediated to applicable regulatory standards. Provide copies of approvals from the Regional Water Quality Control Board—San Francisco Region, and/or the Alameda County Water District, as applicable. (See also Conditions jjj and kkk.)
- z. Prior to the submittal for building permit review, all conditions of approval for this project, as approved by the City Council, shall be printed on the plans.

Engineering Division

- aa. The developer shall obtain approval of a tentative and final map filed in accordance with the State Subdivision Map Act and the City of Newark Subdivision Ordinance. The final map shall be approved and recorded prior to the issuance of any building permits.
- bb. The final map shall dedicate emergency vehicle access easements, private vehicle access ways, public utility easements, sanitary sewer easement, waterline easements, and storm drain easement over the private drive aisle.
- cc. The final map shall dedicate to the City of Newark an additional 4-foot wide (total 54 feet from centerline) roadway easement for street purposes along the Newark Boulevard frontage within the limits of the development.
- dd. The Developer shall widen Newark Boulevard along the project frontage such that the new centerline-to-curb width is forty four feet (44'). Frontage improvements on Newark Boulevard shall conform to the existing adjacent improvements to the north of the project and shall include, but are not limited to, construction of new ten foot (10') wide monolithic sidewalk with tree wells; installation of new curb, gutter; pavement widening; street trees; utility relocation; storm drain improvements; street lights; and stormwater treatment measures.
- ee. Prior to approval of the final map, the developer shall guarantee all necessary street improvements adjoining the development, common area improvements, private streets, private alleys and all other subdivision improvements to be owned and/or maintained by the homeowners' association in accordance with tract improvement plans to be approved by the City Engineer. Improvement plans for on-site common areas in the development shall be included with the tract improvement plans to ensure that such improvements are designed and constructed to City Standards. These plans must be prepared by a qualified person licensed by the State of California to do such work. Such improvements include, but are not limited to: curb & gutter, pavement areas, sidewalks, access ramps & driveways; enhanced street paving; parking spaces; street lights (wired underground) and appurtenances; drainage facilities; utilities; landscape and irrigation facilities; open space landscaping; stormwater treatment facilities; striping and signage; and fire hydrants.
- ff. The Developer shall remove the two (2) existing joint utility poles located near the intersection of Newark Boulevard and Mayhews Landing Road and underground all associated overhead utility lines crossing both Newark Boulevard and Mayhews Landing Road.
- gg. The final map shall dedicate to the City of Newark a minimum 10-foot wide landscape and public utility easement over the Newark Boulevard and Mayhews Landing Road frontage of the development. This easement shall incorporate all landscape areas beyond the minimum dimension to the nearest physical constraints. Landscape work in the easement area and adjoining street right-of-way requires the issuance of an Encroachment Permit.
- hh. The project must be designed to include appropriate source control, site design, and stormwater treatment measures to prevent stormwater runoff pollutant discharges from

the site in accordance with Provision C.3 of the Municipal Regional Stormwater NPDES Permit (MRP), Order R2-2015-0049, revised November 19, 2015, issued to the City of Newark by the Regional Water Quality Control Board, San Francisco Bay Region. Examples of source control and site design requirements include but are not limited to: properly designed trash storage areas, sanitary sewer connections for all non-stormwater discharges, minimization of impervious surfaces, and treatment of all runoff with Low Impact Development (LID) treatment measures. The project Stormwater Management Plan is approved in concept only. The final Stormwater Management Plan is subject to City Engineer approval prior to issuance of Building Permits. Approval is subject to the developer providing the necessary plans, details, and calculations that demonstrate the plan complies with the standards issued by the Regional Water Quality Control Board.

- ii. Prior to the issuance of the initial grading or any building permits for this project, the developer shall submit a Storm Water Quality Plan for the review and approval of the City Engineer. The plan shall include sufficient details to show how storm water quality will be protected during both: (1) the construction phase of the project and (2) the post-construction, operational phase of the project. The construction phase plan shall include Best Management Practices from the California Storm Water Quality Best Management Practices Handbook for Construction Activities. The specific storm water pollution prevention measures to be maintained by the contractor shall be printed on the plans. The operational phase plan shall include Best Management Practices appropriate to the uses conducted on the site to effectively prohibit the entry of pollutants into storm water runoff from this site including, but not limited to, trash and litter control, pavement sweeping, periodic storm water inlet cleaning, landscape controls for fertilizer and pesticide applications, labeling of storm water inlets with a permanent thermoplastic stencil with the wording “No Dumping - Drains to Bay,” and other applicable practices.
- jj. The project Stormwater Management Plan shall incorporate 100% full trash capture devices to address the requirements of Provision C.10 of the Regional Water Quality Control Board (RWQCB) Municipal Regional Permit (MRP) to the satisfaction of the City Engineer. The proposed full trash capture devices must be approved by the RWQCB and the City Engineer.
- kk. The developer shall enter into an Agreement with the City of Newark that guarantees the property owner’s perpetual maintenance obligation for all stormwater treatment measures and trash capture devices installed as part of the project. Said Agreement is required pursuant to Provision C.3 of the Municipal Regional Stormwater NPDES Permit. Said permit requires the City to provide verification and assurance that all treatment and trash capture devices will be properly operated and maintained. The Agreement shall be recorded against the property and shall run with the land.
- ll. The developer shall submit a grading and drainage plan for review and approval by the City Engineer. Approval of this plan by the Alameda County Flood Control District and the issuance of an encroachment permit by the District will also be required for any proposed connection to the existing Line I storm drain line. The grading and drainage plan must be based upon a City benchmark and needs to include pad and finish floor

elevations of each proposed structure, proposed on-site property grades, proposed elevations at property line, and sufficient elevations on all adjacent properties to show existing drainage patterns. All on-site pavement shall drain at a minimum of one percent. The developer shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.

Hydrology and hydraulic calculations shall be submitted for review and approval by the City Engineer. The calculations shall show that the City and County freeboard requirements will be satisfied.

- mm. Where a grade differential of more than a 1-foot is created along the boundary lot lines between the proposed development and adjacent property, the developer shall install a masonry retaining wall unless a slope easement is approved by the City Engineer. Said retaining wall shall be subject to review and approval of the City Engineer. A grading permit is required by the Building Inspection Division prior to starting site grading work.
- nn. The Developer shall submit a detailed soils report prepared by a qualified engineer, registered with the State of California. The report shall address in-situ and import soils in accordance with the City of Newark Grading and Excavation Ordinance, Chapter 15.50. The required report shall cover soil stability, existing contaminated soils and groundwater on the project site and under Mayhews Landing Road, steps taken if contaminant levels are found, potential health hazards resulting from contaminated soils, and recommendations regarding pavement sections for the private street. Grading operations shall be in accordance with recommendations contained in the required soils report and grading shall be supervised by an engineer registered in the State of California to do such work.
- oo. The Project Geotechnical Engineer shall be retained to review all final grading plans and specifications. The Project Geotechnical Engineer shall approve all grading plans prior to City approval and issuance of grading permits.
- pp. Prior to the issuance of any Certificates of Occupancy or release of utilities for any buildings, common vehicle access ways and parking facilities serving the proposed buildings need to be paved in accordance with the recommendation of a licensed civil engineer based on a Traffic Index of 5.0.
- qq. Prior to the issuance of any Certificates of Occupancy or release of utilities for any buildings, the on-site drive aisle and uncovered parking facilities shall be installed and striped as shown on the approved site plan. All on-site covered parking facilities and drive aisles shall drain at a minimum slope of 1.0% for asphalt concrete surfaces and 0.3% for Portland cement concrete surfaces.
- rr. All new utilities including, but not limited to, electric, telephone and cable television services shall be provided underground for all buildings in the development in accordance with the City of Newark Subdivision Standards.

- ss. The developer shall submit design development Landscape Plans with the first plan check for the street improvement plans and final map. The Landscape Plans shall show details, sections and supplemental information as necessary for design coordination of the various civil design features and elements including utility location to the satisfaction of the City Engineer. Complete Landscape Plans shall be concurrently approved with the Tract Improvement Agreement and Final Map.
- tt. Streetlight/Joint Trench Plans shall be submitted with the first plan check for the street improvement plans and final map. The final streetlight/joint trench plan shall be completed prior to Final Map and will be subject to the review and approval by the City Engineer.
- uu. The developer shall incorporate a property owners' association consisting of all property owners of lands in the development at the time of incorporation and in the future for the purpose of maintaining the association's property, common drive aisles, parking facilities, and landscaping, including landscaping in adjacent public rights-of-way, and for paying for security lighting, any common garbage collection services, and other functions of a property owners' association. All common areas within the development shall be owned and maintained by the property owners' association. Each property owner shall automatically become a member of the association and shall be subject to a proportionate share of the maintenance expenses. The property owners' association shall be incorporated prior to the sale of any individual lots and/or prior to acceptance of tract improvements, whichever occurs first.
- vv. Prior to City Council approval of the final map, the bylaws governing the property owners' association and any declaration of covenants, conditions and restrictions (CC&Rs) filed for this development shall be reviewed and approved by the City Council at its discretion after mandatory review and recommendations by the City Attorney. Said covenants, conditions and restrictions shall be prominently displayed in the project sales office at all times. Approval of the covenants, conditions and restrictions shall not make the City a party to enforcement of same. The CC&Rs shall apply equally to both owners and renters. The CC&Rs shall be written to require renters to comply with the regulations of the CC&Rs, and a copy of the CC&Rs shall be given to each renter. The CC&Rs shall be written to allow less than a majority of owners to have pavement or landscape maintenance done and the cost thereof assessed to all owners in the project. The CC&Rs shall include a pavement maintenance program for on-site pavement.
- ww. The property owners' association CC&Rs shall prohibit the on-site parking of non-self-propelled recreational vehicles, including boats, and any self-propelled recreational vehicles not used for transportation unless separate storage facilities are provided. The CC&Rs shall regulate the provision of any on-site parking of self-propelled recreational vehicles used for transportation.
- xx. The developer shall also assist the property owners' association by having a management consultant firm review the maintenance and operating functions of the association. The management consulting firm shall be responsible to prepare a written report with

recommendations to the association for managing the association's obligations and setting initial monthly assessment costs for each lot in the development. Membership and assessment cost shall be mandatory for all property owners of property in the development and shall run with the land. The developer shall pay all costs of incorporation and initial management review and reports.

- yy. The Homeowner's Association shall be responsible for trash and litter control and sweeping of all private streets within the development. All private storm drain systems and all associated trash capture devices shall be cleaned on a regularly scheduled basis as detailed in the required Stormwater Treatment Measures Maintenance Agreement.
- zz. The Homeowner's Association shall be required to contract with a professional management firm to handle all necessary maintenance operations. Documentation of such contract shall be submitted to the City of Newark. All commonly owned facilities shall be properly maintained in a manner consistent with the CC&Rs and project requirements.
- aaa. Prior to final map approval, the developer's engineer shall submit a pavement maintenance program for the drive aisles and parking areas for the review and approval of the City Engineer. The developer shall follow the maintenance program at the City Engineer's direction and shall be part of the project CC&Rs.
- bbb. Any proposed utility connections and/or underground work within structurally sound street pavement must be bored or jacked. Open street cuts will not be permitted on Newark Boulevard or Mayhews Landing Road. If open trenching is required, the applicant must grind and overlay and/or slurry seal the pavement (limits to be determined) on Newark Boulevard and/or Mayhews Landing Road to the satisfaction of the City Engineer.
- ccc. The project may involve the installation of various above ground utility facilities such as backflow prevention devices and pad-mounted transformer and telephone facilities. These facilities must be located outside the street right-of-way to the extent possible. Special consideration should be given to the placement of pad-mounted facilities. Such facilities should be located as far as possible from the street and screened in an aesthetically pleasing manner.
- ddd. As part of the grading operations, the developer shall ensure that the site is watered on a sufficiently frequent basis to control dust as directed by the City Engineer. A pick-up or vacuum type street sweeper shall be available at all time at the direction of the City Engineer to remove tracked dirt and debris from adjacent streets.
- eee. Prior to final map approval, any outstanding Area Improvement District assessments will have to be either paid off or segregated. If segregation is to occur, an amended assessment diagram will be required at the developer's expense.

- fff. Prior to the issuance of any permits, the applicant shall submit a noise study justifying the type, height, and the limits of the new sound wall along the Thornton Avenue and Mayhews Landing Road frontages.
- ggg. The site is within an area determined to be outside the 0.2% annual chance floodplains (Zone X – Unshaded) shown on the Flood Insurance Rate Map (FIRM) for the City of Newark. All site construction must conform to the City’s Flood Plain Management Ordinance.
- hhh. Prior to the issuance of a Certificate of Occupancy, any and all damage to public improvements and along shared boundary lines on private property as a result of construction activity associated with this project shall be repaired to the satisfaction of the City Engineer and/or adjoining property owners.
- iii. The developer shall provide all required paper and electronic versions of the project final map, tract improvements plans, and as-built plans as required by the City Engineer, including but not necessarily limited to the following: (1) One full-size reproducible copy and one reduced reproducible copy of the approved tentative map; (2) Two electronic copies of the approved final map and improvement plans in a format approved by the City Engineer; (3) One full-size mylar copy and one reduced copy of the recorded final map; (4) One reproducible set and four blue-line or photocopied sets of the approved tract improvement plans; (5) Two electronic copies and one mylar set of the as-built tract improvement plans. A deposit of \$500 shall be submitted by the developer to the City to ensure the submittal of the recorded map.
- jjj. Prior to the initial submittal of plans for any permits, soil, soil vapor and groundwater shall be reassessed by a qualified environmental professional. Samples shall be submitted to a certified environmental testing laboratory in the State of California. The results of the assessment shall be submitted to the Alameda County Water District and Regional Water Quality Control Board—San Francisco Bay Region (“Water Board”) to determine whether Case File No. 01-1804 (BGS), as referenced in the Case Closure letter dated June 24, 2016, needs to be re-opened and if site remediation, vapor mitigation, or other response action is needed to achieve conditions for residential occupancy. Any additional actions required by the Water Board or the Alameda County Water District shall be summarized in a formal letter to the Public Works Director/City Engineer and reflected in the site improvement plans.
- kkk. Prior to the initial submittal of plans for any permits, the applicant shall retain a qualified environmental professional to prepare and submit for Water Board approval a “site management plan” which sets forth procedures for soil and groundwater management, contingency planning, and health and safety measures that shall be deployed in the event that soil and/or groundwater impacted by hazardous substances are encountered or disturbed during earthwork for the project, including within the Mayhews Landing Road public right-of-way. The approved “site management plan” shall be submitted to the Public Works Director/City Engineer prior to the initial submittal of plans for any

permits. Any remediation measures within the public right-of-way require the issuance of a City of Newark Encroachment Permit.

- lll. Prior to submitting plans for a demolition or grading permit, the applicant shall make any required notifications, submittals and/or demonstrate compliance with the applicable requirements of Bay Area Air Quality Management District.
- mmm. Prior to the initial submittal of plans for any permits, the applicant shall coordinate with the Alameda County Water District to obtain required permit(s) for the removal/destruction of all on and off-site wells as required by or approved by the Water Board.

Landscape/Parks Division

- nnn. Concurrent with the final map, the developer shall dedicate a minimum 10-foot wide landscape and public utility easement along the Newark Boulevard and Mayhews Landing Road frontages of the project adjacent to the new right-of-way limit.
- ooo. Prior to approval of the final map, the developer shall enter into a Landscape Maintenance Agreement to ensure the perpetual maintenance of all landscaping along the property frontage and within the common areas of the site. This agreement shall run with the land and be binding upon all future owners or assigns.
- ppp. The developer shall retain a licensed landscape architect to prepare detailed landscape plans for construction in accordance to with City of Newark requirements and the State of California Model Water Efficient Landscape Ordinance. The associated Landscape Documentation Package must be approved by the City Engineer prior to final map approval.
- qqq. The developer shall implement Bay Friendly Landscaping Practices in accordance with Newark Municipal Code, Chapter 15.44.080. Prior to final map approval, the developer shall provide sufficient information to detail the environmentally-conscious landscape practices to be used on the project.
- rrr. The plant species identified for any proposed landscape-based stormwater treatment measures are subject to final approval of the City Engineer.
- sss. Prior to installation by the developer, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.
- ttt. Prior to the release of utilities or issuance of any Certificate of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.

- uuu. Prior to issuance of Certificate of Occupancy or release of utilities, the developer shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The developer shall insure that the landscape shall be installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.
- vvv. Landscaping adjacent to the public right-of-way must conform to the City's visibility requirements in accordance with Newark Municipal Code, Chapter 10.36.

Building Division

- www. A fully automatic fire sprinkler system shall be installed in each dwelling.
- xxx. This project will require the payment of school developer fees. School developer fees are assessed and collected by the Newark Unified School District.

Police Department

- yyy. The development shall comply with Chapter 15.06, Security Code, of the Newark Municipal Code and Section 5.10 of the California Fire Code for radio reception.
- zzz. Security cameras need to be placed so that the driveways/streets areas are captured by surveillance cameras. Cameras placed at the entrance to the complex should be of sufficient acuity to identify vehicle license plates, vehicle make, model and color. Cameras need to be placed at pedestrian and vehicle access points to deter criminal activity. Cameras could be operated and controlled by individual owners or a HOA.

Fire Department

- aaaa. Proposed fire hydrant shall be relocated closer to the building. Coordinate new location with ACFD prior to the issuance of a building permit.

General

- bbbb. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Planning Commission and City Council review and, if so decided, said changes shall be submitted for the Commission's and Council's review and decision. The applicant shall pay the prevailing fee for each additional separate submittal of project exhibits requiring Planning Commission and/or City Council review and approval.
- cccc. If any condition of this Planned Development be declared invalid or unenforceable by a court of competent jurisdiction, this planned development and conditional use permit shall terminate and be of no force and effect, at the election of the City Council on motion.

dddd. The applicant hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including, without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.

eeee. In the event that any person should bring an action to attack, set aside, void or annul the City's approval of this project, the applicant shall defend, indemnify and hold harmless the City and/or its agents, officers and employees from any claim, action, or proceeding against the City and/or its agents, officers and employees with counsel selected by the applicant (which shall be the same counsel used by applicant) and reasonably approved by the City. Applicant's obligation to defend, indemnify and hold harmless the City and/or its agents, officers and employees shall be subject to the City's compliance with Government Code Section 66474.9.

ffff. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The applicant is hereby further notified that the 90-day approval period in which the applicant may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the applicant fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the applicant will be legally barred from later challenging such exactions.

This Resolution was introduced at the Planning Commission's May 29, 2018 meeting by Vice-Chairperson Aguilar, seconded by Commissioner Nillo, and passed as follows:

AYES: Aguilar, Bridges, Fitts, Nillo, and Otterstetter.

NOES: None.

ABSENT: None.

s/Terrence Grindall
TERRENCE GRINDALL, Secretary

s/William Fitts
WILLIAM FITTS, Chairperson

RESOLUTION NO. 1960

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NEWARK APPROVING VESTING TENTATIVE TRACT MAP 8409 AND SUBDIVISION AND ZONING VARIANCES THERETO

WHEREAS, David Langon Construction, Inc. has submitted TTM-18-7, Vesting Tentative Tract Map 8409, to the Planning Commission of the City of Newark with subdivision and zoning variances covered by P-18-6, a planned development, for a six unit multi-family residential townhome subdivision located at 36589 Newark Boulevard (APN: 92A-623-43).

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Newark does hereby approve TTM-18-7, Vesting Tentative Tract Map 8409 with said subdivision and zoning variances covered by P-18-6, as shown on Exhibit A, pages 1 through 4 and made part hereof by reference, subject to the following conditions:

- a. All applicable conditions listed in Planning Commission Resolution No.1959, dated May 29, 2018, recommending approval of P-18-6, a planned development, for a six unit multi-family residential townhome subdivision located at 36589 Newark Boulevard (APN: 92A-623-43).
- b. The developer shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.
- c. That if any condition of this vesting tentative tract map be declared invalid or unenforceable by a court of competent jurisdiction, this vesting tentative tract map shall terminate and be of no force and effect, at the election of the City Council on motion.

This Resolution was introduced at the Planning Commission's May 29, 2018 meeting by Vice-Chairperson Aguilar, seconded by Commissioner Nillo, and passed as follows:

AYES: Aguilar, Bridges, Fitts, Nillo, and Otterstetter.

NOES: None.

ABSENT: None.

s/Terrence Grindall
TERRENCE GRINDALL, Secretary

s/William Fitts
WILLIAM FITTS, Chairperson

F.1 Approval of Investment Policy – from Accounting Manager Lee.

(RESOLUTION)

Background/Discussion – State law requires that the City’s Investment Policy be reviewed and approved by the City Council at least annually. The option of investing in a Local Government Investment Pools (LGIP) has been added to Section 9 of the policy. This option is being added to the City’s Investment Policy to provide an additional option similar to Local Agency Investment Fund (LAIF), which has reached the maximum deposit allowed. The LGIP is governed by Government Code 6509.7 which allows local agencies to pool their investments and Government Code 53601 which sets the requirements for oversight of government funds.

The remainder of the City’s current Investment Policy will remain the same because it provides for all of the standard and material issues that an Investment Policy should include. The Investment Policy’s primary objective is the safety of principal balances, with liquidity and return on investment as the second and third priorities respectively.

Attachment

Action - It is recommended that the City Council, by resolution, approve the City’s Investment Policy.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK APPROVING THE CITY'S INVESTMENT POLICY

BE IT RESOLVED by the City Council of the City of Newark that the following Investment Policy is hereby set forth as follows:

1.0 PURPOSE

The purpose of this policy is to provide an overall guideline to the officers of the City of Newark (City) charged with the responsibility for the management and investment of unexpended funds under authority granted by the City Council. This policy is in compliance with the provision of the California Government Code, Sections 53600 through 53659, authority governing investments for municipal governments.

The City Treasurer, under the direction of the City Manager, is responsible for administering the City's investments and deposits.

2.0 POLICY

It is the policy of the City to invest public funds in a manner which will provide the highest investment return with the maximum security while meeting the daily cash flow demands of the City and conforming to all State and local statutes governing the investment of public funds.

3.0 SCOPE

The investment policy applies to all funds and investment activities under the direct authority of the City.

4.0 PRUDENCE

Investments shall be made with judgment and care - under circumstances then prevailing - which persons of prudence, discretion, and intelligence exercise in the management of their own affairs, not for speculation, but for investment, considering the probable safety of their capital as well as the probable income to be derived.

The standard of prudence to be used by City investment officials shall be the "prudent person" standard and shall be applied in the context of managing an overall portfolio. City investment officers acting in accordance with written procedures and the investment policy and exercising due diligence shall be relieved of personal responsibility for an individual security's credit risk or market price changes, provided deviations from expectations are reported in a timely fashion and appropriate action is taken to control adverse developments.

5.0 OBJECTIVE

The primary objectives, in priority order, of the City's investment activities shall be:

- 5.1 Safety: Safety of principal is the foremost objective of the investment program. Investments shall be undertaken in a manner that seeks to ensure the preservation of capital in the overall portfolio. To attain this objective, diversification is required in order that potential losses on individual securities do not exceed the income generated from the remainder of the portfolio.
- 5.2 Liquidity: The City's investment portfolio will remain sufficiently liquid to enable the City to meet all operating requirements, which might be reasonably anticipated.
- 5.3 Yield: The City's investment portfolio shall be designed with the objective of attaining a market rate of return throughout budgetary and economic cycles, commensurate with the City's investment risk constraints and the cash flow characteristics of the portfolio.

6.0 DELEGATION OF AUTHORITY

Management responsibility for the investment program is delegated to the City Treasurer. No person may engage in an investment transaction except provided under the terms of this policy established by the City. The City Treasurer shall be responsible for all transactions undertaken and shall establish control system to regulate the activities of subordinate officials. The City may contract for the use of investment management services subject to the provisions of this policy and state law.

7.0 ETHICS AND CONFLICTS OF INTEREST

Officers and employees involved in the investment process shall refrain from personal business activity that could conflict with proper execution of the investment program, or which could impair their ability to make impartial investment decisions. Employees and investment officials shall disclose to the City Manager any material financial interests in financial institutions that conduct business within this jurisdiction, and they shall further disclose any large personal financial/investment positions that could be related to the performance of the City, particularly with regard to the time of purchases and sales.

8.0 AUTHORIZED FINANCIAL INSTITUTIONS AND DEALERS

The Treasurer will maintain a list of financial institutions and dealers authorized to provide investment services to the City. Financial institutions and dealers who desire to become qualified bidders for investment transactions will be required to provide, at the Treasurer's discretion, the following:

- Most current audited financial statements

- Most current State and national certification and registration
- Certification of having read, and to recommend investments that are consistent with the City's most current investment policy.

These documents, among other factors, will be used by the Treasurer to determine whether to authorize a financial institution or dealer to provide investment services to the City.

9.0 AUTHORIZED AND SUITABLE INVESTMENTS

The City is empowered by state law to invest in the following types of securities.

- Bankers' Acceptances (BA)

These are short-term credit arrangements to enable businesses to obtain funds to finance commercial transactions. They are time drafts drawn on a bank by an exporter or importer to obtain funds to pay for specific merchandise. By its acceptance, the bank becomes primarily liable for the payment of the draft at its maturity. Bankers' acceptances may not exceed 180 days to maturity.

- Certificates of Deposit (CD)

These are issued by banks or savings and loan associations, also known as time deposits. The first \$250,000 is guaranteed by the Federal Deposit Insurance Corporation (FDIC) in the case of banks, and the Federal Savings and Loan Insurance Corporation (FSLIC) in the case of savings and loan associations. Deposits in excess of \$100,000 must meet collateral requirements as provided by law.

- Commercial Paper

An unsecured short-term promissory note issued by corporations, with maturities ranging from 2 to 270 days. Commercial paper must be rated in the highest tier (e.g., A-1, P-1, F-1, or D-1 or higher) by a nationally recognized rating agency.

- Local Agency Investment Fund (LAIF)

State law established the Local Agency Investment Fund. This fund enables local governmental agencies to remit money to the State Treasurer for the purpose of investment. The State Treasurer has elected to invest these monies with State monies as a part of the Pooled Money Investment Account. Each local governmental agency has the exclusive determination of the length of time its money will be on deposit with the State Treasurer. At the end of each calendar quarter, all earnings derived from investments are distributed by the State Controller to the participating government agencies in proportion to each agency's respective amounts deposited in the Fund and the length of time such amounts remained therein. Prior to the

distribution, the State's costs of administering the program are deducted from the earnings. LAIF has a maximum investment limit of \$65,000,000.

- Local Government Investment Pools (LGIP)

Share of beneficial interest issued by a joint powers authority organized pursuant to California Government Code Section 6509.7. To be eligible for purchase, the LGIP shall meet all of the following two conditions:

- (i) The LGIP shall comply with the requirements of California Government Code Section 53601(p), and
- (ii) The LGIP must seek to maintain a stable Net Asset Value ("NAV").

A maximum of 25 percent of the City's portfolio shall be invested in this category.

Whenever the City has monies invested in a LGIP, a copy of the LGIP's information statement shall be maintained on file.

- Negotiable Certificates of Deposit (NCD)

These are unsecured obligations of the financial institution, bank, or savings and loan bought at par value with the promise to pay face value plus accrued interest at maturity. These investment instruments are traded in secondary markets, thus they have more liquidity than a CD.

- Obligations issued by the United States Government Agencies such as the Government National Mortgage Association (GNMA), the Federal Farm Credit Bank System (FFCB), the Federal Home Loan Bank Board (FHLB), the Federal National Mortgage Association (FNMA), the Student Loan Marketing Association (SLMA), and the Tennessee Valley Authority (TVA).
- Repurchase (RP or REPO) and Reverse Repurchase Agreement

Repurchase agreements are the sale by a bank or dealer of a government security with a simultaneous agreement to repurchase the security on a later date. The security "buyer" in effect lends the "seller" money for the period of the agreement, and the terms of the agreement are structured to compensate the buyer for this. As their name implies, reverse repurchase agreements are the mirror image of a REPO.

- Securities of the U.S. Government

Includes United States Treasury notes, bonds, bills, certificates of indebtedness, and those for which the faith and credit of the United States are pledged for the payment of principal and interest.

- Sweep Account

This is a short-term income fund into which all uninvested cash balances from non-interest bearing accounts are automatically transferred overnight into a commercial paper investment account, authorized by this policy.

Investments and deposits as a percentage of the City's total portfolio and their maximum maturities shall be within legally prescribed limits. To the extent possible, the City will attempt to match its investments with anticipated cash flow requirements. Unless matched to a specific cash flow, the City will not directly invest in securities maturing more than 5 years from the date of purchase.

10.0 COLLATERALIZATION

Amount of securities placed with agent of depository shall at all times be maintained as specified in California Government Code Section 53652 and pursuant to Sections 53656 and 53658.

The purchases of Certificates of Deposit require the depository to secure public funds. If the collateral is government securities, 110 percent market value to the face amount of the deposit is required. Promissory notes secured by first mortgages and first trust deeds used as collateral require 150 percent of market value to the face amount of the deposit. An irrevocable Letter of Credit issued by the Federal Home Loan Bank of San Francisco requires 105 percent of market value to the face amount of the public deposit.

Collateral is also identified as the underlying marketable securities provided by a broker/dealer under a repurchase agreement transaction of the marketable securities provided by the Governmental Agency under a reverse repurchase agreement.

Marketable securities, which are provided as collateral under a repurchase agreement with a broker/dealer, should be held by the safekeeping agent at a market value greater than 102 percent. Request for collateral substitutions and releases should always be subject to the City Treasurer's approval.

11.0 SAFEKEEPING AND CUSTODY

All security transactions, including collateral for repurchase agreements, entered into by the City shall be conducted on a delivery-versus-payment (DVP) basis. Securities will be held by a third party custodian designated by the Treasurer and evidenced by safekeeping receipts as specified in California Government Code Section 53608.

12.0 DIVERSIFICATION

The City will diversify its investments by security type and institution. The purpose of diversification is to reduce overall portfolio risks while attaining market average rates of return.

With the exception of U.S. Treasury securities and authorized pools, no more than 50 percent of the City's total investment portfolio will be invested in a single security type or with a single financial institution.

Investments in bankers' acceptances, commercial papers, and negotiable certificates of deposits, as a percentage of City's total portfolio, shall at all times be maintained on percentage limitations specified by California Government Code Section 53601.

13.0 INTERNAL CONTROL

The City Treasurer will require independent auditors to review and perform testing of cash and investments as part of the City's annual financial audit. The review and testing are designed to ensure that there is no material misstatement of cash and investment balances in the financial statements and to provide internal control assuring compliance with the policies and procedures.

14.0 PERFORMANCE STANDARDS

The investment portfolio shall be designed with the objective of obtaining a rate of return throughout budgetary and economic cycles, commensurate with the investment risk constraints and the cash flow requirements.

15.0 INVESTMENT ALLOCATION

The City Treasurer shall allocate interest from the General Fund to other funds with average daily cash balances in excess of \$10,000. All interest earnings not otherwise allocated shall be allocated to the General Fund.

16.0 INVESTMENT REVIEW COMMITTEE

The Investment Review Committee shall be made up of the City Manager, City Treasurer, and City Clerk and shall meet as deemed necessary by the City Manager to review the execution of this Investment Policy. The Committee may determine that temporarily idle monies be invested in only certain selected securities from those permitted by state law as listed under Item 9.0 above.

17.0 REPORTING

The City Treasurer shall report monthly to the City Council and City Manager the following:

Type of Investment

Financial Institution Name

Date of Investment and Maturity

Principal Amount of Investment

Current Market Value, where possible, for all securities with the maturity of more than 12 months

Rate of Interest or Yield

18.0 INVESTMENT POLICY ADOPTION

The City's investment policy shall be adopted by resolution of the City Council of the City of Newark. The investment policy shall be reviewed annually and be approved by the City Council of the City of Newark.

F.2 Establishment of the Fiscal Year 2018-2019 Appropriations Limit – from Accounting Manager Lee. (RESOLUTION)

Background/Discussion – State law requires the adoption of the Appropriations Limit by resolution prior to the beginning of each fiscal year and a recorded vote of the Council regarding which of the annual adjustment factors have been selected to calculate the Appropriations Limit each fiscal year. On December 14, 2017, the City Council adopted Resolution No. 10725 establishing the Fiscal Year 2017-2018 Appropriations Limit to \$348,992,523.

The State Constitution specifies the annual adjustment factors that the City may choose to calculate the Appropriations Limit. These adjustment factors are comprised of: (1) either the California per capita income or the percentage change in the local assessment roll due to the addition of local nonresidential construction in the City and (2) either the City’s population growth or the population growth of the entire county. The two percentage increases are multiplied together to determine the final percentage by which the prior year’s limit is increased.

The City chooses to use the percentage change in California personal income for the inflationary adjustment. Local assessment roll data necessary to calculate the percentage change in the nonresidential assessed valuation is generally not available from the County Assessor’s Office until well into the fiscal year. In the absence of final information on this important factor, it is recommended that the known California per capita personal income of 3.67 percent be adopted for Fiscal Year 2018-2019. For the population adjustment factor, it is recommended that the City’s percent change in population of 3.94 percent be adopted for Fiscal Year 2018-2019 since the higher percentage change in population is most advantageous to the City.

Based on the above information, the proposed Fiscal Year 2018-2019 Appropriations Limit is \$376,055,491. The 2018-2019 Biennial Budget contains appropriations subject to the limit and the budget is well below that limit.

Attachment

Action - It is recommended that the City Council, by resolution, update the Appropriations Limit and annual adjustment factors for Fiscal Year 2018-2019.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK UPDATING THE APPROPRIATIONS LIMIT AND
ANNUAL ADJUSTMENT FACTORS FOR FISCAL YEAR
2018-2019

WHEREAS, pursuant to Article XIII-B of the Constitution of the State of California, the City Council of the City of Newark has established an "Appropriations Limit" for Fiscal Year 2018-2019; and

WHEREAS, an Appropriations Limit has been determined in accordance with the Uniform Guidelines for implementation of Article XIII-B of the California Constitution prepared by the League of California Cities dated April 1980 and as revised March 1991, and pursuant to the provision of Chapter 1205 of the statutes of 1980 and modified by Proposition 111 and SB 88, Chapter 60 of the Statutes of 1990; and

WHEREAS, Proposition 111 requires a recorded vote of the Council regarding which of the annual adjustment factors have been selected;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark, establishes the City's percent change in population of 3.94 percent and the California per capita personal income change of 3.67 percent as the factors in calculating the Appropriations Limit for Fiscal Year 2018-2019;

BE IT FURTHER RESOLVED that the City Council of the City of Newark hereby establishes the amount of \$376,055,491 as the Appropriations Limit for Fiscal Year 2018-2019.

F.3 Amendment of the 2016-2018 Biennial Budget and Capital Improvement Plan for Fiscal Year 2017-2018 for General Revisions – from Administrative Services Director Woodstock. (RESOLUTION)

Background/Discussion – Fiscal Year 2017-2018 is the second year in the City’s two-year budget cycle. As part of the year-end closing, a number of general revisions are proposed to the annual budget. These revisions affect activities where savings or deficiencies have been identified. Savings are usually realized when there are staffing vacancies or reduction in expenditures for services or supplies. Deficiencies occur as a result of unforeseen increases in cost or need for services or supplies. A typical situation having no fiscal impact on the overall budget but requires a budget revision or amendment, is a reallocation of resources from one activity to another. The redistribution of resources may be necessary in order to respond to changing demands and needs.

The year-end financial audit requires that necessary transfers be approved by the City Council. The transfers for the PERS Reserve Policy, the Fund Balance Policy and the Debt Service payments have all been identified on Exhibit A along with the year-end Amendments.

The expenditure modifications to the General Fund operating budget for Fiscal Year 2017-2018 include an increase in cost for Recreation contract instructors and part-time staff and a change in the charge fund for Community Development Maintenance staff.

In other funds, expenditure modifications are all offset by fund balance in each of those accounts. The adjustments to those accounts include an increase in ABAG deductible costs, increases in Equipment Maintenance expenses and an increase in costs of two projects funded by the Community Development Maintenance Fee.

Exhibit A lists the adjustments to the budget expenditures and transfers.

Attachments

Action - It is recommended that the City Council, by resolution, amend the 2016-2018 Biennial Budget and Capital Improvement Plan for Fiscal Year 2017-2018.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK AMENDING THE 2016-2018 BIENNIAL BUDGET
AND CAPITAL IMPROVEMENT PLAN FOR FISCAL YEAR
2017-2018

BE IT RESOLVED by the City Council of the City of Newark that the certain document entitled “2016-2018 Biennial Budget and Capital Improvement Plan of the City of Newark” for Fiscal Year 2017-2018 is hereby amended as set forth in Exhibit A attached.

Exhibit A - Year-End Budget Amendments and Transfers

<u>Department</u>	<u>Account</u>	<u>To</u>	<u>From</u>	<u>Description</u>
<u>General Fund:</u>				
Property tax			\$ 200,000	Increase revenue projections
Sales Tax			\$ 300,000	Increase revenue projections
Franchise Fees			\$ 700,000	Increase revenue projections
City Clerk	010-1013-5271	\$ 10,000		Cost of updating Municipal Code
Com Dev Salaries	020-2025-4110	\$ 303,000		Change budget fund from 025 to 020
Recreation	030-VAR-5271	\$ 123,000		Contract instructor increase in cost
Parks and Landscape	040-4014-5280	\$ 42,900		Budget for PG&E funds for tree related work
Permit Revenue	040-0000-3995		\$ 42,900	Revenue from PG&E
Transaction Tax Audit Services	052-1025-5271	\$ 1,500		Consultant for Measure GG audit services
<u>Other Funds</u>				
Justice Assistance Grant	012-1030-5120	\$ 1,000		Supplies
	012-1030-5271	\$ 3,000		Services
	012-1030-3550		\$ 10,200	Revenue
<u>Community Development</u>				
Maintenance Fund	025-5600-5280-1150	\$ 20,000		Increase in cost of Old Town Specific Plan work.
	025-2025-4110	\$ (303,000)		Moving salary budget to 020-2025-4110
	025-2010-5280-1187	\$ 40,000		Increase in cost of NewPark Specific Plan work.
	025-0000-2991		\$ 60,000	Com Dev Maint Fee Fund Balance
Office Support	706-9120-5111	\$ 7,000		Office supplies
	706-0000-2991		\$ 7,000	Office Support Fund Balance
Risk Management	708-9230-5271	\$ 35,000		ABAG deductible costs
	708-0000-2991		\$ 35,000	Risk Management Services Fund Balance
Equipment Maintenance	701-9310-5261	\$ 40,000		Unexpected vehicle repairs
	701-0000-2991		\$ 40,000	From 701 Fund Balance
<u>Transfers:</u>				
			<u>Up to:</u>	
PERS Reserve:	010-1025-4110		\$ 150,000	Salary Surplus
	010-1030-4110		\$ 1,200,000	Salary Surplus
	010-1031-4110		\$ 800,000	Salary Surplus
	010-1033-4110		\$ 30,000	Salary Surplus
	008-0000-2992	\$ 2,180,000		PERS Reserve Fund
Com Dev Maint Fee:	020-0000-2992	\$ 303,000		transfer to cover cost of salaries
	025-0000-2993		\$ 303,000	

Exhibit A - Year-End Budget Amendments and Transfers

<u>Department</u>	<u>Account</u>	<u>To</u>	<u>From</u>	<u>Description</u>
General Transfers:	001		\$ 165,000	Paramedic Tax
	003		\$ 108,000	Alameda County Fire Fees
	010 and 030		\$ 1,043,850	General Fund
	301	\$ 114,000		Debt Service 2002 COP Interest only
	302	\$ 752,850		Debt Service 2012 COP & Refunding
	401	\$ 250,000		To Capital Reserves
	010	\$ 200,000		To Equipment Replacement Reserves

F.4 Calling and giving notice of the holding of a General Municipal Election on Tuesday, November 6, 2018, for the election of certain officers of the City of Newark – from City Clerk Harrington. (MOTION)(RESOLUTION)

Background/Discussion – The City’s next General Municipal Election will be held on November 6, 2018. A Mayor will be elected for a two-year term and two Council Members will be elected for four-year terms. Candidates may file nomination papers from July 16, 2018, through August 10, 2018. Should an incumbent fail to file, then the nomination period would extend to August 15, 2018 for that incumbent’s elective office. The incumbent who did not file would not be eligible to file during the extended period.

The Alameda County Registrar of Voters (ROV) establishes polling places, secures precinct workers, prepares sample and official ballots, provides absentee voting, and tabulates the votes. In order for the ROV to render these services, the City must adopt a resolution requesting the services of the ROV through the Alameda County Board of Supervisors.

The Registrar’s estimate for election services is between \$4.00 and \$6.00 per registered voter. Based on Newark’s current voter registration of 21,300, the estimated cost for the election will be between \$85,200 and \$127,800, plus other publication printing, translation, and supply costs borne directly by the City. Funds to cover the services provided by the County and other vendors are included in the 2018-2019 fiscal year budget.

Resolution No. 7400 requires the City Clerk to estimate the cost and collect the deposit for the optional Candidate Statement of Qualifications. Candidates are responsible for the actual costs associated with their Statement of Qualifications. Based on the last election, staff has estimated an approximate cost of \$400 per statement. The candidate will be refunded any overage or billed for any additional costs within 30 days of the final invoice from the ROV.

Attachment

Action - It is recommended that the City Council, by motion, approve the estimated cost of \$400 to be paid by each candidate at the time nomination papers are filed for his/her Statement of Qualifications and, by resolution calling for the holding of a General Municipal Election to be held on Tuesday, November 6, 2018, for the election of certain officers; requesting the Alameda County Board of Supervisors to consolidate the General Municipal Election with the General Election to be held on November 6, 2018; and request services of the Registrar of Voters.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEWARK CALLING FOR THE HOLDING OF A GENERAL MUNICIPAL ELECTION TO BE HELD ON TUESDAY, NOVEMBER 6, 2018, FOR THE ELECTION OF CERTAIN OFFICERS; REQUESTING THE ALAMEDA COUNTY BOARD OF SUPERVISORS TO CONSOLIDATE THE GENERAL MUNICIPAL ELECTION WITH THE GENERAL ELECTION TO BE HELD NOVEMBER 6, 2018; AND REQUESTING SERVICES OF THE REGISTRAR OF VOTERS

WHEREAS, under the provisions of the laws relating to general law cities in the State of California, a General Municipal Election shall be held on November 6, 2018, for the purpose of electing one Mayor for a full term of two years and two Members of the City Council for full terms of four years; and

WHEREAS, it is desirable that the General Municipal Election be consolidated with the General Election to be held on the same date and that within the City the precincts, polling places, and election officer of the two elections be the same, and that the Registrar of Voters of the County of Alameda canvass the returns of the General Municipal Election and that the election be held in all respects as if there were only one election;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark does hereby declare, determine, and order as follows:

- Section 1: That pursuant to the requirements of the laws of the State of California relating to General Law Cities, there is called and ordered to be held in the City of Newark, California, on Tuesday, November 6, 2018, a General Municipal Election for the purpose of electing one Mayor for the full term of two years and two Members of the City Council for the full term of four years.
- Section 2: That the ballots to be used at the election shall be in the form and content as required by law.
- Section 3: That the polls for the election shall be open at 7:00 a.m. of the day of the election and shall remain open continuously from that time until 8:00 p.m. of the same day when the polls shall be closed.
- Section 4: That in all particulars not recited in this resolution, the election shall be held and conducted as provided by law for holding municipal elections.
- Section 5: That the Board of Supervisors of the County of Alameda is hereby requested to consent and agree to the consolidation of the General Municipal Election with the General Election on Tuesday, November 6, 2018.

- Section 6: That the Board of Supervisors is requested to issue instructions to the Registrar of Voters to take any and all steps necessary for the holding of the consolidated election.
- Section 7: That the City of Newark recognizes that additional costs will be incurred by the County by reason of this consolidation and agrees to reimburse the County based on the County's established consolidation rate.
- Section 8: That notice of the time and place of holding the election is given and that the City Clerk is authorized to give additional notice of the election in time, form, and manner as required by law.
- Section 9: The City Council authorizes the City Clerk to administer said election and all reasonable and actual election expenses shall be paid by the City upon presentation of a properly submitted bill.
- Section 10: That the City Clerk is directed to forward a certified copy of this resolution to the Board of Supervisors of Alameda County and the Registrar of Voters of Alameda County.

F.5 Notification to nonelected officials and designated employees to review their Conflict of Interest Code – from City Clerk Harrington. (MOTION)

Background/Discussion – The California Political Reform Act requires that biennially every local Conflict of Interest Code reviewing body shall direct any local group which has adopted a Conflict of Interest Code to review its Code and, if a change in its Code is necessitated by changed circumstances, to prepare and submit an amended Conflict of Interest Code to the code reviewing body.

The only local group in Newark that has adopted a Conflict of Interest Code is the nonelected officials and designated employee group. The code reviewing body for this group is the City Council. The Political Reform Act provides that the City Council must notify the nonelected officials and employees to review their Conflict of Interest Code and submit no later than October 1, 2018, either a written statement that no change in the Code is necessary or that an amended Code must be adopted.

Attachment

Action - It is recommended that the City Council, by motion, notify the nonelected officials and designated employees to review their Conflict of Interest Code and file their report no later than October 1, 2018.

F.6 Authorization for the City Attorney to sign a Certification and Mutual Indemnification Agreement with the County of Alameda - from Accounting Manager Lee and City Attorney Benoun. (RESOLUTION)

Background/Discussion – The City currently has an agreement with Alameda County which authorizes the collection of various taxes, assessments, and fees on the secured property tax roll. Since the passage of Proposition 218 in 1996, the County has required that each agency or district sign an annual statement certifying that each assessment, fee, and/or special tax placed on the tax rolls meets the requirements of Proposition 218.

Staff has reviewed each of the City’s taxes, assessments, and fees to ensure compliance with the proposition. It is the opinion of the City Attorney that the City’s taxes, assessments, and fees are in compliance with Proposition 218 requirements and the City is able to sign the certification.

Attachment

Action - It is recommended that the City Council, by resolution, authorize the City Attorney to sign a Certification and Mutual Indemnification Agreement with the County of Alameda.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK AUTHORIZING THE CITY ATTORNEY TO SIGN A
CERTIFICATION AND MUTUAL INDEMNIFICATION
AGREEMENT WITH THE COUNTY OF ALAMEDA

BE IT RESOLVED by the City Council of the City of Newark that the City Attorney of the City of Newark be and is hereby authorized to sign a Certification and Mutual Indemnification Agreement for the County of Alameda, said agreement on file in the Office of the City Clerk.

Certification and Mutual Indemnification Agreement

The CITY OF NEWARK (hereafter referred to as public agency), by and through its Attorney, hereby certifies that to its best current understanding of the law, the taxes, assessments and fees placed on the 2018/19 Secured Property Tax bill by the public agency met the requirements of Proposition 218 that added Articles XIIC and XIID to the State Constitution.

Therefore, for those taxes, assessments and fees which are subject to Proposition 218 and which are challenged in any legal proceeding on the basis that the public agency has failed to comply with the requirements of Proposition 218; the public agency agrees to defend, indemnify and hold harmless the County of Alameda, its Board of Supervisors, its Auditor-Controller/Clerk-Recorder, its officers and employees.

The public agency will pay any final judgment imposed upon the County of Alameda as a result of any act or omission on the part of the public agency in failing to comply with the requirements of Proposition 218.

The County of Alameda, by and through its duly authorized agent, hereby agrees to defend, indemnify and hold harmless the public agency, its employees, agents and elected officials from any and all actions, causes of actions, losses, liens, damages, costs and expenses resulting from the sole negligence of the County of Alameda in assessing, distributing or collecting taxes, assessments and fees on behalf of the public agency.

If a tax, assessment or fee is challenged under Proposition 218 and the proceeds are shared by both the public agency and the County of Alameda; then the parties hereby agree that their proportional share of any liability or judgment shall be equal to their proportional share of the proceeds from the tax, assessment or fee.

The above terms are accepted by the public agency and I further certify that I am authorized to sign this agreement and bind the public agency to its terms.

CITY OF NEWARK

COUNTY OF ALAMEDA

Dated: _____

Dated: _____

By: _____
(Signature)

By: _____
(Signature)

(Print Name)

(Print Name)

(Print Title)

President of the Board of Supervisors
County of Alameda, California

(Print Title)

Approved as to form:

Farand C. Kan,
Deputy County Counsel

F.7 Authorization for the City Manager to sign Task Order No. 15 to the Joint Powers Agreement with the City of Fremont for Paratransit Services – from Recreation and Community Services Director Zehnder. (RESOLUTION)

Background/Discussion – Door-to-door shared ride transportation services are an essential service offered to Newark residents who are 70 years of age and older who are unable to access public transit independently due to a medical or disabling health condition. These paratransit services are provided to elderly and disabled Newark residents in order to improve their access to health care, shopping, errands and social and recreational activities. Funding for Newark Paratransit services is provided through Measure B and Measure BB sales tax and administered through the Alameda County Transportation Committee.

The size and scope of Fremont’s program provides Newark residents with expanded and efficient services including a new Direct Ride-Hailing Service with Lyft. The following table provides a summary of services to be provided through the City of Fremont under a contract for services with MV Transportation, local taxi companies, Lyft and Life ElderCare:

FY18/19 Service Parameters	Fremont/Newark Wheelchair Accessible Paratransit Service
Service Hours	Monday – Friday, 8 am – 6 pm *Saturday and Sunday, 9 am – 3 pm *limited Sat./Sun. service within Newark
Service Area	All of Fremont, Newark and Union City.
*Fares	\$4 per one-way trip within Newark, Fremont and Union City
Reservation Hours	Monday – Friday, 8 am – 5 pm Centralized reservations and dispatch with our contracted service provider that ensures that riders can reach a live person to make reservations and to check on the status of a ride (weekdays and weekends).
Enrollment processing time	On the same day of receipt of application. Expedited access to transportation can also be arranged on the same day or the next day as scheduling capacity allows.

*The following justification was used in evaluating a fee increase from \$2.50 to \$4 per one-way trip for the wheelchair-accessible paratransit service through MV Transportation:

- There has been no fare increases in the program in the last 10 years.
- Wheelchair-accessible service costs have increased substantially over the years. The Fiscal Year 18/19 billing rate for the wheelchair-accessible van service is \$59.49 per hour. Typically 1.5 passengers are transported per hour thus a one-way trip on the wheelchair accessible service is about \$40. Rides on the taxi and the new subsidized Lyft service will cost the City \$16 - \$20 per one-way trip.
- Other transportation services (taxi and the new subsidized Lyft rides) have a passenger share of cost of \$4 for a \$16 subsidy on the ride from the City. Raising the fare for the service will also make the fees more equal across the services and be a disincentive for

ambulatory riders who previously have wanted to keep using the more expensive wheelchair-accessible van service.

- Shifting ambulatory rider demand to taxi and Lyft will allow us to experiment with providing more same-day ride capacity for individuals who use wheelchairs, thereby creating more equity across the services.

FY18/19 Service Parameters	Subsidized Taxi Voucher Program
Service Hours	24 hours per day, seven days a week. Ride requests are made same day. Riders will be picked up within 45 minutes of their call or within 10 minutes of time a time order request.
Service Area	All of Newark, Fremont and Union City.
Fares	Depends on distance traveled. \$4 per taxi voucher (purchased through City of Fremont). Each voucher subsidizes up to \$16 in taxi meter fare. Riders responsible for fares beyond the voucher subsidy.
Enrollment Requirements	Must be enrolled in the Fremont/Newark Paratransit program.

FY18/19 Service Parameters	“NEW” Subsidized Direct-Ride Hailing Service with Lyft and Ride-Hailing Service with Life Elder Care
Service Hours	24 hours per day, seven days a week for rides ordered through an individual’s smart phone. Rides provided through LifeElder Care (for individuals without smartphones) will be available Monday-Friday, 8 am – 6 pm. Ride requests are made on the same day through the Lyft app on the rider’s own smartphone. Riders will receive special codes to apply to their rides in order to receive subsidized rides. Riders without smartphones will call Life ElderCare for a ride and Life ElderCare will book the individual’s ride on the Lyft ride-hailing platforms.
Service Area	All of Newark, Fremont and Union City. Out-of-Area medical trips by staff approval only.
Fares	Riders pay the first \$4 of a trip and up to \$16 of the trip will be subsidized. Riders are responsible for all fares above \$20. For staff-approved medical out-of-area trips, rider pays first \$4 of trip and up to \$46 of the trip will be subsidized; riders are responsible for all fares above \$50. Passenger fares will be charged directly through the Lyft app or by Life ElderCare.
Enrollment Requirements	Must be enrolled in the Fremont/Newark Paratransit program.

In addition to paratransit, taxi voucher and the new direct-ride hailing services, Newark residents benefit from the high level of service coordination and customer service provided by the City of Fremont’s paratransit services team. City of Fremont staff ensure that elderly and disabled residents have expedited access to transportation services (applications can be processed within hours and urgent need transportation can be scheduled on the next day and sometimes even on

the same day). Paratransit enrollment packets are sent out within a day or two of receipt of a completed application.

The City has contracted for paratransit services with the City of Fremont since September 1, 2013. For fiscal year 2018-2019, staff is recommending funding in the amount of \$240,000.

City staff and the City Attorney have reviewed the agreement and recommend that it be approved.

Attachment

Action - It is recommended that the City Council, by resolution, authorize the City Manager to sign Task Order No. 15 to the Joint Powers Agreement with the City of Fremont for Newark Paratransit services.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK AUTHORIZING THE CITY MANAGER TO SIGN
TASK ORDER NO. 15 TO THE JOINT POWERS AGREEMENT
WITH THE CITY OF FREMONT FOR NEWARK
PARATRANSIT SERVICES

WHEREAS, the City entered into an agreement entitled Joint Powers Agreement between the City of Newark and the City of Fremont on August 17, 2009; and

WHEREAS, the City of Fremont agreed to perform services in accordance with the Task Orders issued by the City of Newark; and

WHEREAS, the City of Newark wishes to request paratransit services for the 2018-2019 program year;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Newark that the City Manager of the City of Newark be and is hereby authorized to sign Task Order No. 15 to the Joint Powers Agreement with the City of Fremont for paratransit services, said agreement on file in the Office of the City Clerk.

**TASK ORDER NO. 15 TO JOINT POWERS AGREEMENT BETWEEN
THE CITY OF NEWARK AND THE CITY OF FREMONT
(PARATRANSIT SERVICES FY 2018/19)**

This Task Order No. 15 ("Task Order") is made and entered into by and between the City of Newark, a municipal corporation ("Newark"), and the City of Fremont, a municipal corporation ("Fremont").

RECITAL

A. Newark and Fremont entered into an agreement entitled Joint Powers Agreement between the City of Newark and the City of Fremont ("Agreement"), by which Fremont agreed to perform services in accordance with Task Orders issued by Newark.

NOW, THEREFORE, THE PARTIES HEREBY AGREE AS FOLLOWS:

- 1. INCORPORATION BY REFERENCE.** This Task Order hereby incorporates by reference all terms and conditions set forth in the Agreement.
- 2. SCOPE OF TASK ORDER.** Fremont shall perform the services described in Exhibit "A," attached hereto and incorporated herein by reference, in accordance with the terms and conditions of the Agreement.
- 3. PAYMENT.** For services performed by Fremont in accordance with this Task Order, Newark will compensate Fremont in accordance with the terms and conditions of the Agreement, in an amount not to exceed \$240,000 (two hundred and forty thousand dollars), as described in Exhibit "B," attached hereto and incorporated by reference.
- 4. SIGNATURES.** The individuals executing this Task Order represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Task Order on behalf of the respective legal entities of the Newark and Fremont.

IN WITNESS WHEREOF, the Newark and Fremont do hereby agree to the full performance of the terms set forth herein.

CITY OF FREMONT

Signature: _____

By: Brian Stott

Title: Deputy City Manager

Date: _____

CITY OF NEWARK

Signature: _____

By: John Becker

Title: City Manager

Date: _____

APPROVED AS TO FORM:

Signature: _____

By: Nellie Ancel

Title: Senior Deputy City Attorney

APPROVED AS TO FORM:

Signature: _____

By: David Benoun

Title: City Attorney

EXHIBIT A TO TASK ORDER NO. 15
SCOPE OF SERVICES
Paratransit Services for FY 2018-2019

1. GENERAL DESCRIPTION

The City of Fremont will provide door-to-door, shared ride transportation services to Newark residents needing wheelchair-accessible vehicles who are 70 years of age and older or who are unable to access public transit independently due to a medical or disabling health condition. Subsidized taxi and ride-hailing services will be provided to ambulatory Newark residents who are 70 years of age and older or who are unable to access public transit independently due to a medical or disabling health condition. These transportation services are provided to elderly and disabled Newark residents in order to improve their access to health care, shopping, errands and social and recreational activities. Services will be provided from July 1, 2018 through June 30, 2019.

2. PERSONNEL

- a. Personnel working on this program will include members of the City of Fremont's Transportation and Mobility Services team. The Fremont team consists of a Program Manager, Program Coordinator, Office Support Specialist and Public Services Assistant.
- b. The City of Fremont has contracted with MV Public Transportation, Inc., local taxi companies, Lyft and Life ElderCare to provide paratransit services for the specified period.

3. SERVICE REQUIREMENTS

a. Program Parameters:

- (1) Wheelchair-accessible paratransit rides through MV Transportation will be offered during the following hours:
Monday – Friday, 8 am – 6 pm
Saturday and Sunday (limited service access), 9 am – 3 pm
No services will be provided on the following holidays:
New Year's Eve, New Year's Day, Martin Luther King Day, Presidents Day, Memorial Day, Independence Day, Labor Day, Veterans Day, Thanksgiving Day, Day following Thanksgiving, Christmas Eve, Christmas Day.

Rides provided by taxi companies and Lyft (for individuals with smartphones) will be available 24 hours a day, seven days a week.

Rides provided by Life ElderCare on ride-hailing services (for individuals without smartphones) will be available Monday – Friday, 8 am – 6 pm.

(2) Rides will be provided within Fremont, Newark and Union City.

(3) Passenger Fares:

Fares for rides through MV Transportation: \$4 per one-way trip within Newark, Fremont and Union City. Fares to be paid with a pre-paid paratransit voucher. Paratransit program participants can purchase pre-paid voucher books (10 pre-paid vouchers per book) from the City of Fremont at a cost of \$40 per book.

Fares for taxi rides: Depends on distance traveled. Riders will purchase taxi vouchers from the City of Fremont at a cost of \$4 per taxi voucher. Each taxi voucher subsidizes up to \$16 in taxi meter fare. Riders are responsible for fares beyond the voucher subsidy.

Fares for ride-hailing services: Riders will pay the first \$4 of a trip and up to \$16 of the trip will be subsidized. Riders are responsible for all fares above \$20. For staff-approved medical out-of-area trips, rider pays first \$4 of a trip and up to \$46 of the trip will be subsidized; riders are responsible for all fares above \$50. Passenger fares will be charged directly through the Lyft app or by Life ElderCare.

(4) Ride Requests with MV Transportation:

Ride reservations will be taken: Monday – Friday, 8 am – 5 pm
Reservations are taken up to 7 days in advance. Rides are reserved on a first call, first served basis and are subject to vehicle space availability. Reservations and dispatch are provided through MV Transportation during the hours specified above. Standing order requests are processed and approved by the City's Transportation and Mobility Services team.

Ride Requests with Taxi Companies:

Ride requests are made on the same day. Riders will be picked up within 45 minutes of their call or within 10 minutes of a time order request.

Direct Ride-Hailing Service with Lyft:

Ride requests are made on the same day through the Lyft app on the rider's own smartphone. Riders will receive special codes to apply to their rides in order to receive subsidized rides.

Ride-Hailing Service with Life ElderCare:

Ride requests are made on the same day. Riders without smartphones will call Life ElderCare for a ride and Life ElderCare will book the individual's ride on the Lyft or Uber ride-hailing platforms.

b. Services to be provided by the Transportation and Mobility Services Team include:

(1) Service Eligibility Screening & Program Enrollment

Staff will review applications, determine eligibility and enroll eligible individuals for paratransit services. A Rider's Guide will be provided to each enrolled participant. Pre-paid paratransit vouchers books and taxi vouchers will be sold to program participants by mail or in person at Fremont City Hall.

(2) Consumer Education and Service Coordination

Staff will provide one-on-one assistance to program participants who are experiencing difficulties in accessing or using the City's transportation services.

(3) Program Monitoring

Fremont's Program Manager will be responsible for the ongoing monitoring and evaluation of paratransit service operations. Staff from Fremont and Newark will meet quarterly to evaluate program and make adjustments as necessary to service operations.

(4) Service Documentation and Quarterly Invoicing

Documentation of paratransit services provided to each client will be kept in a manner consistent with the City of Fremont's existing practice. Service statistics will be maintained and submitted to City of Newark staff on a monthly basis, and as otherwise

requested. The City of Newark will be responsible for all required reporting to the Alameda County Transportation Commission.

Fremont's Program Manager will submit a quarterly invoice to the City of Newark for paratransit services provided. Quarterly invoice will include the City of Fremont's administrative fee and reimbursement for the paratransit services provided to Newark residents through the City's contract with MV Public Transportation, Inc., local taxi companies, Lyft and Life ElderCare.

**EXHIBIT B TO TASK ORDER NO. 15
BUDGET
Paratransit Services for FY 2018-2019**

The FY 2018-2019 budget for Task Order No. 15 is:

Paratransit Services:	Up to a maximum of \$209,590
Administrative Fee:	Up to a maximum of \$30,410

TOTAL BUDGET	\$240,000
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Quarterly invoicing to Newark will be broken down as follows:

- **Trip costs, by month, for all one-way trips provided to Newark residents:**
 - a) Total monthly charge for door-to-door paratransit services (based on each invoice received from MV Public Transportation) divided by the total number of one-way trips provided and multiplied by the number of one-way trips provided to Newark residents.
 - b) Total number of taxi vouchers redeemed by Newark residents multiplied by \$19 per voucher redeemed.
 - c) Total monthly subsidized trip costs for Lyft rides provided through Newark residents' Lyft smartphone app as invoiced by Lyft.
 - d) Total monthly subsidized trip costs for Lyft and Uber rides provided by Life ElderCare for Newark residents as invoiced by Life ElderCare.
- **The administrative fee (14.51% of total trip cost amount) will be billed quarterly.**
- **Any revenues from paratransit voucher sales to Newark residents will be deducted from the quarterly invoice.**

The City of Newark will reimburse the City of Fremont for service provision and administrative costs associated with the Paratransit Program. The City of Fremont shall submit an invoice to Newark within twenty (20) days after the end of each service quarter. Newark shall make payments to Fremont within thirty (30) days of receipt of an invoice.

F.8 Authorization for the City Manager to sign Task Order No. 16 to the Joint Powers Agreement with the City of Fremont for Case Management services – from Recreation and Community Services Director Zehnder. (RESOLUTION)

Background/Discussion – Case Management is a vital component of the services offered through the City of Newark Senior Services program. It targets frail, homebound Newark seniors, striving to keep the elder person in their own home rather than being institutionalized. An assessment is made of the senior’s overall well-being, including health (physical and mental), financial, transportation and/or housing needs, personal safety issues, and the ability to care for themselves, either on their own or with assistance. If appropriate, a care plan for services is begun to assist the client with whatever services are needed and to provide ongoing monitoring of the client and the services put in place.

The Case Management Program receives referrals from the Police and Fire Departments. As first responders they encounter elderly that need assistance on many levels. The case manager is the answer to many of these referrals. Case Management services often result in the elimination of repeated callouts for the Police and Fire Departments as a crisis situation receives prompt intervention. This allows safety personnel to focus on other business within the City, thereby not straining the City’s safety resources. With ever-increasing demands on City staff, it is reassuring to know that assistance is available for the City’s most vulnerable residents.

The City has contracted for Case Management services with the City of Fremont since July 1, 1997. The Fiscal Year 2017-2018 agreement was in the amount of \$5,000 and provided one and one half hours of Case Management services per week. Staff is recommending that the Case Management funding for Fiscal Year 2018-2019 remain at \$5,000. Based on the number of cases opened during the current fiscal year, it appears that one and one half hour of service per week will be sufficient to meet the needs of Newark clients. If demand exceeds the available funding, new clients may be placed on a waiting list or directed to other fee-based agencies until the case load can accommodate them.

City staff and the City Attorney have reviewed the agreement and recommend that it be approved.

Attachment

Action - It is recommended that the City Council, by resolution, authorize the City Manager to sign Task Order No. 16 to the Joint Powers Agreement with the City of Fremont for Case Management Services.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK AUTHORIZING THE CITY MANAGER TO SIGN
TASK ORDER NO. 16 TO THE JOINT POWERS AGREEMENT
WITH THE CITY OF FREMONT FOR CASE MANAGEMENT
SERVICES

WHEREAS, the City entered into an agreement entitled Joint Powers Agreement between the City of Newark and the City of Fremont on August 17, 2009; and

WHEREAS, the City of Fremont agreed to preform services in accordance with Task Orders issued by the City of Newark; and

WHEREAS, the City of Newark wishes to request Case Management services for the 2018-2019 program year;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Newark that the City Manager of the City of Newark be and is hereby authorized to sign Task Order No. 16 to the Joint Powers Agreement with the City of Fremont for Case Management services, said agreement on file in the Office of the City Clerk.

TASK ORDER NO. 16 TO JOINT POWERS AGREEMENT BETWEEN THE CITY OF NEWARK AND THE CITY OF FREMONT

This Task Order No. 16 ("Task Order") is made and entered into by and between the City of Newark, a municipal corporation ("Newark"), and the City of Fremont, a municipal corporation ("Fremont").

RECITAL

A. Newark and Fremont entered into an agreement entitled Joint Powers Agreement between the City of Newark and the City of Fremont ("Agreement"), by which Fremont agreed to perform services in accordance with Task Orders issued by Newark.

NOW, THEREFORE, THE PARTIES HEREBY AGREE AS FOLLOWS:

- 1. INCORPORATION BY REFERENCE.** This Task Order hereby incorporates by reference all terms and conditions set forth in the Agreement.
- 2. SCOPE OF TASK ORDER.** Fremont shall perform the services described in Exhibit "A," attached hereto and incorporated herein by reference, in accordance with the terms and conditions of the Agreement.
- 3. PAYMENT.** For services performed by Fremont in accordance with this Task Order, Newark will compensate Fremont in accordance with the terms and conditions of the Agreement, in an amount not to exceed \$5,000 (five thousand dollars), as described in Exhibit "B," attached hereto and incorporated by reference.
- 4. SIGNATURES.** The individuals executing this Task Order represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Task Order on behalf of the respective legal entities of the Newark and Fremont.

IN WITNESS WHEREOF, the Newark and Fremont do hereby agree to the full performance of the terms set forth herein.

CITY OF FREMONT

CITY OF NEWARK

Signature: _____

Signature: _____

By: Suzanne Shenfil, Human Services Director

By: John Becker, City Manager

Date: _____

Date: _____

APPROVED AS TO FORM:

APPROVED AS TO FORM:

Signature: _____

Signature: _____

By: Nellie Ancel

By: David Benoun

Title: Senior Deputy City Attorney II

Title: City Attorney

EXHIBIT A TO TASK ORDER NO. 16
SCOPE OF SERVICES – Case Management Services

2018-2019 Program Year

1. GENERAL DESCRIPTION: TIME

1.1. To assist frail elderly residing in Newark to remain living independently in their homes for as long as possible. This service is an individualized service that assists low income, functionally impaired older adults in obtaining needed health, economic, and social services to retain independent living in the community, thereby delaying or preventing institutionalization.

2. PERSONNEL

- a. Personnel to be supplied will include a professional Case Manager and whenever feasible a Case Management intern, as approved by Newark. Case management services provided will include but are not limited to the services outlined below (see paragraph 3).

3. SERVICE REQUIREMENTS

- a. Services that offer individualized casework that promote and maintain the optimum level of functioning in the least restrictive setting possible are to be provided to the frail elderly residents of Newark who are in need of assistance.

- b. Services that the Case Manager and Case Management intern will provide include:

- (1) Comprehensive Needs Assessment

- A comprehensive evaluation of the older person's health, financial, environmental, and social needs through home visits.

- (2) Care Planning

- Based on the assessment, a care plan is developed that is realistic, attainable, and affordable. The development of the care plan is a cooperative effort between the older person, the case manager, the family, and any others involved in the care of that person.

- (3) Service Coordination

- Services identified in the care plan are arranged and coordinated, drawing on the client's family or other social supports wherever practical.

- (4) Follow Up

- Follow up on services is provided to ensure that services are obtained and provided adequately to meet the needs of the client, modifying the care plan when necessary.

- (5) Monitoring

- After the care plan has been implemented, ongoing monitoring of the client situation is provided to determine progress and whether modification of the care plan is needed.

c. Schedule

- (1) A Case Manager will be assigned to Newark throughout the life of the Agreement, unless otherwise requested by Newark. The Case Manager will provide one and one-half hours of service per week to Newark. A case manager or case management intern will be available to provide service and phone consultation on an as needed basis each week, Monday through Friday.

d. Specific Program Goals

- (1) Various forms of outreach will be completed by the Case Manager intern including providing educational talks to target groups, writing short articles for local media, and other outreach as needed.
- (2) Contractor will provide information and referrals to Newark.
- (3) All cases, under normal circumstances, will be screened and assisted by the Case Management intern.
- (4) Documentation of case management services provided to each client will be kept in a manner consistent with the Contractor's existing practice. Service statistics will be maintained and submitted to City of Newark staff on a monthly basis, and as otherwise requested. Fremont will obtain agreement from clients to provide Newark access to all records of Newark residents, including written summaries and copies of records.

EXHIBIT B TO TASK ORDER NO. 16
Budget

2018-2019 Program Year

The City of Newark will pay the City of Fremont for personnel and overhead costs associated with the Case Management Program. Costs are itemized below.

PERSONNEL

Part Time Case Manager	\$4,037
\$51.76/hr. x 1.5 hrs/wk x 52 weeks	

TOTAL PERSONNEL COSTS	<u>\$4,037</u>
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Overhead	\$ 963
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TOTAL BUDGET	\$5,000
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I.1 Resolution supporting the Chinese American World War II Veterans Congressional Gold Medal Act – from Mayor Nagy. (RESOLUTION)

Background/Discussion – The Congressional Gold Medal is the highest civilian honor bestowed by Congress and has been awarded in recent years to World War II groups including the Native American code talkers, the Monuments Men, and Filipino World War II veterans.

Chinese American World War II veterans served with distinction, in spite of the fact that the Chinese Exclusion Act of 1882 was still in effect at the beginning of the war. The United States Senate and the House of Representatives have introduced bills to collectively award the Congressional Gold Medal to Chinese American Veterans of World War II.

The attached resolution would call for Congress to pass the Act and honor these veterans for their service, valor, and bravery.

Attachment

Action - It is recommended that the City Council, by resolution, support H.R.2358/S.1050 – The Chinese American World War II Veterans Congressional Gold Medal Act.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK SUPPORTING H.R. 2358/S.1050 – THE CHINESE
AMERICAN WORLD WAR II VETERANS CONGRESSIONAL
GOLD MEDAL ACT

WHEREAS, on May 4, 2017, the U.S. Senate and the House of Representatives introduced bills to collectively award the Congressional Gold Medal to Chinese American Veterans of World War II; and

WHEREAS, Representatives Ed Royce and Ted Lieu of California were the lead co-sponsors of bill H.R. 2358, while Senator Tammy Duckworth of Illinois and Senator Thad Cochran of Mississippi were lead co-sponsors of bill S.1050; and

WHEREAS, the introduced bills aim to recognize the contributions of Chinese American veterans in World War II, where some 20,000 Chinese Americans served in the U.S. Armed Forces during the war, despite having fewer than 120,000 Chinese Americans living in the United States; and

WHEREAS, Chinese American soldiers made important contributions in World War II, they served in all theaters of the war, including in New Guinea, Iwo Jima, Philippines, North Africa, Italy, the Normandy D-Day Invasion, and the Battle of the Bulge; and

WHEREAS, approximately 25% of Chinese Americans enlisted served in the U.S. Army, Air Force, and the 14th Air Service Group assigned to the 14th Air Force which was an all Chinese American unit, that provided supply, transportation and communications support as well as repairs to aircraft and armaments; and

WHEREAS, despite their patriotism and valor, Chinese Americans faced blatant racial discrimination at the time, with the Chinese Exclusion Act of 1882 restricting Chinese immigration to the United States, and the law was still in effect at the beginning of World War II; and

WHEREAS, approximately 40% of the Chinese Americans who served were not citizens of the United States, and many were not able to become citizens until midway through World War II; and

WHEREAS, Bills H.R. 2358 and S. 1050 will commemorate the contributions and patriotism of Chinese American veterans in World War II by awarding the Congressional Gold Medal to the whole group, an honor that other veteran groups have had; and

WHEREAS, the timing for the passage of these bills is crucial, as many of the veterans have already passed way, and 2018 will be the 75th anniversary of the repeal of the Chinese Exclusion Act, which will make the passage even more memorable.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark hereby supports H.R. 2358 and S. 1050 and calls on Congress for the timely passage of the bills during its current session.



City of Newark

MEMO

DATE: June 19, 2018
TO: City Council
FROM: Sheila Harrington, City Clerk
SUBJECT: Approval of Audited Demands for the City Council Meeting of June 28, 2018.

REGISTER OF AUDITED DEMANDS

KW

US Bank General Checking Account

<u>Check Date</u>		<u>Check Numbers</u>	
June 08, 2018	Page 1-2	114732 to 114804	Inclusive
June 14, 2018	Page 1-2	114805 to 114867	Inclusive



City of Newark

MEMO

DATE: June 19, 2018
TO: Sheila Harrington, City Clerk
FROM: Susie Woodstock, Administrative Services Director
SUBJECT: Approval of Audited Demands for the City Council Meeting of June 28, 2018.

A handwritten signature in blue ink, appearing to be 'KA', with a horizontal line underneath.

The attached list of Audited Demands is accurate and there are sufficient funds for payment.

Final Disbursement List. Check Date 06/08/18, Due Date 06/18/18, Discount Date 06/18/18. Computer Checks.
Bank 1001, MS BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
114732	10736	ABACUS PRODUCTS INC	06/08/18	413.46	PRINTING SVCS
114733	332	ADAMSON POLICE PRODUCTS	06/08/18	4,960.70	SWAT SUPPLIES
114734	10377	ALAMEDA COUNTY EMS AGENCY	06/08/18	1,500.00	PUBLIC TRAINING PROVIDER FEE
114735	1396	ALAMEDA COUNTY FIRE DEPARTMENT ATTN: ACC	06/08/18	812,480.83	FIRE SERVICES
114736	287	ALAMEDA COUNTY SHERIFF'S OFFICE GREGORY	06/08/18	17,154.00	CAL-ID REMOTE ACCESS 17/18
114737	11362	ANNETTE PAREDES	06/08/18	23.33	EXPENSE REIMBURSEMENT
114738	11580	MATTHEW AVILA	06/08/18	291.64	EDUCATIONAL REIMBURSEMENT FOR MATTHEW AV
114739	11083	BURKE, WILLIAMS & SORENSEN, LLP	06/08/18	2,381.69	LITIGATION & LEGAL CONSULTING
114740	11622	CAVENAUGH & ASSOCIATES WILLIAM J. CAVENA	06/08/18	548.00	PATROL POST TRAINING
114741	214	CENTRAL VETERINARY HOSPITAL	06/08/18	345.00	VET SVCS
114742	6304	CLASSIC GRAPHICS T & J LEWIS INC	06/08/18	1,275.17	FLEET SUPPLIES AND MAINT
114743	10060	COMCAST	06/08/18	101.70	CABLE FOR SERVICE CTR
114744	1558	CALIFORNIA RESERVE PEACE OFFICERS ASSOCI	06/08/18	288.00	RESERVE ASSOC DUES
114745	10650	ELIZABETH PAGENDARM	06/08/18	10.66	UUT REFUND
114746	10650	MARIE A. BARNES	06/08/18	275.00	CIVIL SUBPOENA DEPOSIT RTN
114747	10793	NEWARK UNIFIED SCHOOL DISTRICT	06/08/18	300.00	RENTAL DEPOSIT REFUND
114748	10793	JEAN CUNNINGHAM	06/08/18	100.00	TRIP REFUND
114749	10793	SHIV SIDHU	06/08/18	300.00	RENTAL DEPOSIT REFUND
114750	10793	EMILY C GUTIERREZ	06/08/18	300.00	RENTAL DEPOSIT REFUND
114751	10677	DAILY JOURNAL CORPORATION CALIFORNIA NEW	06/08/18	38.75	PH NOTICES
114752	41	DALE HARDWARE	06/08/18	542.14	BUILDING MISC PARTS
114753	63	THE GOODYEAR TIRE & RUBBER CO	06/08/18	984.21	TIRES FOR FLEET
114754	10794	DUKE DE LEON	06/08/18	570.00	VIDEO RECORDING SERVICES
114755	11132	SEAN ERIKSEN	06/08/18	116.00	EXPENSE REIMBURSEMENT
114756	4731	EWING IRRIGATION PRODUCTS INC	06/08/18	481.77	PROJECT 1133 PARK IRRIGATION
114757	11620	FACILITRON, INC.	06/08/18	3,530.36	DANCE REVUE PAYMENT
114758	522	FEDEX	06/08/18	140.72	SHIPPING COSTS
114759	11112	FREMONT CHRYSLER DODGE JEEP RAM	06/08/18	107.46	FLEET PARTS
114760	60	FREMONT FORD/AUTOBODY OF FREMONT ATTN: P	06/08/18	2,972.87	FLEET REPAIR AND PARTS
114761	11553	HELLER MANUS ARCHITECTS	06/08/18	143,808.25	DESIGN SERVICES FOR CIVIC CENTER
114762	11595	SALVADOR HERNANDEZ	06/08/18	180.40	EXPENSE REIMBURSEMENT
114763	11594	JUAN HERRERA	06/08/18	180.94	EXPENSE REIMBURSEMENT
114764	11627	CLAUDE HILL	06/08/18	57.64	EXPENSE REIMBURSEMENT
114765	1457	HOME DEPOT CREDIT SERVICES DEPT. 32 - 25	06/08/18	3,450.01	REFUND
114766	11546	INDUSTRIAL PLUMBING SUPPLY, LLC.	06/08/18	110.97	PLUMBING SUPPLIES
114767	11540	JANSSEN'S PLACE AUTO BODY	06/08/18	9,697.54	VEHICLE REPAIRS
114768	7189	LINCOLN EQUIPMENT INC	06/08/18	223.15	POOL SUPPLIES
114769	80	LYNN PEAVEY COMPANY	06/08/18	265.22	EVIDENCE SUPPLIES
114770	11309	MANUEL FERNANDEZ CONSTRUCTION	06/08/18	220.00	MISC PARK REPAIR WORK
114771	10907	MICHAEL YORKS	06/08/18	2,775.00	BACKGROUND INVESTIGATIONS
114772	11623	MISSION VALLEY ROP	06/08/18	1,760.00	UB ACTIVE SHOOTER TRAINING
114773	6	KAREN MORALDA	06/08/18	24.51	EXPENSE REIMBURSEMENT
114774	7335	MUNICIPAL MAINTENANCE EQUIPMENT INC	06/08/18	51.04	SWEEPER PARTS
114775	349	PACIFIC GAS & ELECTRIC	06/08/18	12.80	CITY ELECTRIC & GAS
114776	11322	PAPA JOHNS PIZZA	06/08/18	480.17	FOOD FOR PARTIES AND CAFE
114777	78	PERFORMANCE PEST MANAGEMENT LPC SERVICES	06/08/18	719.00	PEST CONTROL
114778	329	PHOENIX GROUP INFORMATION SYSTEMS	06/08/18	310.00	PARKING CITATION PROGRAM
114779	3420	POSITIVE PROMOTIONS, INC.	06/08/18	588.03	COMM ENGAGEMENT PROGRAM
114780	8813	PROFORCE LAW ENFORCEMENT	06/08/18	1,478.88	TASER SUPPLIES
114781	4346	QUALITY SIGN & BANNER	06/08/18	2,302.72	SIGNS AND BANNERS
114782	9710	RC CYCLES	06/08/18	389.10	MAINT MOTORCYCLES

Final Disbursement List. Check Date 06/08/18, Due Date 06/18/18, Discount Date 06/18/18. Computer Checks.

Bank 1001, US BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
114783	10945	REVOLUTION DANCEWEAR, LLC	06/08/18	1,672.76	COSTUMES FOR DANCE RECITAL
114784	1282	EDDA RIVERA	06/08/18	38.23	EXPENSE REIMBURSEMENT
114785	279	S & S WORLDWIDE INC ACCOUNTS RECEIVABLE	06/08/18	86.47	SUPPLIES FOR SDC & ASH
114786	5068	SAFEWAY SIGN COMPANY	06/08/18	2,017.62	PROJECT 1173 CITYWIDE STREET SIGNS
114787	654	SFPUC-WATER DEPARTMENT CUSTOMER SERVICE	06/08/18	3,182.58	RENT/WATER
114788	112	WILLE ELECTRICAL SUPPLY CO INC	06/08/18	135.21	LIGHTING SUPPLIES
114789	5212	SIEMENS INDUSTRY, INC C/O CITYBANK (BLDG	06/08/18	9,334.00	FIRE ALARM MONITORING
114790	40	STAPLES ADVANTAGE DEPT LA	06/08/18	1,375.75	OFFICE SUPPLIES
114791	1230	H A R D SULPHUR CREEK NATURE CENTER	06/08/18	400.00	SDC AND CHILD CARE ANIMAL DISCOVERIES PR
114792	9476	YSERCO INC	06/08/18	1,028.00	ALARM MAINTENANCE
114793	10883	THE TACTICAL ADVANTAGE POLICE SUPPLY	06/08/18	2,880.21	VEST REPLACEMENT; APPROVAL #2018-21
114794	5463	MARY TEIXEIRA	06/08/18	7.64	EXPENSE REIMBURSEMENT
114795	1765	TEMPERATURE TECHNOLOGY INC.	06/08/18	1,682.46	HVAC REPAIR
114796	11542	TRB + ASSOCIATES, INC.	06/08/18	3,720.79	YE PLAN REVIEW SERVICES
114797	363	UNITED STATES POSTMASTER	06/08/18	2,598.35	DELIVERY OF CITY OF NEWARK NEWSLETTER
114798	5623	VERIZON WIRELESS	06/08/18	4,825.84	IPHONE SVC
114799	140	VISTA UNIVERSAL INC	06/08/18	535.50	LIGHTING REPAIR
114800	6977	WEISSMAN DESIGNS FOR DANCE	06/08/18	4,421.16	COSTUMES FOR DANCE RECITAL
114801	5050	WEST COAST ARBORISTS INC	06/08/18	58,321.63	PRUNING & REMOVAL OF CITY TREES
114802	11417	WHOLESALE DISTRIBUTION ALLIANCE	06/08/18	1,426.50	RETAIL MERCHANDISE
114803	7308	THE GOODYEAR TIRE & RUBBER COMPANY	06/08/18	253.45	FLEET TIRES
114804	11523	KEN WOOD	06/08/18	221.21	EXPENSE REIMBURSEMENT
Total				1,121,784.19	

Final Disbursement List. Check Date 06/14/18, Due Date 06/25/18, Discount Date 06/25/18. Computer Checks.
 Bank 100% US BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
114805	11137	AL CO TRAINING & EDUCATION CENTER	06/14/18	255.00	ALAMEDA COUNTY TRAINING CLASSES - MYVAN
114806	344	ALAMEDA COUNTY WATER DISTRICT	06/14/18	1,573.48	CITY WATER USE
114807	5821	ALL CITY MANAGEMENT SERVICES, INC	06/14/18	3,906.00	CROSSING GUARD SVCS
114808	14	ALPINE AWARDS	06/14/18	595.68	SDC PARTICIPANT SHIRTS
114809	11408	APPLIED AIR FILTERS	06/14/18	538.85	FILTERS
114810	4534	BAY AREA BARRICADE SERVICE INC	06/14/18	246.94	PROJECT #1135 STREET SIGNS
114811	23	FRANK BONETTI PLUMBING INC	06/14/18	337.50	PLUMBING REPAIR
114812	9888	BUREAU VERITAS NORTH AMERICA INC.	06/14/18	37,809.27	PLAN REVIEW SERVICES
114813	9150	CAL-WEST LIGHTING & SIGNAL MAINTENANCE I	06/14/18	13,780.53	CIP #1183: TRAFFIC SIGNALS LED LAMP/ACCE
114814	214	CENTRAL VETERINARY HOSPITAL	06/14/18	37.25	VET SVCS
114815	11498	CINDY CHIEN	06/14/18	3.82	EXPENSE REIMBURSEMENT
114816	11076	CRIME SCENE CLEANERS INC	06/14/18	140.00	CRIME SCENE CLEANERS
114817	10649	DIEDE CONSTRUCTION INC.	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2015-0106
114818	10649	AMEC ENVIRONMENT & INFRASTRUCTURE INC.	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2017-0072
114819	10649	ROBERT R. PASCALE	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2016-0331
114820	10649	JOE W. TAN	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2017-0070
114821	10649	HAROLD S. BROMELL JR.	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2017-0053
114822	10649	ENGE0	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2018-0043
114823	10649	GAGNE BROS.	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2017-0083
114824	10649	JEFFREY D. YOUNT	06/14/18	3,000.00	PERFORMANCE BOND RTN EP# 2016-0110
114825	10649	GREG MARTIN STREAMLINE PLUMBING	06/14/18	1,000.00	PERFORMANCE BOND RTN EP# 2017-0017
114826	10677	DAILY JOURNAL CORPORATION CALIFORNIA NEW	06/14/18	62.50	LEGAL ADS
114827	3728	DEPARTMENT OF JUSTICE ACCOUNTING OFFICE	06/14/18	386.00	FINGERPRINTING FEES
114828	3969	DEPARTMENT OF MOTOR VEHICLES ATTN: CASHI	06/14/18	217.91	BOOKS & BULLETINS
114829	11030	E POLY STAR INC	06/14/18	1,999.73	TRASH CAN LINERS
114830	10725	MATTHEW WARREN	06/14/18	1,404.07	EE COMPUTER LOAN PROGRAM
114831	310	EQUIFAX INFORMATION SVCS LLC	06/14/18	50.86	CREDIT BUREAU REPORTS
114832	4731	EWING IRRIGATION PRODUCTS INC	06/14/18	749.43	PROJECT 1133 PARK IRRIGATION
114833	313	FREMONT URGENT CARE CENTER	06/14/18	760.00	PRE-EMPLOYMENT/DOT PHYSICALS
114834	2215	FREMONT WHEEL & BRAKE	06/14/18	80.00	FLEET MAINTENANCE
114835	10983	G BORTOLOTT0 & CO INC	06/14/18	43,124.24	RETENTION FEES FOR PRJ 1066
114836	4845	HINDERLITTER DELLAMAS & ASSOCIATES	06/14/18	21,555.43	TRANSACTION TAX 2ND QUARTER - SALES QTR
114837	11595	SALVADOR HERNANDEZ	06/14/18	180.40	EXPENSE REIMBURSEMENT
114838	10663	HOSE & FITTING ETC	06/14/18	265.13	FLEET PARTS
114839	11566	PHALATSAMY HUYNH	06/14/18	2.38	EXPENSE REIMBURSEMENT
114840	10319	NICK ICASIANO	06/14/18	250.00	EXPENSE REIMBURSEMENT
114841	187	INDUSTRIAL SAFETY SUPPLY CORPORATION	06/14/18	39.07	MISC SAFETY SUPPLIES
114842	5692	JET MULCH INC	06/14/18	15,978.38	PROJECT 1172 & 1106 PARK RESURFACING
114843	6786	STACEY KENISON	06/14/18	232.88	EXPENSE REIMBURSEMENT
114844	7189	LINCOLN AQUATICS	06/14/18	118.78	POOL SUPPLIES
114845	11467	SOFIA MANGALAM	06/14/18	238.40	EXPENSE REIMBURSEMENT
114846	11482	MARCI MARINO	06/14/18	305.00	PAYROLL DEDUCTION - SS PAYMENTS FOR PR06
114847	11530	JESUS MERO	06/14/18	250.00	EXPENSE REIMBURSEMENT
114848	11378	MNS ENGINEERS INC	06/14/18	41,767.13	YEAR-END PLAN CHECK AND INSPECTION SERVI
114849	9604	JAMES MURRAY	06/14/18	109.74	EXPENSE REIMBURSEMENT
114850	10947	NET TRANSCRIPTS	06/14/18	268.70	TRANSCRIPTION SVCS
114851	10865	NEW IMAGE LANDSCAPE	06/14/18	17,276.30	LL-16 IRRIGATION SERVICE
114852	5681	OMNI MEANS A GHD COMPANY	06/14/18	3,338.00	TRAFFIC ENGINEERING AND TRANSPORTATION P
114853	349	PACIFIC GAS & ELECTRIC	06/14/18	105.22	STREETLIGHTS AND TRAFFIC SIGNALS
114854	11322	PAPA JOHNS PIZZA	06/14/18	437.33	FOOD FOR PARTIES AND CAFE
114855	11591	PORTER RENTS, LLC.	06/14/18	1,201.70	FORKLIFT RENTAL

Final Disbursement List. Check Date 06/14/18, Due Date 06/25/18, Discount Date 06/25/18. Computer Checks.

Bank 1001 US BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
114856	10770	PRECISION TUNE AUTO CARE	06/14/18	327.67	AC REPAIRS
114857	11234	RAY MORGAN COMPANY	06/14/18	2,653.01	COPIER LEASE AGREEMENT
114858	9828	JOSE RODRIGUEZ	06/14/18	250.00	EXPENSE REIMBURSEMENT
114859	112	WILLE ELECTRICAL SUPPLY CO INC	06/14/18	1,083.01	PARTS FOR LIGHT FIXTURES
114860	1765	TEMPERATURE TECHNOLOGY INC.	06/14/18	1,079.83	HVAC REPAIR
114861	6797	US BANK CORPORATE PAYMENT	06/14/18	12,038.90	US BANK CC PAYMENT 05/22/18
114862	7517	U S FOODS INC SAN FRANCISCO	06/14/18	1,490.29	CAFE FOOD
114863	5623	VERIZON WIRELESS	06/14/18	93.62	GPS TRACKERS
114864	5623	VERIZON BUSINESS SERVICES	06/14/18	613.83	CELL SVC FOR MDT'S
114865	339	WASHINGTON HOSPITAL GENERAL ACCOUNTING	06/14/18	75.00	LAB TESTS
114866	11610	WASHINGTON URGENT CARE	06/14/18	60.00	TB TESTING FOR RECREATION DEPT
114867	5050	WEST COAST ARBORISTS INC	06/14/18	8,823.00	PGE STREET TREE PLANTING
Total				251,567.19	