

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWARK, COUNTY OF ALAMEDA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS: PARCEL 1A: BLOCKS 50, 51, 148 AND 149, "MAP OF THE TOWN OF NEWARK, ALAMEDA COUNTY CAL.", FILED MAY 6, 1878, IN MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, EXCEPTING THEREFROM, THAT PORTION CONVEYED IN THE DEED FROM MORTON SALT COMPANY, A CORPORATION, TO ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, DATED OCTOBER 15, 1959, RECORDED DECEMBER 18, 1959, IN BOOK 9236, OFFICIAL RECORDS, PAGE 22, ALAMEDA COUNTY RECORDS, ALSO EXCEPTING THEREFROM, THAT PORTION CONVEYED IN THE DEED FROM MORTON THOKOL, INC., A DELAWARE CORPORATION, TO THE CITY OF NEWARK, DATED APRIL 9, 1984, RECORDED JULY 24, 1984, SERIES NO. 84-148940, ALAMEDA COUNTY RECORDS.

Parcel 1B: ALL THAT PORTION OF ASH STREET, AS SAID STREET IS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, LYING BETWEEN THE SOUTHEASTERLY LINE OF LEALE AVENUE AND THE NORTHEASTERLY LINE OF FERRIN AVENUE, AS SHOWN ON SAID MAP.

Parcel 1C: ALL THAT PORTION OF OAK STREET, AS SAID STREET IS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, LYING BETWEEN THE SOUTHEASTERLY LINE OF LEALE AVENUE AND THE NORTHEASTERLY LINE OF FERRIN AVENUE, AS SHOWN ON SAID MAP.

Parcel 1D: ALL THAT PORTION OF FILEBERT STREET, AS SAID STREET IS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, LYING BETWEEN THE CENTERLINE OF LEALE AVENUE AND THE EXTENSION NORTHEASTERLY OF THE NORTHEASTERLY LINE OF CENTRAL AVENUE, AS SHOWN ON SAID MAP.

Parcel 1E: THE WESTERN 1/2 WIDTH, RIGHT ANGLE MEASUREMENT, OF MADRONE STREET, AS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, LYING BETWEEN THE CENTERLINE OF LEALE AVENUE AND THE EXTENSION NORTHEASTERLY OF THE NORTHEASTERLY LINE OF CENTRAL AVENUE, AS SHOWN ON SAID MAP.

Parcel 1F: THE NORTHERN 1/2 WIDTH, RIGHT ANGLE MEASUREMENT, OF FERRIN STREET, AS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, LYING BETWEEN THE EXTENSION SOUTHERLY OF THE EASTERN LINE OF ELM STREET AND THE EXTENSION SOUTHERLY OF THE WESTERN LINE OF FILEBERT STREET, AS SHOWN ON SAID MAP.

Parcel 1G: ALL THAT PORTION OF CENTRAL AVENUE, BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF FILEBERT STREET WITH THE NORTHEASTERLY LINE OF CENTRAL AVENUE, AS SAID STREET AND AVENUE ARE SHOWN ON SAID MAP (BOOK 17, PAGE 43); AND RUNNING THENCE ALONG SAID LINE OF CENTRAL AVENUE, NORTH 33° 03' 42" EAST, 459.97 FEET TO THE CENTERLINE OF MADRONE STREET, AS SHOWN ON SAID MAP (BOOK 17, PAGE 42); THENCE ALONG SAID LINE NORTH 22° 39' 30" WEST, 14.52 FEET TO THE NORTHEASTERLY LINE OF CENTRAL AVENUE AS DESCRIBED IN THE "CORPORATION GRANT DEED", RECORDED ON REEL 2266 OF OFFICIAL RECORDS OF ALAMEDA COUNTY, AT PAGE 51, SERIES NO. 841050, WHICH LINE IS PARALLEL WITH AND DISTANT 12.00 FEET NORTHEASTERLY FROM THE AFORESAID NORTHEASTERLY LINE OF CENTRAL AVENUE AS SHOWN ON SAID MAP; THENCE ALONG SAID NORTHEASTERLY LINE NORTH 33° 03' 42" EAST 387.25 FEET TO A POINT ON THE ARC OF A CURVE HAVING A RADIUS OF 268.00 FEET, THE CENTER OF WHICH CURVE BEARS NORTH 79° 12' 50" WEST, FROM SAID POINT; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, CONVERSE TO THE NORTHEAST, THROUGH A CENTERLINE OF 22° 16' 32", AN ARC DISTANCE OF 104.19 FEET TO A LINE DRAWN PARALLEL WITH AND DISTANT 8.00 FEET SOUTHEASTERLY, MEASURED AT RIGHT ANGLES, FROM THE NORTHEASTERLY LINE OF CENTRAL AVENUE, AS SHOWN ON SAID MAP (BOOK 17, PAGE 42); THENCE ALONG SAID PARALLEL LINE SOUTH 33° 03' 42" WEST, 759.26 FEET TO THE AFORESAID CENTERLINE OF FILEBERT STREET; THENCE ALONG SAID CENTERLINE NORTH 22° 39' 44" WEST, 8.68 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION LYING NORTHEASTERLY OF THE CENTERLINE OF MADRONE STREET, AS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, IN MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, AS SHOWN ON SAID MAP.

Parcel 1H: THE SOUTHERN 1/2 WIDTH OF LEALE AVENUE, AS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, IN MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, LYING EASTERLY OF THE EASTERN LINE OF PARCEL 2, IN THE DEED TO THE ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, DATED OCTOBER 15, 1959, RECORDED DECEMBER 8, 1959, IN BOOK 9236, OFFICIAL RECORDS, PAGE 22, ALAMEDA COUNTY RECORDS, AND THE EXTENSION NORTHERLY OF THE SOUTHEASTERLY LINE OF MADRONE STREET, AS SHOWN ON SAID MAP.

Parcel 1I: THE EASTERN 1/2 WIDTH OF ELM STREET, AS SHOWN ON THE MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878, IN MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, EXCEPTING THEREFROM, THAT PORTION CONVEYED IN THE DEED TO THE ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, DATED APRIL 9, 1984, SERIES NO. 84-148940, ALAMEDA COUNTY RECORDS, EXCEPTING THEREFROM, THAT PORTION CONVEYED IN THE DEED TO THE ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, DATED OCTOBER 15, 1959, RECORDED DECEMBER 8, 1959, IN BOOK 9236, OFFICIAL RECORDS, PAGE 22, ALAMEDA COUNTY RECORDS, AND THE EXTENSION NORTHERLY OF THE SOUTHEASTERLY LINE OF MADRONE STREET, AS SHOWN ON SAID MAP.

Parcel 1J: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTERLINE OF CENTRAL AVENUE WITH THE NORTHEASTERLY BOUNDARY LINE OF THE FACTORIA TRACT, AS SAID AVENUE AND THE SAID TRACT ARE DELINEATED AND SO DESIGNATED ON THE MAP ENTITLED, "TOWN OF NEWARK AND THE VILLA LOTS AND FARMS", FILED IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, ON THE 27TH DAY OF APRIL, 1880, AND RUNNING THENCE SOUTHEASTERLY ALONG THE SAID NORTHEASTERLY BOUNDARY LINE OF THE SAID TRACT, FIVE HUNDRED AND FIFTY-THREE (553) FEET; THENCE SOUTH 27° 31' 50" WEST, ONE HUNDRED THIRTY AND SIXTY-FIVE HUNDREDTHS (130.65) FEET; THENCE SOUTHEASTERLY AND PARALLEL TO THE CENTER LINE OF SAID CENTRAL AVENUE, SEVEN HUNDRED AND SEVENTY (770) FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY, FIVE HUNDRED AND SIXTY-SIX (566) FEET TO THE SAID CENTER LINE OF CENTRAL AVENUE; AND THENCE NORTHEASTERLY ALONG THE SAID CENTER LINE OF CENTRAL AVENUE, NINE HUNDRED (900) FEET TO THE POINT OF COMMENCEMENT, BEING PORTIONS OF LOTS 76 AND 77 OF THE SAID FACTORIA TRACT.

FOR APN/PARCEL ID(S): 537-0751-006-03 AND 537-0751-006-04 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWARK, COUNTY OF ALAMEDA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

Parcel 1K: COMMENCING AT THE MOST EASTERLY CORNER OF THAT CERTAIN PARCEL OF PROPERTY CONVEYED BY LESLIE SALT CO. TO MORTON SALT COMPANY, BY DEED DATED JANUARY 1, 1952, AND RECORDED JUNE 27, 1952, IN BOOK 8765, OFFICIAL RECORDS OF ALAMEDA COUNTY, AT PAGE 477; THENCE ALONG THE MOST EASTERLY BOUNDARY OF LAST SAID PROPERTY, SOUTH 27° 31' 50" WEST, 130.65 FEET; AND SOUTH 33° 14' 30" WEST, 60.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE FROM THE TRUE POINT OF BEGINNING, SOUTH 56° 45' 30" EAST, TO A POINT THAT IS 8.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE MOST EASTERLY BOUNDARY OF THE LAST SAID PARCEL OF PROPERTY; THENCE SOUTH 33° 14' 30" WEST, PARALLEL WITH LAST SAID BOUNDARY, A DISTANCE OF 612.00 FEET; THENCE NORTH 56° 45' 30" WEST, A DISTANCE OF 9.00 FEET TO A POINT ON THE LAST SAID MOST EASTERLY BOUNDARY; THENCE NORTH 33° 14' 30" EAST ALONG LAST SAID MOST EASTERLY BOUNDARY, 612.00 FEET TO THE TRUE POINT OF BEGINNING, EXCEPTING THEREFROM, ALL OIL, GAS AND MINERAL SUBSTANCES LYING BELOW THE SURFACE OF SAID PARCEL, AS RESERVED IN THE DEED FROM LESLIE SALT COMPANY, A DELAWARE CORPORATION, DATED SEPTEMBER 25, 1961, REEL 463, IMAGE 898, ALAMEDA COUNTY RECORDS.

HPA architecture

hpa, inc.
18831 bardeen avenue - ste.
#100 Irvine, ca
92612
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fax: 949-863-0851
email: hpa@hparchs.com

Applicant:
NEWARK INDUSTRIAL PARTNERS

18300 S. HAMILTON AVE., STE 200
GARDENA, CA 90248
TEL: 970 429 6253

Project:
MORTON COMMERCE CENTER

MORTON AVENUE
NEWARK, CA

Consultants:
Civil: KIER & WRIGHT
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: VISTA PARKS
Fire Protection: -
Soils Engineer: -

Title: **OVERALL SITE PLAN**

Project Number: 17070
Drawn by: ML
Date: 02/15/18
Revision:

Sheet:
A1.0

PROJECT INFORMATION

Owner / Applicant NEWARK INDUSTRIAL PARTNERS 19300 S HAMILTON AVE., STE 200 GARDENA, CA 90248 PHONE: 310-354-2460 CONTACT: THUR TEOMER	Applicant Representative HPA, INC. 18831 BARDEEN AVE. - SUITE 100 IRVINE, CA 92612 TEL: (949) 862-2138 FAX: (949) 863-0851 CONTACT: MATTHEW LEE
Project Address NEWARK, CA	Construction Type CONCRETE TILT-UP BUILDING OFFICE & WAREHOUSE
Zoning GENERAL INDUSTRIAL	Code Analysis 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING STANDARDS
BUILDING OCCUPANCY: F-1/B CONSTRUCTION TYPE: BUILDING TO BE EQUIPPED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM.	

TABULATION

SITE AREA	BLDG.1	BLDG.2	BLDG.3	BLDG.4	TOTAL
In s.f.	335,664	269,064	211,187	485,878	1,301,793 s.f.
In acres	7.71	6.18	4.85	11.15	29.89 ac
BUILDING AREA					
Office (5%)	8,084	7,064	3,558	11,284	29,990 s.f.
Office Mezz.	0	0	5,000	0	5,000 s.f.
Manufacturing	153,566	134,211	67,604	214,395	569,808 s.f.
TOTAL	161,660	141,275	76,162	225,679	604,798 s.f.
COVERAGE	48.2%	52.5%	36.1%	46.4%	46.5%
AUTO PARKING REQUIRED					
Office: 1/300 s.f.	27	24	29	38	118 stalls
Manufacturing: 1/1,000 s.f.	154	135	68	215	572 stalls
TOTAL	181	159	97	253	690 stalls
AUTO PARKING PROVIDED					
Standard (9' x 19')	138	124	113	218	593 stalls
Compact (8.5' x 16', 25% max.)	45	35	25	36	141 stalls
TOTAL	183	159	138	254	734 stalls
LONG-TERM BICYCLE PARKING REQUIRED					
1 per 30 auto parking	7	6	5	9	27 stalls
LONG-TERM BICYCLE PARKING PROVIDED					
	14	12	10	18	54 stalls
ZONING ORDINANCE FOR CITY					
Zoning Designation - General Industrial					
MAXIMUM BUILDING HEIGHT ALLOWED					
Height - more than 1,000' from R zone - 20'					
MAXIMUM FLOOR AREA RATIO					
FAR - to be verified					
SETBACKS					
Front - 10'					
Side - 15'					
Rear - 20'					

AERIAL MAP



SITE PLAN GENERAL NOTES

- 1 CONCRETE PAVING. SEE "C" DRWGS.
- 2 STANDARD PARKING STALL (9' x 19')
- 3 COMPACT PARKING STALL (8.5' x 16')
- 4 LANDSCAPED AREA
- 5 HANDICAP PARKING STALL (9' x 19') w/ 5' ACCESSIBLE AISLE
- 6 HANDICAP PARKING STALL (8.5' x 16') w/ 5' ACCESSIBLE AISLE
- 7 26' WIDE FIRELANE
- 8 PATH OF TRAVEL

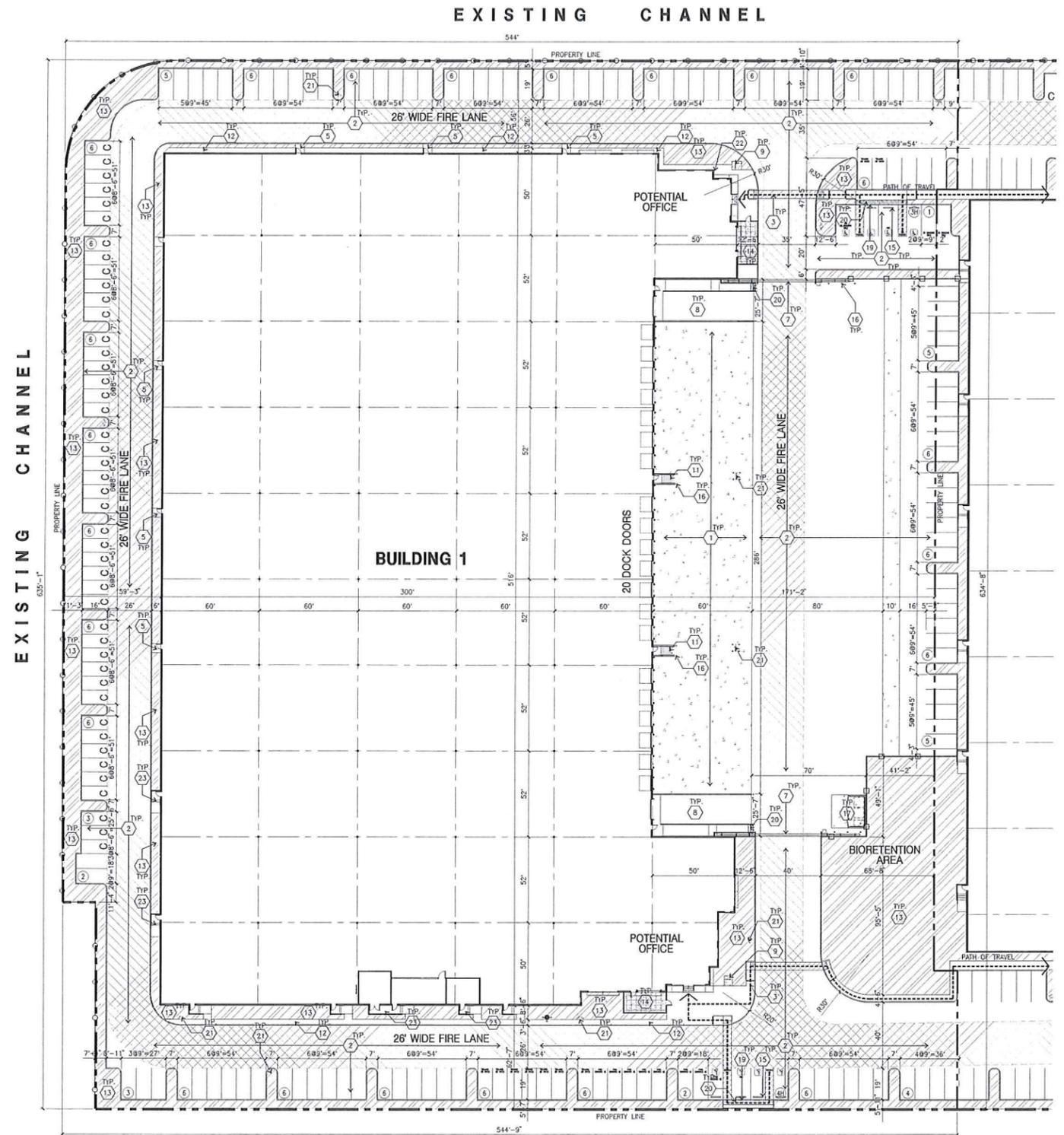
SITE PLAN KEYNOTES

- 1 6' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 2 EXISTING FENCE TO REMAIN.
- 3 PROVIDE 6' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 4 SMOKING AREA.
- 5 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 TRASH ENCLOSURE PER CITY STANDARD.
- 8 ACCESSIBLE ENTRY SIGN.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 EMPLOYEE BREAK AREA / PATIO
- 11 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 12 DRIVE APRONS TO BE CONSTRUCTED.
- 13 APPROXIMATE LOCATION OF FDOS AND DDOV.
- 14 APPROXIMATE LOCATION OF MONUMENT SIGN.



EXHIBIT A-1

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



EXISTING CHANNEL

EXISTING CHANNEL

OVERALL SITE PLAN
 scale: 1" = 30'-0"
 SCALE: 1" = 30'-0"
 0 30' 60' 90'
 TRUE NORTH

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6" x 5'-6" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 6" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 6" HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 11 EXTERIOR METAL STAIR.
- 12 3" WIDE CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 EMPLOYEE BREAK AREA / PATIO
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22 DESIGNATED SMOKING AREA.
- 23 EXTERIOR CONCRETE STAIR.
- 24 APPROXIMATE LOCATION OF MONUMENT SIGN.

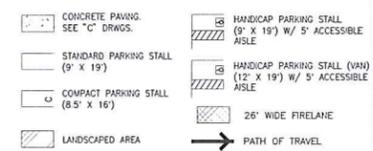
PROJECT DATA

BLDG.1	
SITE AREA	
In s.f.	335,664 s.f.
In acres	7.71 ac
BUILDING AREA	
Office (5%)	8,084 s.f.
Office Mezz.	0 s.f.
Manufacturing	153,596 s.f.
TOTAL	161,680 s.f.
COVERAGE	48.2%
AUTO PARKING REQUIRED	
Office: 1/300 s.f.	27 stalls
Manufacturing: 1/1,000 s.f.	154 stalls
TOTAL	181 stalls
AUTO PARKING PROVIDED	
Standard (9' x 19')	138 stalls
Compact (8.5 x 16', 25% max.)	45 stalls
TOTAL	183 stalls
LONG-TERM BICYCLE PARKING REQUIRED	
1 per 30 auto parking	7 stalls
LONG-TERM BICYCLE PARKING PROVIDED	14 stalls
ZONING ORDINANCE FOR CITY	
Zoning Designation - General Industrial	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - more than 1,000' from R zone - 200'	
MAXIMUM FLOOR AREA RATIO	
FAR - to be verified	
SETBACKS	
Front - 10'	
Side - 15'	
Rear - 20'	

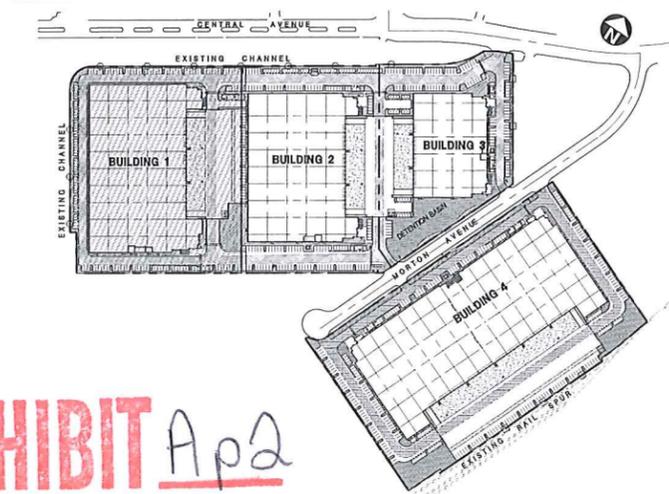
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBO
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
17. ALL ROOFTOP AND GROUND EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW BY ARCHITECTURAL ELEMENTS OF THE BUILDINGS OR LANDSCAPE OR GROUND EQUIPMENT.

SITE PLAN GENERAL NOTES



KEY MAP



hpa, inc.
 18831 barden avenue - sta.
 #100 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com

Applicant:
NEWARK INDUSTRIAL PARTNERS

19300 S. HAMILTON AVE., STE 200
 GARDENA, CA 90248
 TEL: 970-429-8253

Project:
MORTON COMMERCE CENTER
 MORTON AVENUE
 NEWARK, CA

Consultants:
 Civil: KIER & WRIGHT
 Structural: -
 Mechanical: -
 Plumbing: -
 Electrical: -
 Landscape: VISTA PARKS
 Fire Protection: -
 Soils Engineer: -

Title: **OVERALL SITE PLAN**

Project Number: 17070
 Drawn by: ML
 Date: 02/15/18
 Revision:

Sheet:
1-A1.1

EXHIBIT A p2

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

Applicant:

**NEWARK
INDUSTRIAL
PARTNERS**

18300 S. HAMILTON AVE., STE 200
GARDENA, CA 90248
TEL: 970-429-8253

Project:

**MORTON
COMMERCE
CENTER**

MORTON AVENUE
NEWARK, CA

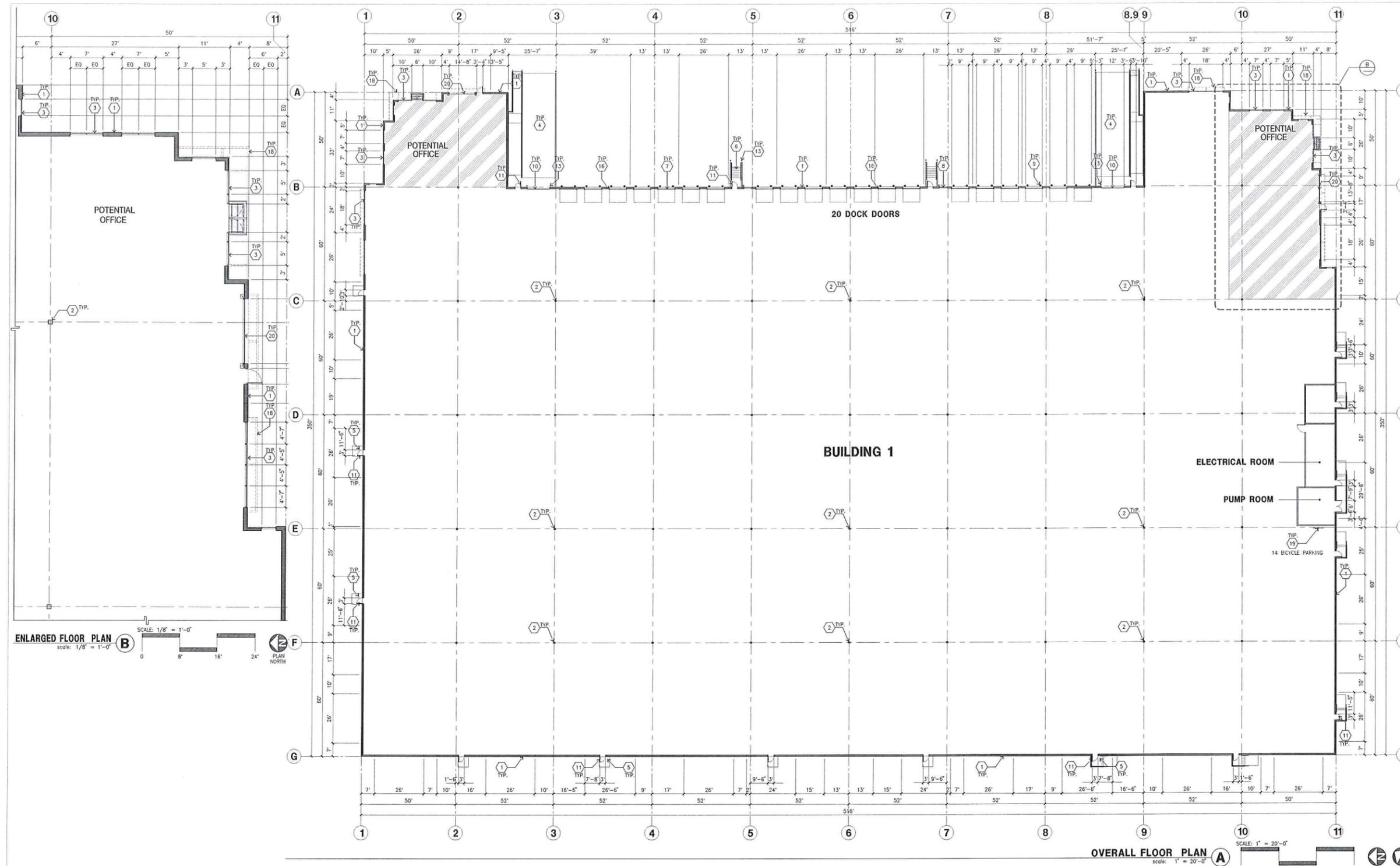
Consultants:

Civil:	KIER & WRIGHT
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscaps:	VISTA PARKS
Fire Protection:	-
Soils Engineer:	-

Title: overall floor plan bldg 1

Project Number: 17070
Drawn by: ML
Date: 02/15/18
Revision:

Sheet:
1-A2.1



FLOOR PLAN KEYNOTES

- | | |
|--|---------------------------------|
| 1. CONCRETE TILT-UP PANEL. | 17. NOT USED. |
| 2. STRUCTURAL STEEL COLUMN. | 18. METAL CANOPY ABOVE. |
| 3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS. | 19. INTERIOR BIKE RACK TYPICAL. |
| 4. CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP. | 20. GLASS ROLL UP DOOR. |
| 5. 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR. | |
| 6. EXTERIOR METAL STAIR. | |
| 7. 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE. | |
| 8. 4' X 8' LOUVERED OPENING FOR VENTILATION. | |
| 9. DOCK DOOR BUMPER TYPICAL. | |
| 10. 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. | |
| 11. 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. | |
| 12. SOFFIT LINE ABOVE. | |
| 13. CONC. FILLED GUARD POST. 6" DIA. U.N.O.D., 42"H. | |
| 14. NOT USED. | |
| 15. NOT USED. | |
| 16. Z GUARD. | |

FLOOR PLAN GENERAL NOTES

- THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STEEL UNDO.
- SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET --. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPPERED INCLUDING CARS AND TRUCKS.
- ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A4.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
- FLOOR COMPACTION - 95%
 - TRENCH COMPACTION - 90%
 - BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS.
 - CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-88
 - CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 - CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 - ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAPPERED.
 - NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 - SLAB TO BE FT50 FL35 MEASURED WITHIN 24 HOURS.
 - NO TLY ASH IN THE CONCRETE.
 - WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND FILLER IN FUTURE OFFICE AREAS.
 - SEAL CONCRETE SLAB W/ "LIPDOLUTH" SEALER
 - 10" POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE
 - ALL FLOOR SLAB HANG OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 - PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 - MM-80 AT SPEED BAY ONLY.
- CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOLVEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.

EXHIBIT Ap3

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.I.R.O. 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 4 9" X 10" OVERHEAD DOORS @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR, LANDING AND GUARDRAIL. W/ METAL PIPE HANDRAIL. PROVIDE NON SKID TREAD TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
- 8 EXTERIOR DOOR SPOUTS W/ 2 OVERFLOW SCUFFERS.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SCHEDULES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 11 METAL CANOPY.
- 12 KNOCK OUT PANEL.
- 13 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUFFERS.
- 14 CONC. FILLED GUARD POST. 6" DIA. U.I.R.O. 42"H.
- 15 GLASS ROLL UP DOOR.
- 16 EMPLOYEE BREAK AREA / PATIO.
- 17 APPROXIMATE ADDRESS LOCATION ON WALL.
- 18 APPROXIMATE SIGNAGE LOCATION ON WALL.
- 19 APPROXIMATE SIGNAGE LOCATION ON WALL.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL= TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LITELS SHALL BE DESIGNED TO RESIST - MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.

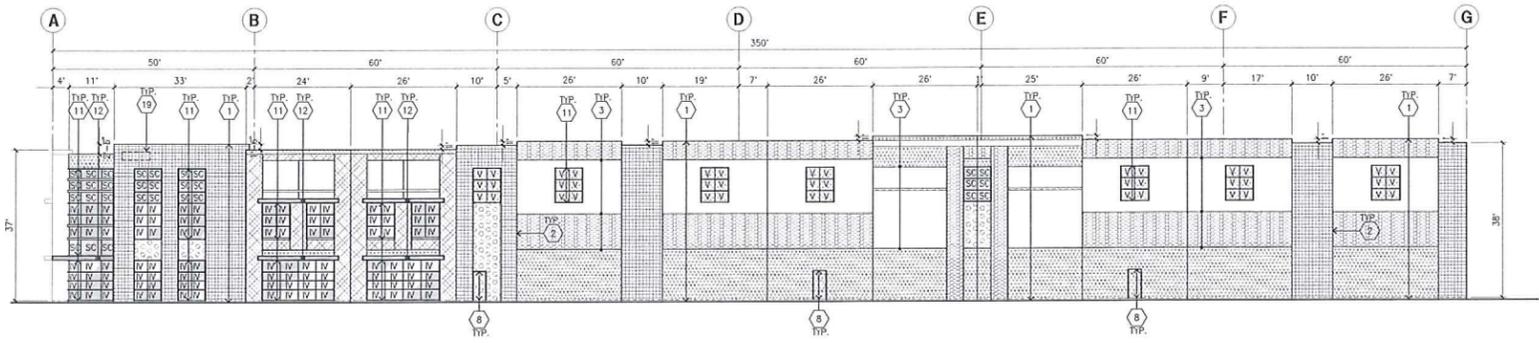
GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
 - SG SINGLE LIFE VISION GLASS
 - IV-1 INSULATED VISION GLASS 1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
 - IV-2 INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES U. 0.27 SHGC 0.21 U-FIT 285 MINIMUM W TO BE 0.42 PER 2016 CEC TABLE 1403-B
 - SC-1 SPANDREL WITH CONCRETE BEHIND 1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOFAT PAINTED ON REFLECTIVE INSTALLED ON CONCRETE.
 - V VISION GLASS
 - V-1 VISTACOL PACIFICA

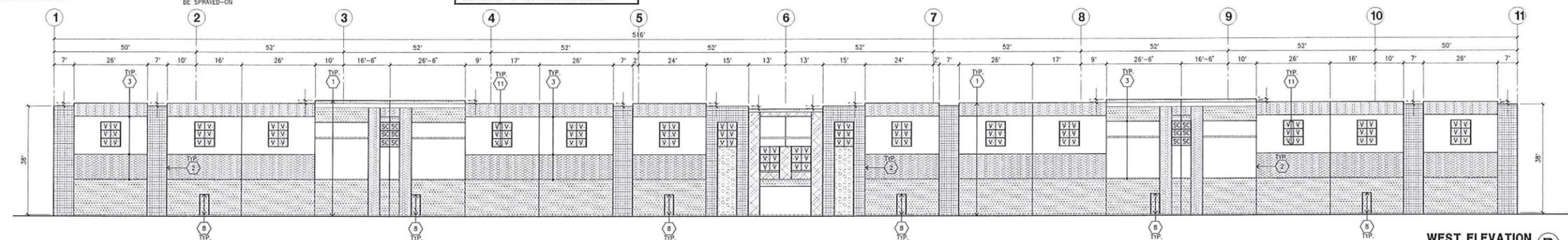
ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL COLOR : SW 7071 GRAY SCREEN
- 3 CONCRETE TILT-UP PANEL COLOR : SW 7072 ONLINE
- 4 CONCRETE TILT-UP PANEL COLOR : SW7073 NETWORK GRAY
- 5 CONCRETE TILT-UP PANEL COLOR : SW 7075 WEB GRAY
- 6 CONCRETE TILT-UP PANEL COLOR : SW 6523 DENIM
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED
- 9 CANOPY MATERIAL : ACRYLIC LATEX SYSTEM, SW 6523 DENIM
- 10 WOOD GRAIN CONCRETE

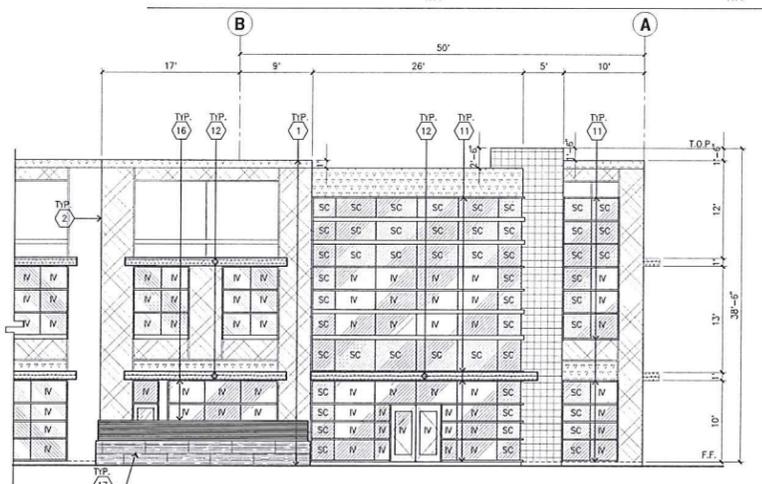
MULTI-TENANTS
MAX. ALLOWABLE AGGREGATE SIGN AREA CALCULATION:
(PER TABLE 17.25.070B I.G. DISTRICTS)
1 SQ FT = 1 LINEAR FT OF BUILDING FRONTAGE
BUILDING FRONTAGE = 131' LINEAR FEET = 131 SQ FT.
WITH ADDITIONAL
131/4 = 32 SQ FT.
TOTAL = 163 SQ FT.
SEE KEYNOTE "19" FOR APPROXIMATE LOCATION



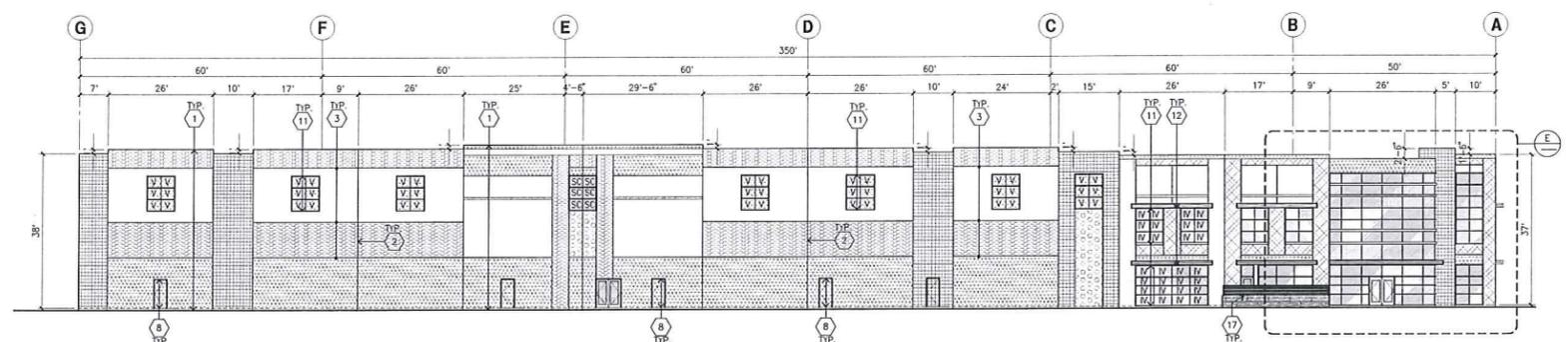
NORTH ELEVATION A
scale: 1/16"=1'-0"



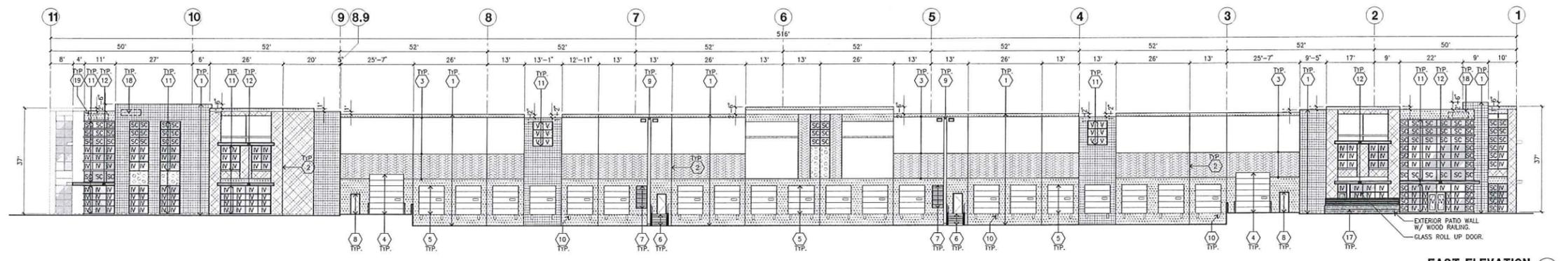
WEST ELEVATION B
scale: 1/16"=1'-0"



ENLARGED EAST ELEVATION E
scale: 1/8"=1'-0"



SOUTH ELEVATION C
scale: 1/16"=1'-0"



EAST ELEVATION D
scale: 1/16"=1'-0"

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Project:

MORTON COMMERCE CENTER

MORTON AVENUE
NEWARK, CA

Consultants:

Civil: KIER & WRIGHT
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: VISTA PARKS
Fire Protection: -
Soils Engineer: -

Elevations

Title:

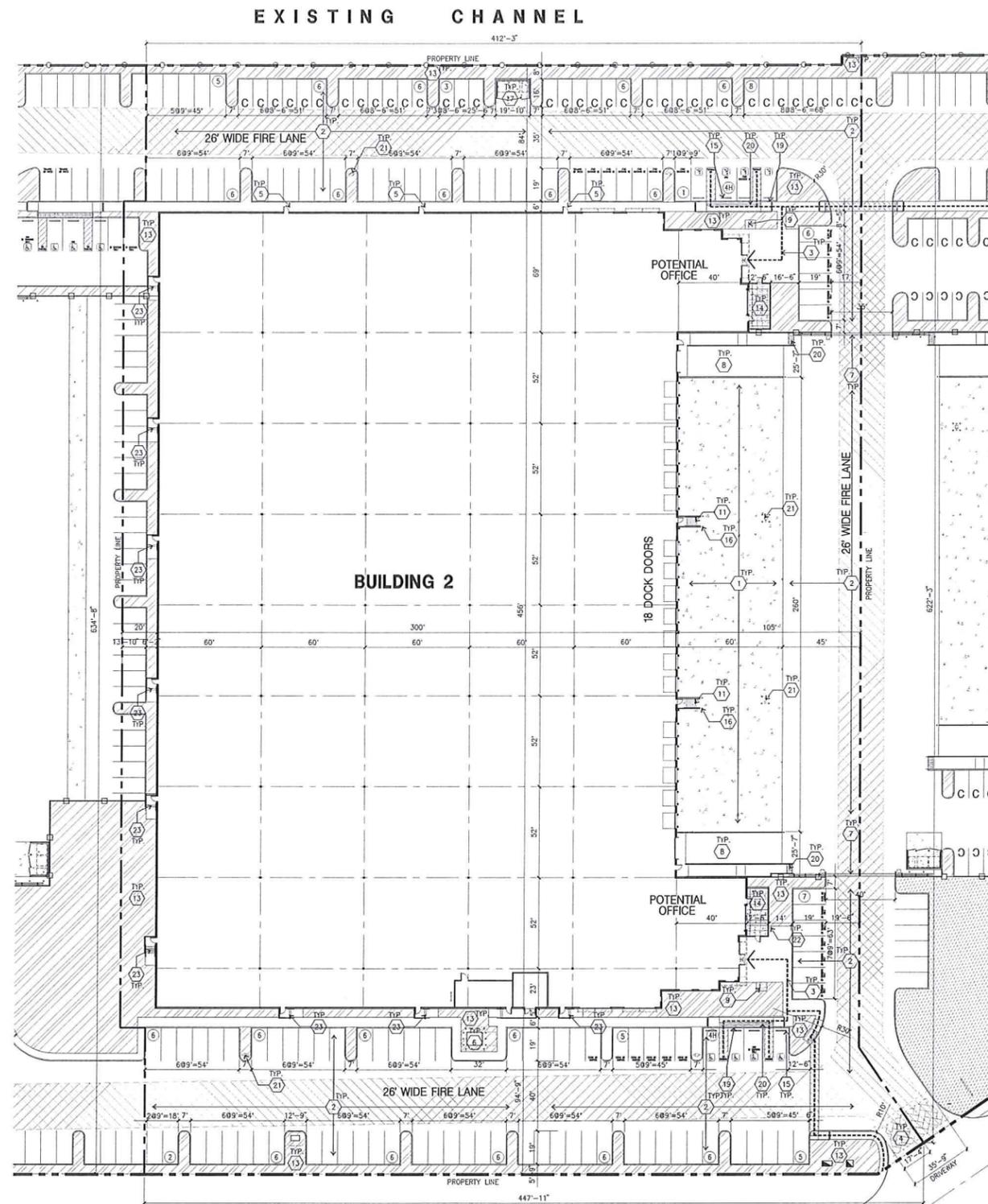
Project Number: 17070
Drawn by: ML
Date: 02/15/18
Revision:

Sheet:

1-A3.1

EXHIBIT A p4

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



OVERALL SITE PLAN
 scale: 1" = 30'-0"
 A
 SCALE: 1" = 30'-0"
 0 30' 60' 90'
 TRUE NORTH

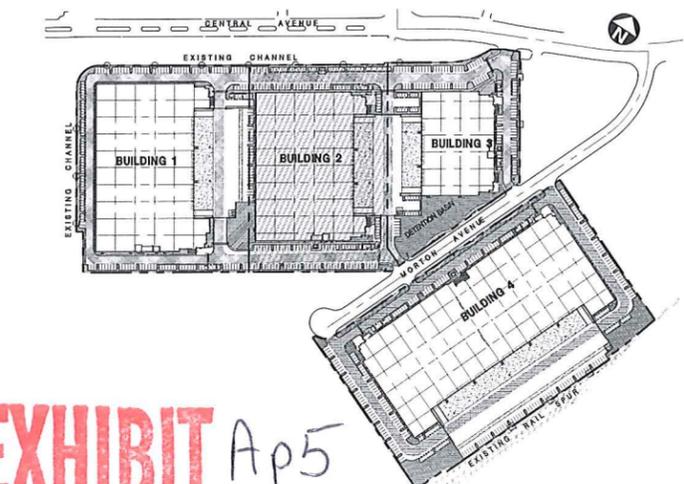
SITE PLAN KEYNOTES

1. HEAVY BROOM FINISH CONCRETE PAVEMENT.
2. ASPHALT CONCRETE (AC) PAVING.
3. CONCRETE WALKWAY, MEDIUM BROOM FINISH
4. DRIVEWAY APRONS TO BE CONSTRUCTED
5. 3'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WALK OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
7. PROVIDE 6" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
8. CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
9. EXTERIOR BIKE RACK TYPICAL.
10. 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
11. EXTERIOR METAL STAIR.
12. 3' WIDE CONCRETE WALKWAY, MEDIUM BROOM FINISH
13. LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
14. EMPLOYEE BREAK AREA / PATIO
15. PRE-CAST CONCRETE WHEEL STOP.
16. CONCRETE FILLED GUARD POST "6 DIA. U.N.O. 42" H.
17. TRASH ENCLOSURE PER CITY STANDARD.
18. ACCESSIBLE ENTRY SIGN.
19. ACCESSIBLE PARKING STALL SIGN.
20. TRUNCATED DOME.
21. APPROXIMATE LOCATION OF FIRE HYDRANT.
22. DESIGNATED SMOKING AREA.
23. EXTERIOR CONCRETE STAIR.
24. APPROXIMATE LOCATION OF MONUMENT SIGN.

PROJECT DATA

SITE AREA		BLDG.2
In s.f.	269,064 s.f.	
In acres	6.18 ac	
BUILDING AREA		
Office (5%)	7,064 s.f.	
Office Mezz.	0 s.f.	
Manufacturing	134,211 s.f.	
TOTAL	141,275 s.f.	
COVERAGE	52.5%	
AUTO PARKING REQUIRED		
Office: 1/300 s.f.	24 stalls	
Manufacturing: 1/1,000 s.f.	135 stalls	
TOTAL	159 stalls	
AUTO PARKING PROVIDED		
Standard (9' x 19')	124 stalls	
Compact (8.5 x 16', 25% max.)	35 stalls	
TOTAL	159 stalls	
LONG-TERM BICYCLE PARKING REQUIRED		
1 per 30 auto parking	6 stalls	
LONG-TERM BICYCLE PARKING PROVIDED		
	12 stalls	
ZONING ORDINANCE FOR CITY		
Zoning Designation - General Industrial		
MAXIMUM BUILDING HEIGHT ALLOWED		
Height - more than 1,000' from R zone - 200'		
MAXIMUM FLOOR AREA RATIO		
FAR - to be verified		
SETBACKS		
Front - 10'		
Side - 15'		
Rear - 20'		

KEY MAP



SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TEO.
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6" O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
17. ALL ROOFTOP AND GROUND EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW BY ARCHITECTURAL ELEMENTS OF THE BUILDINGS OR LANDSCAPE ON GROUND EQUIPMENT.

SITE PLAN GENERAL NOTES

- CONCRETE PAVING. SEE "C" DRWGS.
- STANDARD PARKING STALL (9' x 19')
- COMPACT PARKING STALL (8.5' x 16')
- LANDSCAPED AREA
- HANDICAP PARKING STALL (9' x 19') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' x 19') W/ 5' ACCESSIBLE AISLE
- 26' WIDE FIRELANE
- PATH OF TRAVEL



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 Structural: -
 Mechanical: -
 Plumbing: -
 Electrical: -
 Landscape: VISTA PARKS
 Fire Protection: -
 Soils Engineer: -

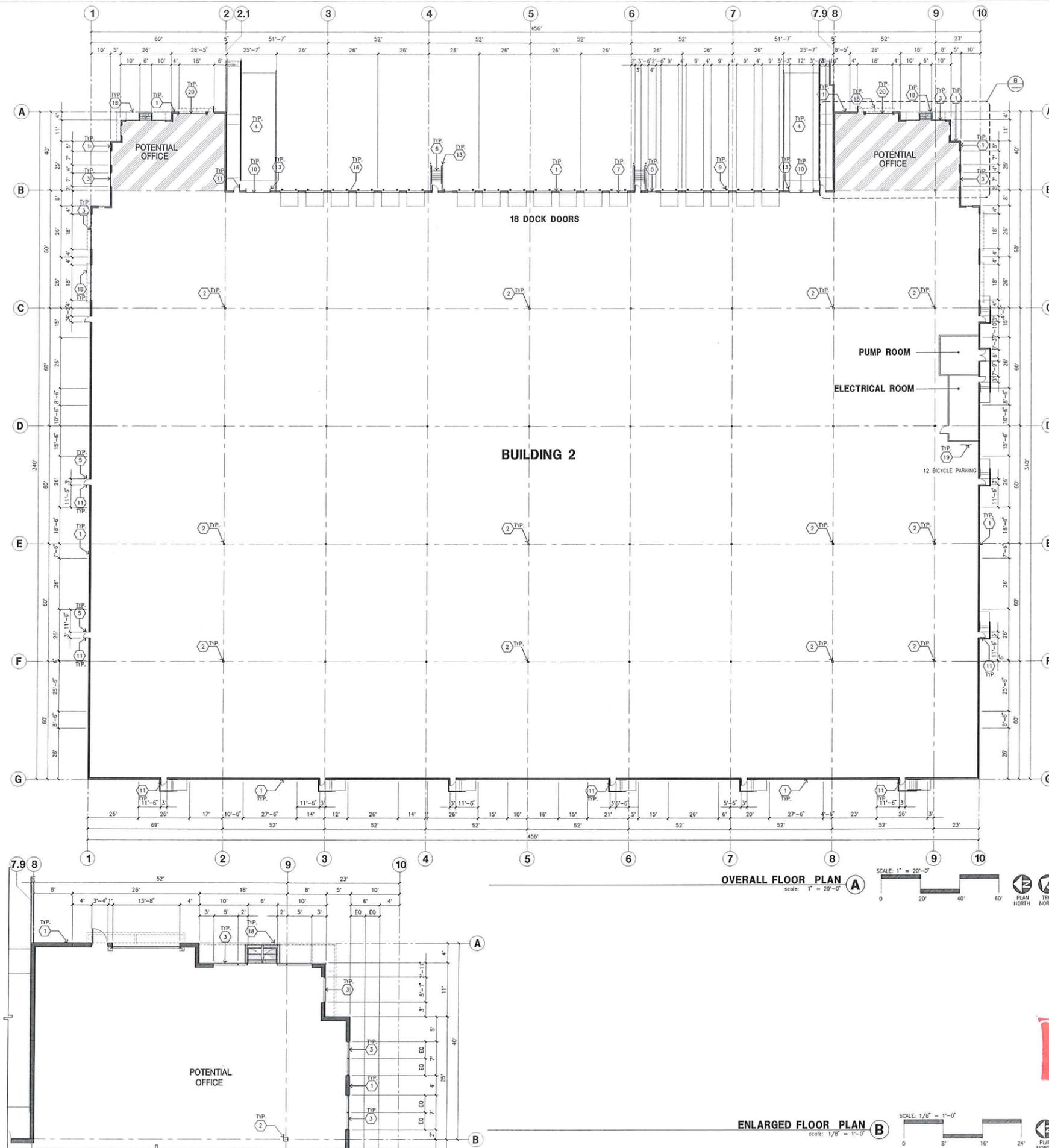
Title: **OVERALL SITE PLAN**

Project Number: 17070
 Drawn by: ML
 Date: 02/15/18
 Revision:

Sheet:
2-A1.1

EXHIBIT Ap5

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



FLOOR PLAN KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BRUSH FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 EXTERIOR METAL STAR.
- 7 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 8 4' X 8' LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE.
- 13 CONC. FILLED GUARD POST, 6" DIA. U.H.D., 42"H.
- 14 NOT USED.
- 15 NOT USED.
- 16 Z GUARD.
- 17 NOT USED.
- 18 METAL CANOPY ABOVE.
- 19 INTERIOR BIKE RACK TYPICAL.
- 20 GLASS ROLL UP DOOR.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH FILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OVP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.H.D.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/44.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION -- 95%
 2. TRENCH COMPACTION -- 90%
 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. CONCRETE SLAB TO HAVE STEEL FIBER HARD FIBER BURSTED FINISH
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVY WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE F750 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 13. CONTROL/CONSTRUCTION JOINTS. SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 14. SEAL CONCRETE SLAB W/ "LIPOLIGHT" SEALER.
 15. 10' POUR STRIP AT TRUCK DOOR, 4FT. MAX. ELSEWHERE.
 16. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PA EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 18. MM-80 AT SPEED BAY ONLY.



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Plumbing: -
Electrical: -
Landscape: VISTA PARKS
Fire Protection: -
Soils Engineer: -

Title: overall floor plan bldg 2

Project Number: 17070
Drawn by: ML
Date: 02/15/18
Revision:

Sheet:
2-A2.1

EXHIBIT ApG

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 12" X 14" OVERHEAD DOOR. 8 DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIFFING PROTECTION ALL AROUND.
- 5 9" X 10" OVERHEAD DOOR. 4 DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIFFING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL. W/ METAL PIPE HANDRAIL. PROVIDE NON SKID FINISHING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 9 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 10 DOCK DOOR BUMPER TYPICAL.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 METAL CANOPY.
- 13 KNOCK OUT PANEL.
- 14 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 15 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
- 16 GLASS ROLL UP DOOR.
- 17 EMPLOYEE BREAK AREA / PATIO.
- 18 APPROXIMATE ADDRESS LOCATION ON WALL.
- 19 APPROXIMATE SIGNAGE LOCATION ON WALL.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT RISID CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINETS SHALL BE DESIGNED TO RESIST - MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

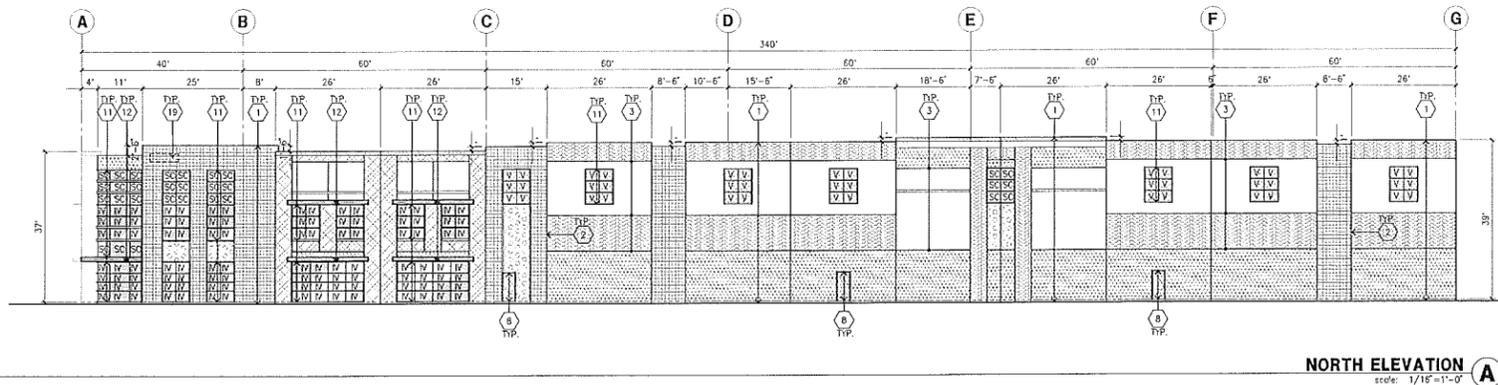
MULTI-TENANTS
 MAX. ALLOWABLE AGGREGATE SIGN AREA CALCULATION:
 (PER TABLE 17.25.070B (G) DISTRICTS)
 1 SQ FT = 1 LINEAR FT OF BUILDING FRONTAGE
 BUILDING FRONTAGE = 69' LINEAR FEET = 69 SQ FT.
 WITH ADDITIONAL
 69/4 = 17 SQ FT.
 TOTAL = 86 SQ FT.
 SEE KEYNOTE "19" FOR APPROXIMATE LOCATION

ELEVATION COLOR LEGEND/SCHED.

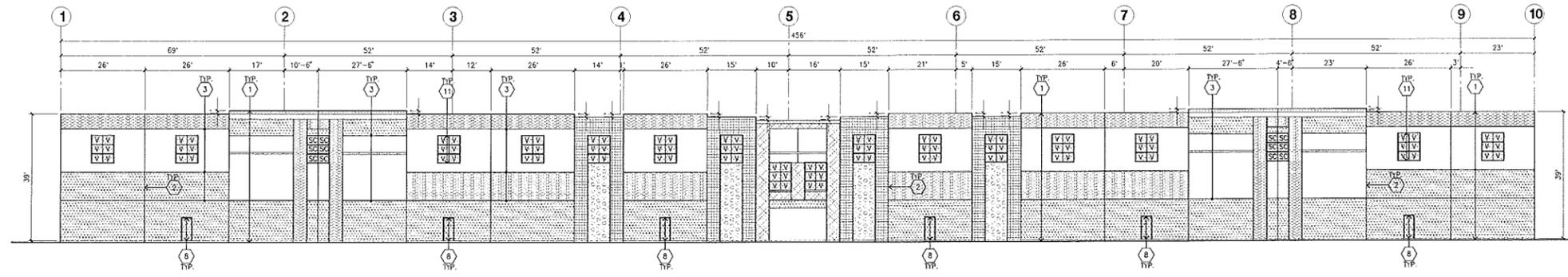
- 1 CONCRETE TILT-UP PANEL. COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SW 7071 GRAY SCREEN
- 3 CONCRETE TILT-UP PANEL. COLOR : SW 7072 ONLINE
- 4 CONCRETE TILT-UP PANEL. COLOR : SW7073 NETWORK GRAY
- 5 CONCRETE TILT-UP PANEL. COLOR : SW 7075 WEB GRAY
- 6 CONCRETE TILT-UP PANEL. COLOR : SW 6523 DENIM
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED
- 9 CANOPY MATERIAL : ACRYLIC LATEX SYSTEM, SW 6523 DENIM
- 10 WOOD GRAIN CONCRETE

GLAZING LEGEND

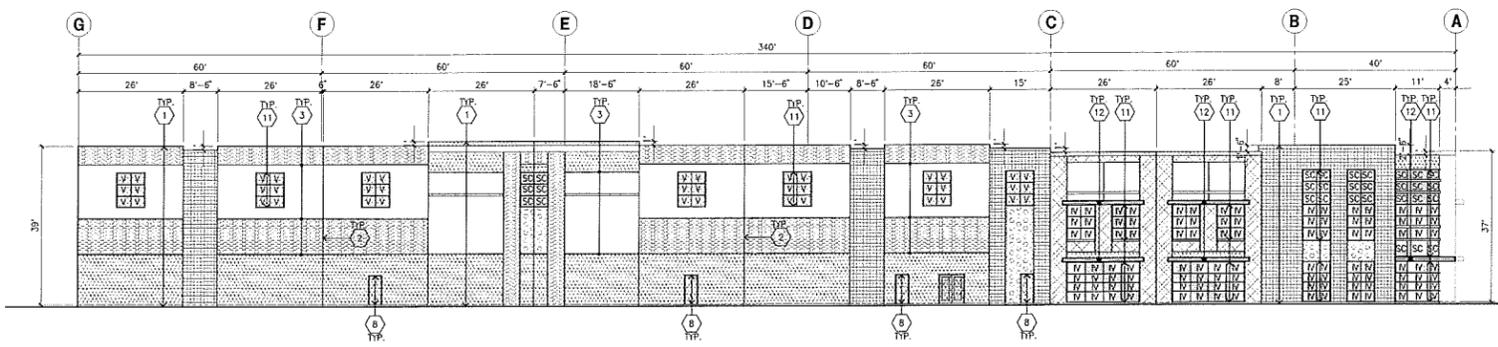
- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BDRHD
 - SG SINGLE LITE VISION GLASS
 - IV INSULATED VISION GLASS
 - 1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
 - 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
 - U. 0.27 SHGC 0.52 VLR 26% MINIMUM U TO BE 0.42 PER 2016 IBC TABLE 140.3-B
 - SC SPANDREL WITH CONCRETE BDRHD
 - 1/4" VISTACOOL PACIFICA WITH WARM GRAY OPACICANT PAINTED ON REFLECTIVE. REFLECTED ON CONCRETE.
 - V VISION GLASS
 - 1/4" VISTACOOL PACIFICA
 - MULLIONS : ANODIZED CLEAR.



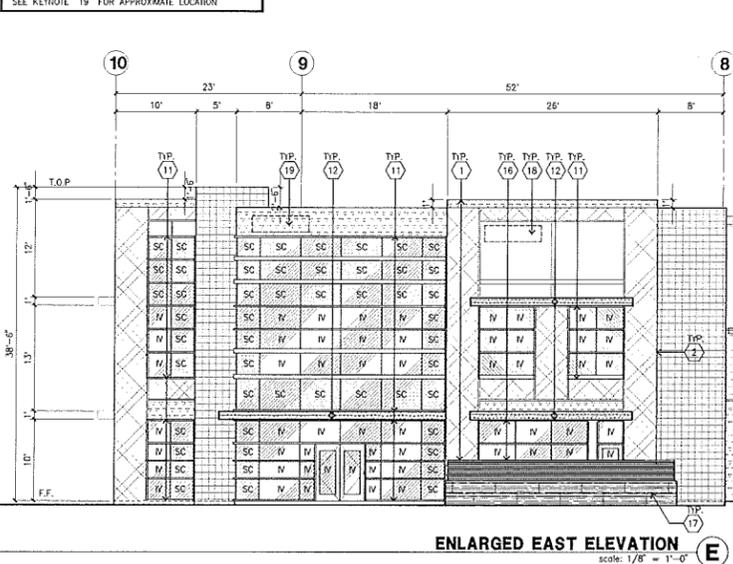
NORTH ELEVATION A
 scale: 1/16"=1'-0"



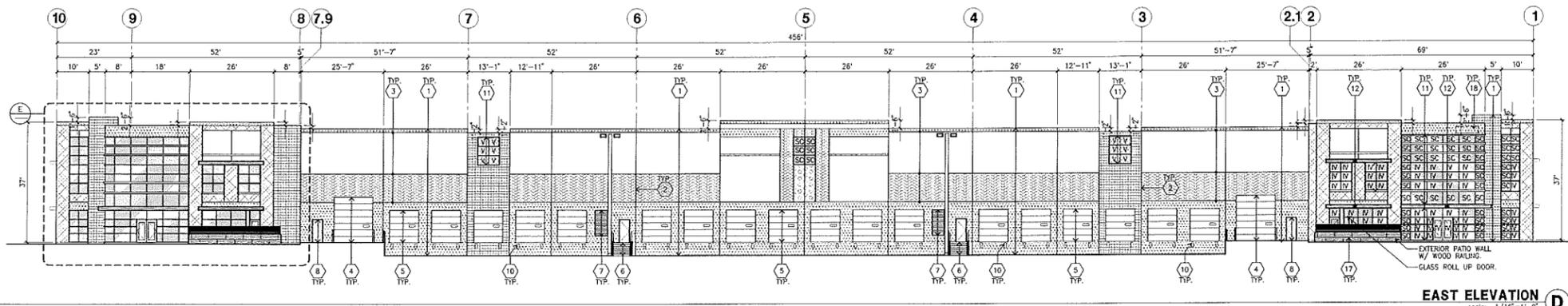
WEST ELEVATION B
 scale: 1/16"=1'-0"



SOUTH ELEVATION C
 scale: 1/16"=1'-0"



ENLARGED EAST ELEVATION E
 scale: 1/8"=1'-0"



EAST ELEVATION D
 scale: 1/16"=1'-0"



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Project:
MORTON COMMERCE CENTER

MORTON AVENUE
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Consultants:

Civil:	KIER & WRIGHT
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	VISTA PARKS
Fire Protection:	-
Soils Engineer:	-

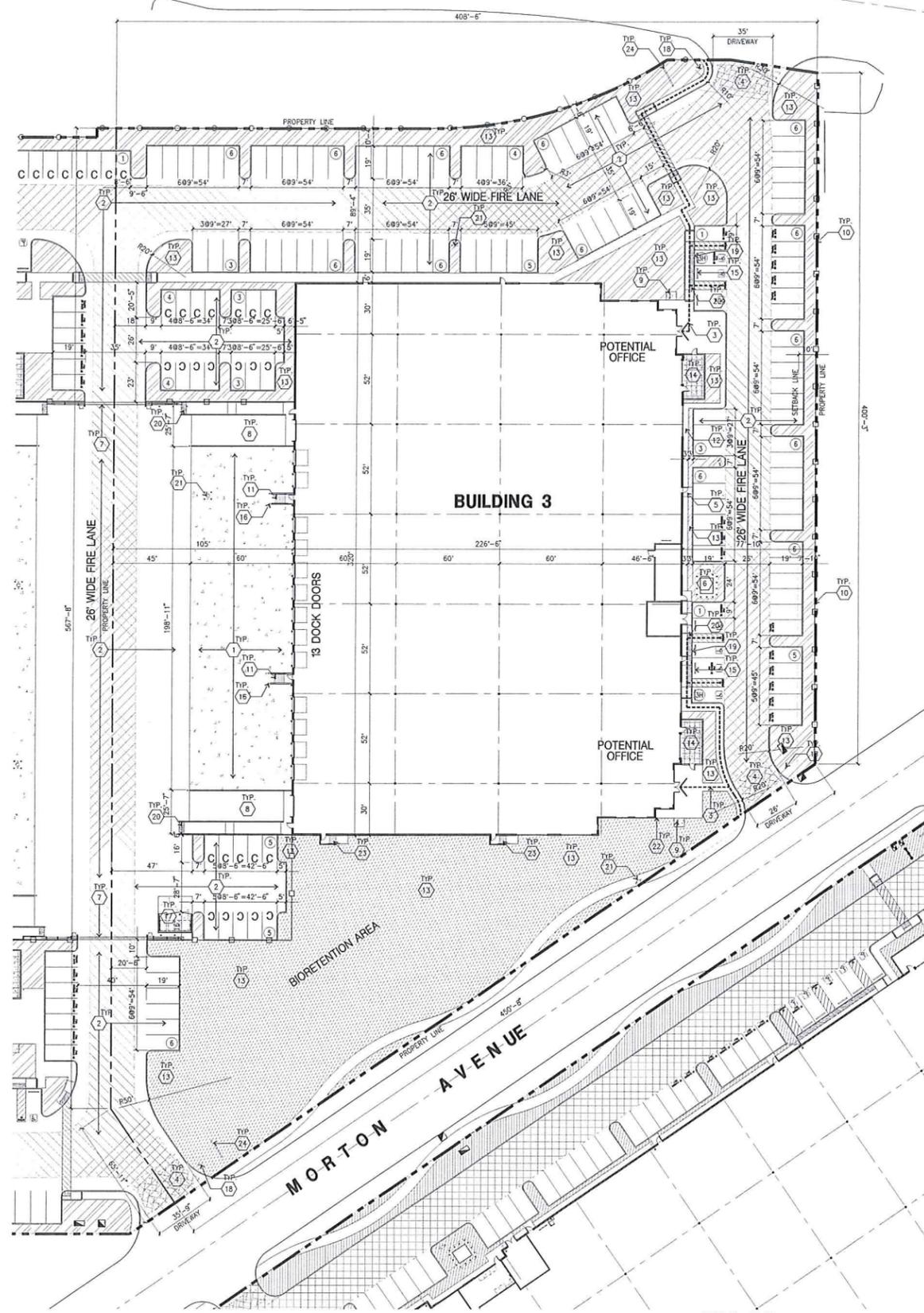
Elevations
 Title:

Project Number: 17070
 Drawn by: ML
 Date: 02/15/18
 Revision:

Sheet:
2-A3.1

EXHIBIT Ap7

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



OVERALL SITE PLAN
 scale: 1" = 30'-0"
 SCALE: 1" = 30'-0"
 TRUE NORTH

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6" x 5'-6" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 6' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS FOR DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 6' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 11 EXTERIOR METAL STAIR.
- 12 3' WIDE CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 EMPLOYEE BREAK AREA / PATIO
- 15 FIRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22 DESIGNATED SMOKING AREA.
- 23 EXTERIOR CONCRETE STAIR.
- 24 APPROXIMATE LOCATION OF MONUMENT SIGN.

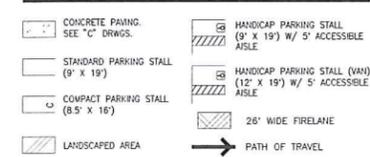
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TED
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
17. ALL ROOFTOP AND GROUND EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW BY ARCHITECTURAL ELEMENTS OF THE BUILDINGS OR LANDSCAPE OR GROUND EQUIPMENT.

PROJECT DATA

SITE AREA		BLDG.3
In s.f.		211,187 s.f.
In acres		4.85 ac
BUILDING AREA		
Office (5%)		3,558 s.f.
Office Mezz.		5,000 s.f.
Manufacturing		67,604 s.f.
TOTAL		76,162 s.f.
COVERAGE		36.1%
AUTO PARKING REQUIRED		
Office: 1/300 s.f.		29 stalls
Manufacturing: 1/1,000 s.f.		68 stalls
TOTAL		97 stalls
AUTO PARKING PROVIDED		
Standard (9' x 19')		113 stalls
Compact (8.5 x 16', 25% max.)		25 stalls
TOTAL		138 stalls
LONG-TERM BICYCLE PARKING REQUIRED		
1 per 30 auto parking		5 stalls
LONG-TERM BICYCLE PARKING PROVIDED		10 stalls
ZONING ORDINANCE FOR CITY		
Zoning Designation - General Industrial		
MAXIMUM BUILDING HEIGHT ALLOWED		
Height - more than 1,000' from R zone - 200'		
MAXIMUM FLOOR AREA RATIO		
FAR - to be verified		
SETBACKS		
Front - 10'		
Side - 15'		
Rear - 20'		

SITE PLAN GENERAL NOTES



KEY MAP

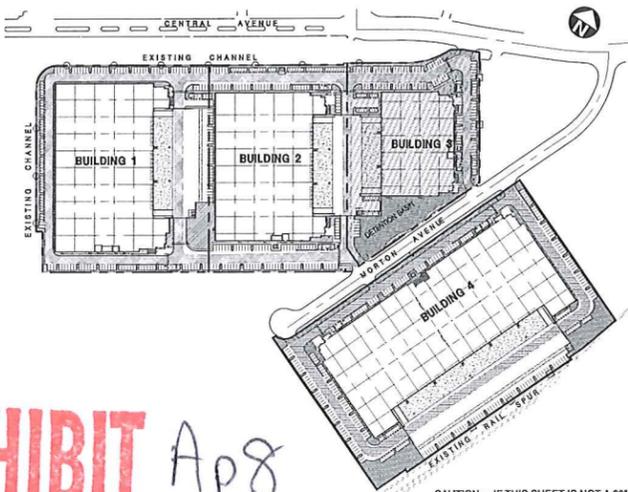


EXHIBIT Ap8

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MORTON COMMERCE CENTER

MORTON AVENUE
 NEWARK, CA

Consultants:

- Civil: KIER & WRIGHT
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscaping: VISTA PARKS
- Fire Protection: -
- Soils Engineer: -

Title: OVERALL SITE PLAN

Project Number: 17070
 Drawn by: ML
 Date: 02/15/18
 Revision:

Sheet:
3-A1.1

Applicant:

NEWARK INDUSTRIAL PARTNERS

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TEL : 970-429-8253

Project:

MORTON COMMERCE CENTER

MORTON AVENUE
NEWARK, CA

Consultants:

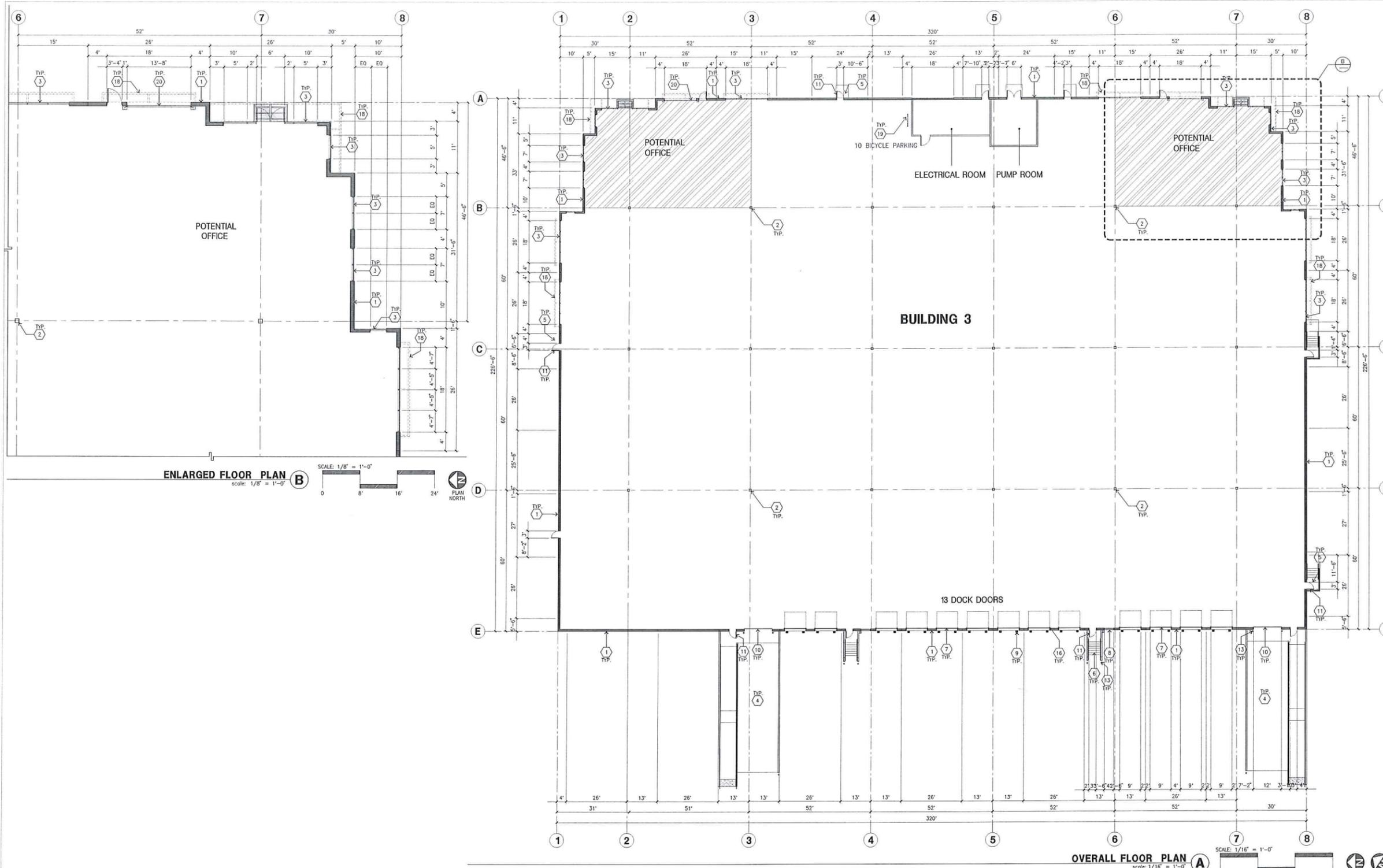
Civil:	KIER & WRIGHT
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscaps:	VISTA PARKS
Fire Protection:	-
Soils Engineer:	-

Title: overall floor plan bldg 3

Project Number: 17070
Drawn by: ML
Date: 02/15/18
Revision:

Sheet:

3-A2.1



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"

OVERALL FLOOR PLAN
scale: 1/16" = 1'-0"

FLOOR PLAN KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 EXTERIOR METAL STAIR.
- 7 9' X 10' TRUCK DOOR, SECTIONAL O'H, STANDARD GRADE.
- 8 4' X 8' LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 12' X 14' DRIVE THRU, SECTIONAL O'H, STANDARD GRADE.
- 11 3' X 7" HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE.
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
- 14 NOT USED.
- 15 NOT USED.
- 16 Z GUARD.
- 17 NOT USED.
- 18 METAL CANOPY ABOVE.
- 19 INTERIOR BIKE RACK TYPICAL.
- 20 GLASS ROLL UP DOOR.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOROR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT" THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11.33B.1.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/A4.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION = 95%
 2. TRENCH COMPACTION = 90%
 3. BUILDING FLOOR SLAB. SEE STRUCTURAL DRAWINGS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-8R-96
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FFSO FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
- CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE. CURING COMPOUND, OR RELEASE AGENTS.
12. SEAL CONCRETE SLAB W/ "LIPDOLIN" SEALER.
 13. 10' POUR STRIP AT TRUCK DOOR. AFT. MAX. ELSEWHERE.
 14. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PA EPOXY COMPOUND TO MATCH CONCRETE COLOR. FEGA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 15. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 16. MM-60 AT SKEED SH ONLY.
- CAUTION : IF THIS SHEET IS NOT A 30' X 42' IT IS A REDUCED PRINT**

EXHIBIT Ap9

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O. 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 4 WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE 1201 SHOD HOUSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 8 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 11 METAL CANOPY.
- 12 KNOCK OUT PANEL.
- 13 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 14 CONC. FILLED GUARD POST 6" DIA. U.N.O. 42"H.
- 15 GLASS ROLL UP DOOR.
- 16 EMPLOYEE BREAK AREA / PATIO.
- 17 APPROXIMATE ADDRESS LOCATION ON WALL.
- 18 APPROXIMATE SIGNAGE LOCATION ON WALL.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SW 7071 GRAY SCREEN
- 3 CONCRETE TILT-UP PANEL. COLOR : SW 7072 ONLINE
- 4 CONCRETE TILT-UP PANEL. COLOR : SW7073 NETWORK GRAY
- 5 CONCRETE TILT-UP PANEL. COLOR : SW 7075 WEB GRAY
- 6 CONCRETE TILT-UP PANEL. COLOR : SW 6523 DENIM
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED
- 9 CANOPY MATERIAL : ACRYLIC LATEX SYSTEM, SW 6523 DENIM
- 10 WOOD GRAIN CONCRETE

MULTI-TENANTS
 MAX. ALLOWABLE AGGREGATE SIGN AREA CALCULATION:
 (PER TABLE 17.25 (0109 IS DISTRICTS))
 1 SQ FT = 1 LINEAR FT. OF BUILDING FRONTAGE
 BUILDING FRONTAGE = 77' LINEAR FEET = 77 SQ FT.
 WITH ADDITIONAL
 77/4 = 19 SQ FT.
 TOTAL = 96 SQ FT.
 SEE KEYNOTE "19" FOR APPROXIMATE LOCATION

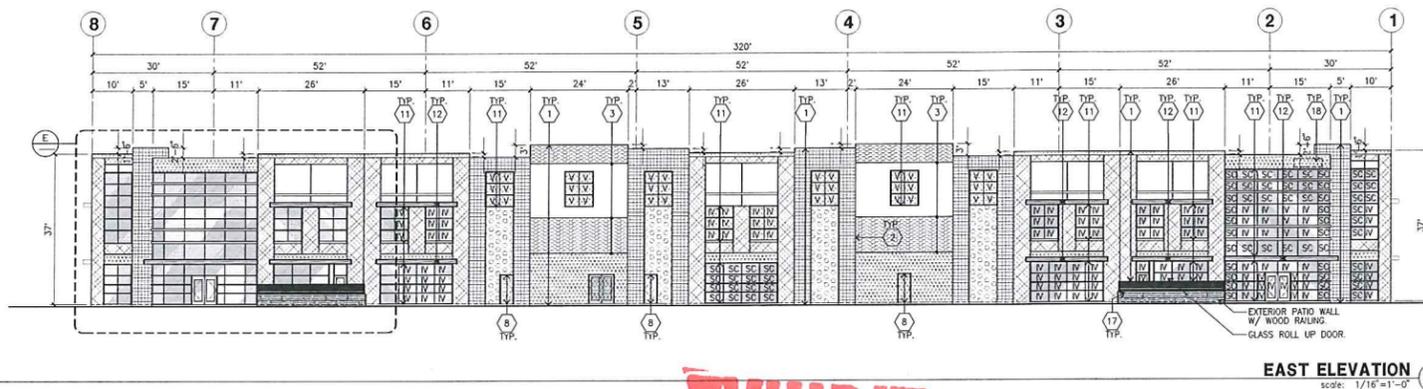
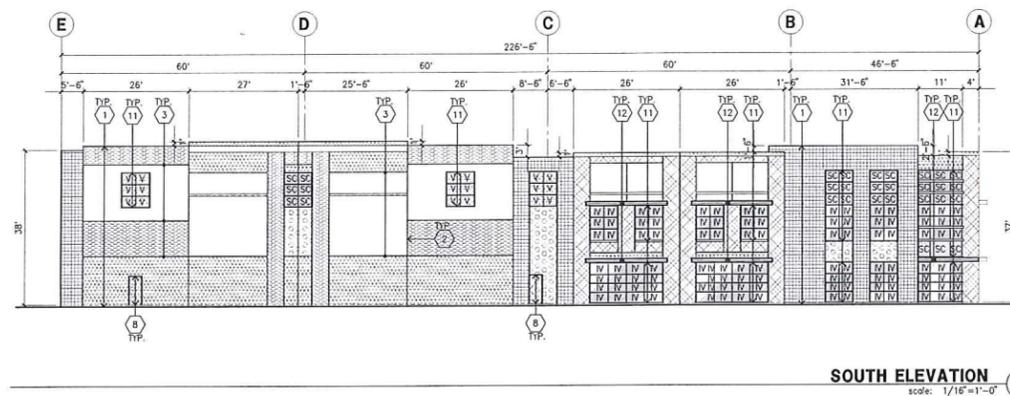
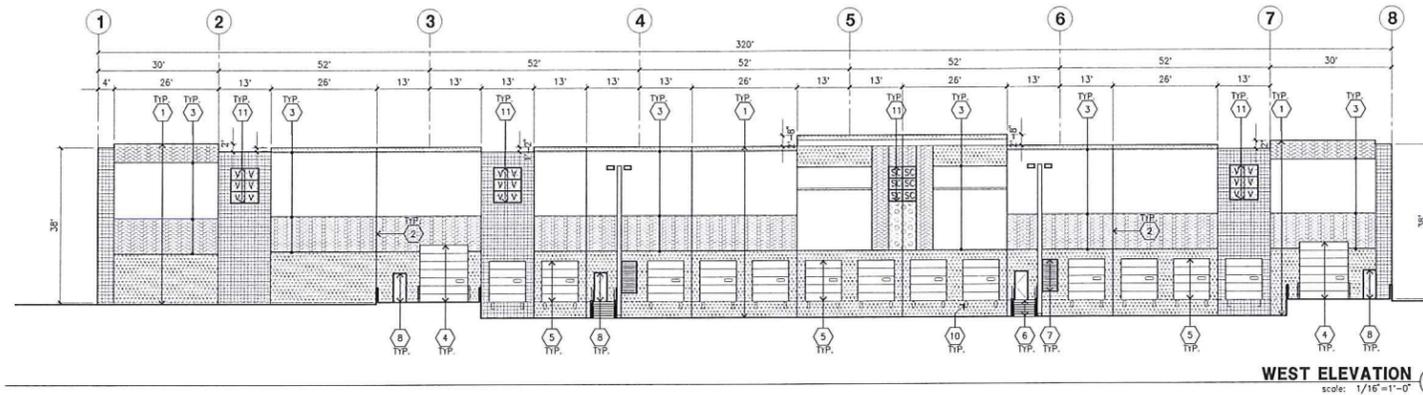
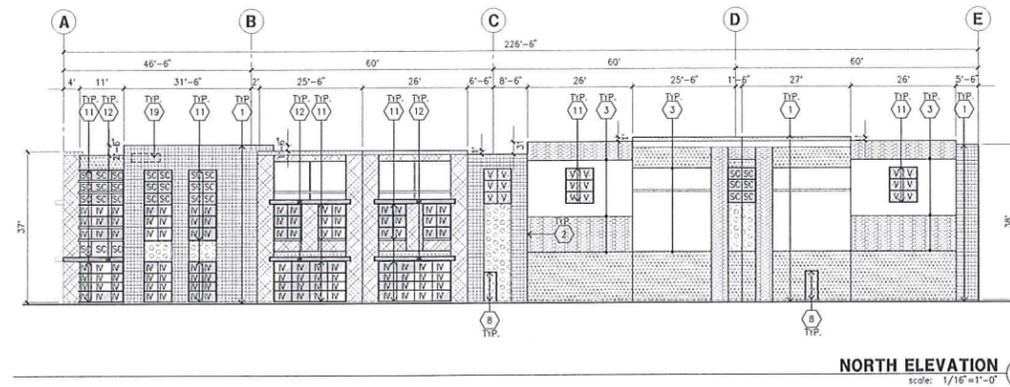
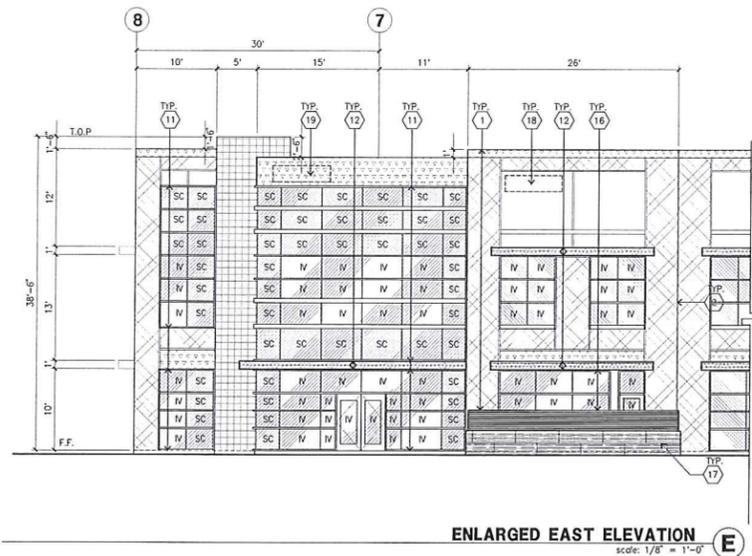
ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LITELS SHALL BE DESIGNED TO RESIST = MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- IV : INSULATED VISION GLASS
- SC : SPANDREL GLASS WITH CONCRETE BEHIND
- 1" : INSULATED VISION GLASS + 1/4" SOLARBAN 60 CLEAR
- 1" : INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES U: 0.27, SHGC: 0.3, VLT: 26% MINIMUM VLT TO BE 0.42 PER 2016 IBC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
- 1/4" VISTACOLOR PACIFICA WITH WARM GRAY OPACICONT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
- V : VISION GLASS
- 1/4" VISTACOLOR PACIFICA
- MULLIONS : ANODIZED CLEAR



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MORTON AVENUE
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- Civil: KIER & WRIGHT
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscaping: VISTA PARKS
- Fire Protection: -
- Soils Engineer: -

Elevations

Title:

Project Number: 17070
 Drawn by: ML
 Date: 02/15/18
 Revision:

Sheet:
3-A3.1

EXHIBIT A10

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**MORTON
COMMERCE
CENTER**

MORTON AVENUE
NEWARK, CA

Consultants:

Civil: KIER & WRIGHT
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: VISTA PARKS
Fire Protection: -
Soils Engineer: -

Title: OVERALL SITE PLAN

Project Number: 17070
Drawn by: ML
Date: 02/15/18
Revision:

Sheet:
4-A1.1

SITE PLAN KEYNOTES

1. HEAVY BROOM FINISH CONCRETE PAVEMENT.
2. ASPHALT CONCRETE (AC) PAVING.
3. CONCRETE WALKWAY, MEDIUM BROOM FINISH.
4. DRIVEWAY APPROXNS TO BE CONSTRUCTED.
5. 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
7. PROVIDE 6" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
8. CONCRETE RAMP W/ 4" HIGH CONCRETE WALL.
9. EXTERIOR BIKE RACK TYPICAL.
10. 6" HIGH METAL FENCE SEE A4.1 FOR DETAILS.
11. EXTERIOR METAL STAIR.
12. 3' WIDE CONCRETE WALKWAY, MEDIUM BROOM FINISH.
13. LANDSCAPE ALL LANDSCAPE AREAS INDICATED BY SHADING.
14. EMPLOYEE BREAK AREA / PATIO.
15. PRE-CAST CONCRETE WHEEL STOP.
16. CONCRETE FILLED GUARD POST 6" DIA. U.N.O. 42" H.
17. TRASH ENCLOSURE PER CITY STANDARD.
18. ACCESSIBLE ENTRY SIGN.
19. ACCESSIBLE PARKING STALL SIGN.
20. TRUNCATED DOME.
21. APPROXIMATE LOCATION OF FIRE HYDRANT.
22. DESIGNATED SMOKING AREA.
23. EXTERIOR CONCRETE STAIR.
24. APPROXIMATE LOCATION OF MONUMENT SIGN.

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TEO.
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
17. ALL ROOFTOP AND GROUND EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW BY ARCHITECTURAL ELEMENTS OF THE BUILDINGS OR LANDSCAPE ON GROUND EQUIPMENT.

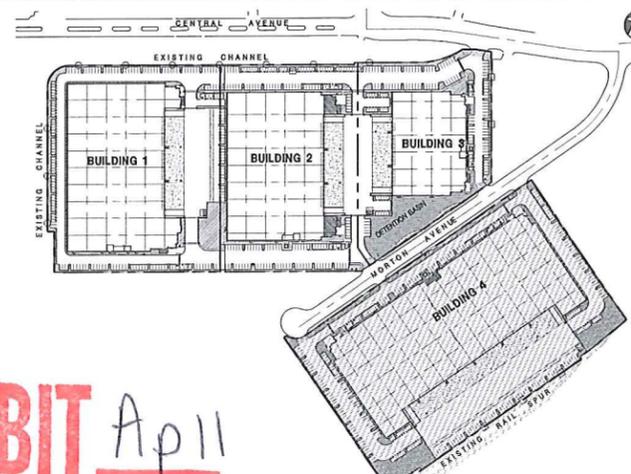
PROJECT DATA

SITE AREA	BLDG.4
In s.f.	485,878 s.f.
In acres	11.15 ac
BUILDING AREA	
Office (5%)	11,284 s.f.
Office Mezz.	0 s.f.
Manufacturing	214,395 s.f.
TOTAL	225,679 s.f.
COVERAGE	46.4%

AUTO PARKING REQUIRED	
Office: 1/300 s.f.	38 stalls
Manufacturing: 1/1,000 s.f.	215 stalls
TOTAL	253 stalls
AUTO PARKING PROVIDED	
Standard (9' x 19')	218 stalls
Compact (8.5 x 16', 25% max.)	36 stalls
TOTAL	254 stalls
LONG-TERM BICYCLE PARKING REQUIRED	
1 per 30 auto parking	9 stalls
LONG-TERM BICYCLE PARKING PROVIDED	18 stalls

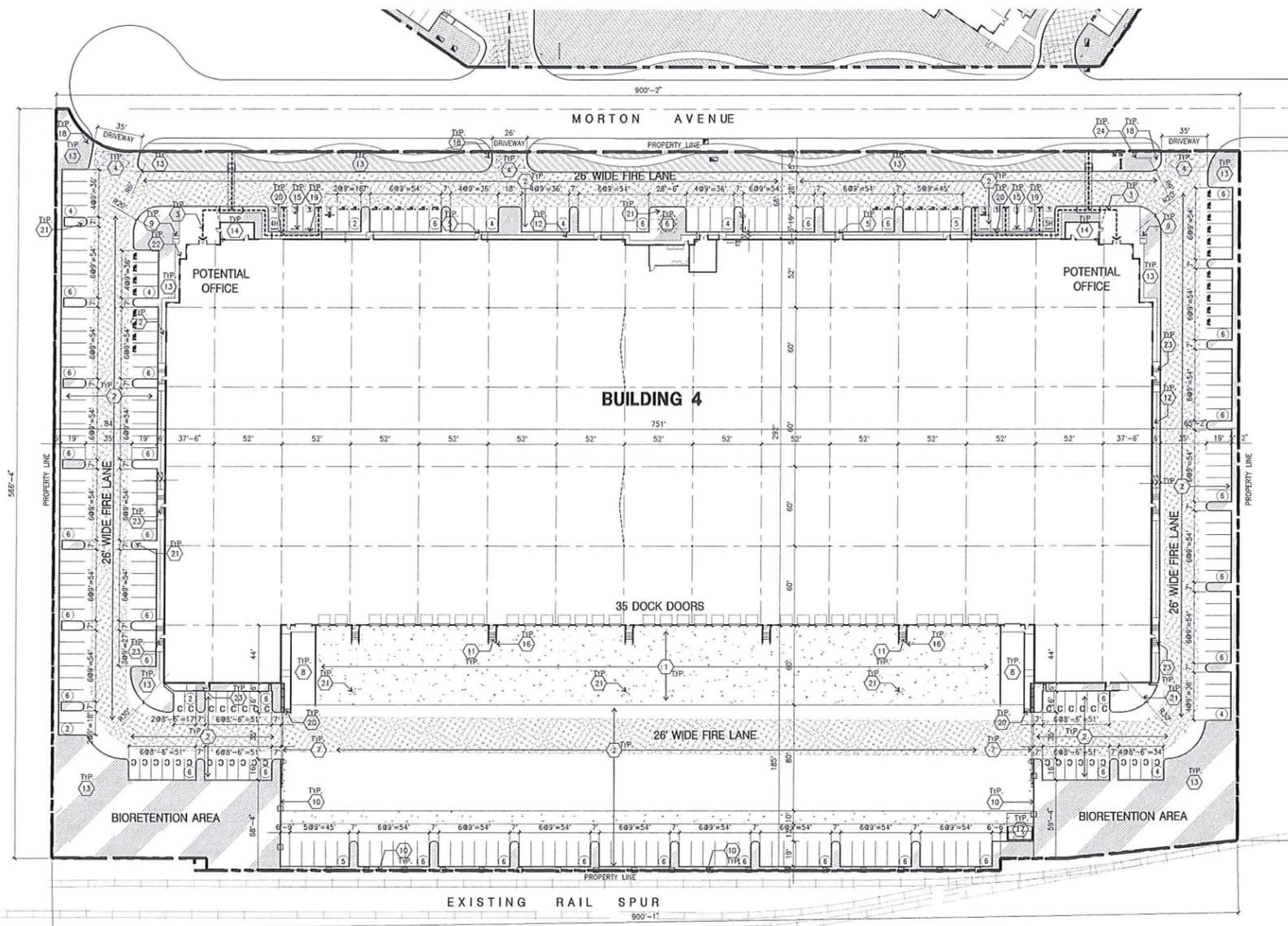
ZONING ORDINANCE FOR CITY
Zoning Designation - General Industrial
MAXIMUM BUILDING HEIGHT ALLOWED
Height - more than 1,000' from R zone - 200'
MAXIMUM FLOOR AREA RATIO
FAR - to be verified
SETBACKS
Front - 10'
Side - 15'
Rear - 20'

KEY MAP



SITE PLAN GENERAL NOTES

- CONCRETE PAVING. SEE "C" DRAWINGS.
- STANDARD PARKING STALL (9' X 19')
- COMPACT PARKING STALL (8.5' X 16')
- LANDSCAPED AREA
- HANDICAP PARKING STALL (9' X 19') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 19') W/ 5' ACCESSIBLE AISLE
- 26' WIDE FIRELANE
- PATH OF TRAVEL



OVERALL SITE PLAN
Scale: 1" = 40'-0"
SCALE: 1" = 40'-0"
0 40' 80' 120'
TRUE NORTH

EXHIBIT April

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

Applicant:

NEWARK INDUSTRIAL PARTNERS

19300 S. HAMILTON AVE., STE 200
GARDENA, CA 90248
TEL : 970-429-8253

Project:

MORTON COMMERCE CENTER

MORTON AVENUE
NEWARK, CA

Consultants:

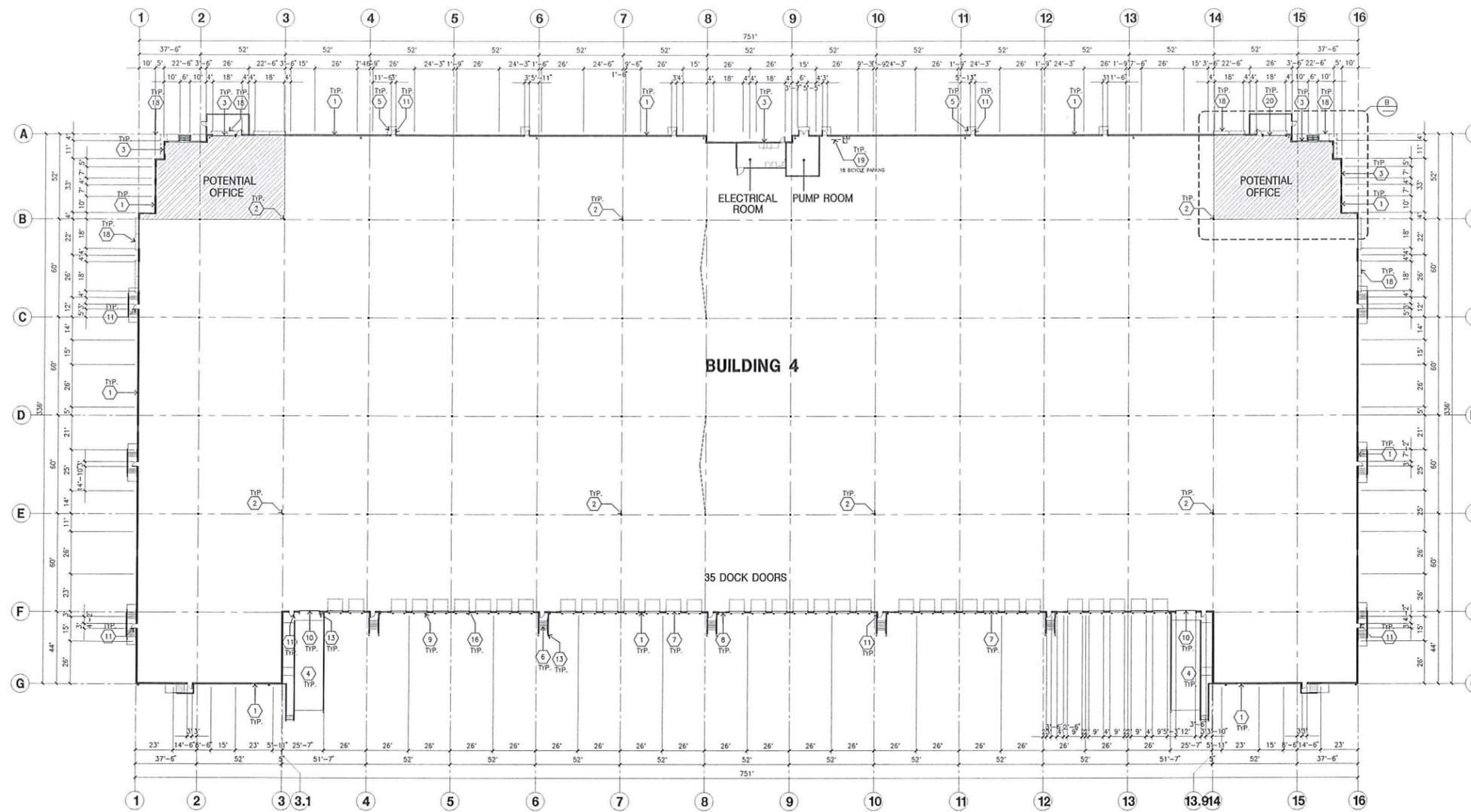
Civil: KIER & WRIGHT
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: VISTA PARKS
Fire Protection: -
Soils Engineer: -

Title: overall floor plan bldg 4

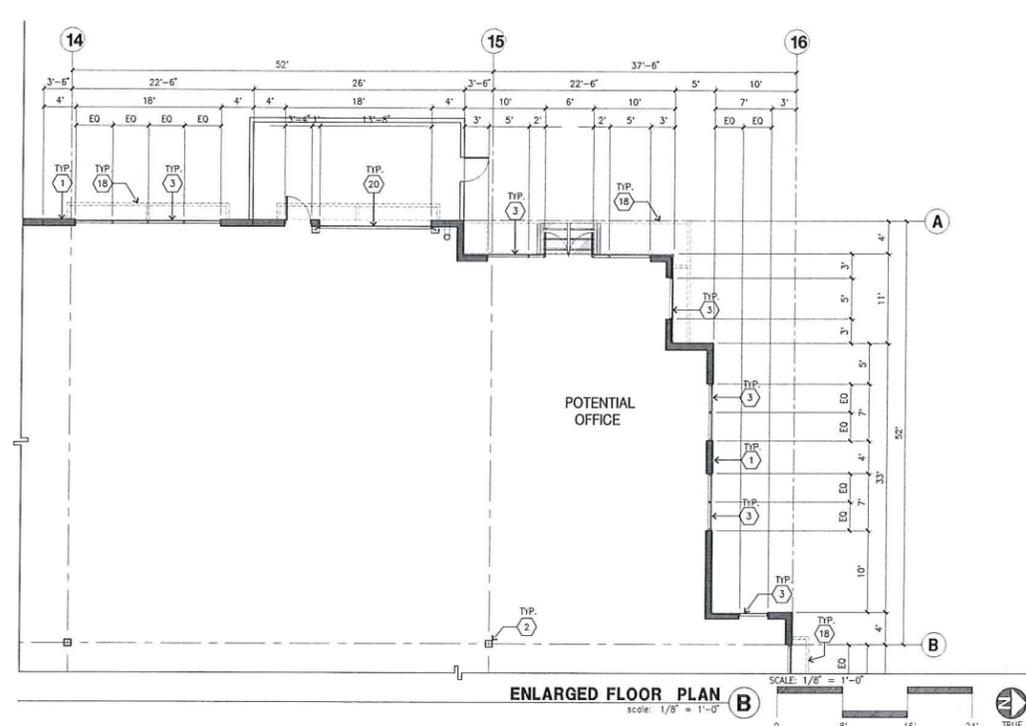
Project Number: 17070
Drawn by: ML
Date: 02/15/18
Revision:

Sheet:

4-A2.1



OVERALL FLOOR PLAN
scale: 1" = 30'-0"
TRUE NORTH



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"
TRUE NORTH

FLOOR PLAN KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 5'-0" x 15'-0" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 EXTERIOR METAL STAIR.
- 7 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 8 4' X 8' LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE.
- 13 CONIC FILLED GUARD POST, 6" DIA. U.I.N.O., 42"H.
- 14 NOT USED.
- 15 NOT USED.
- 16 Z GUARD.
- 17 NOT USED.
- 18 METAL CANOPY ABOVE.
- 19 INTERIOR BIKE RACK TYPICAL.
- 20 GLASS ROLL UP DOOR.

FLOOR PLAN GENERAL NOTES

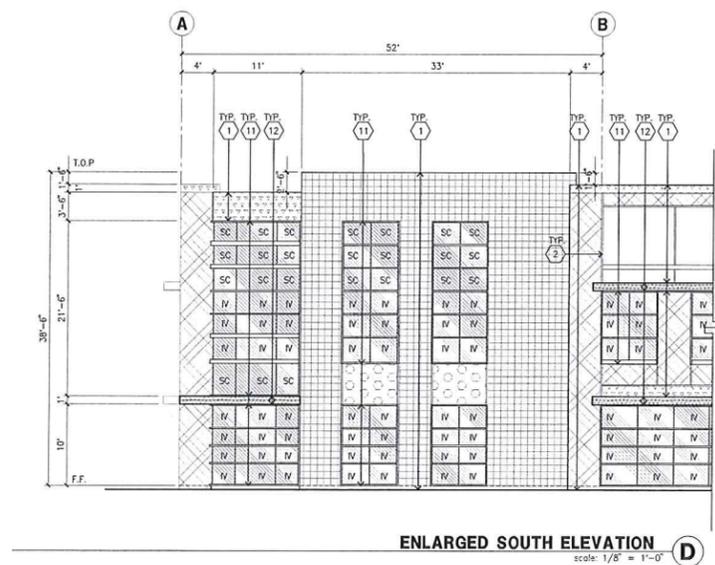
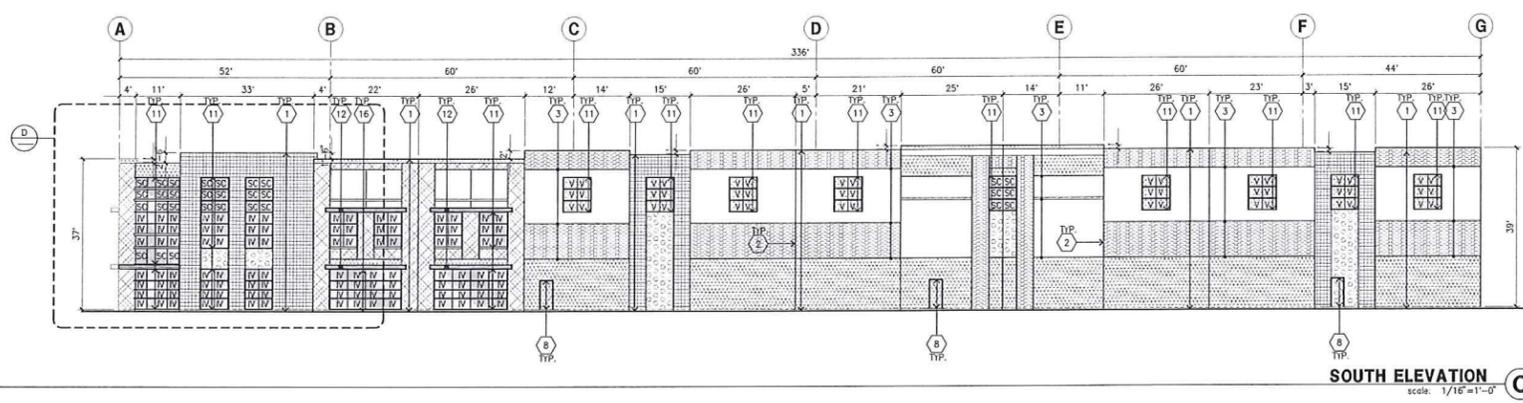
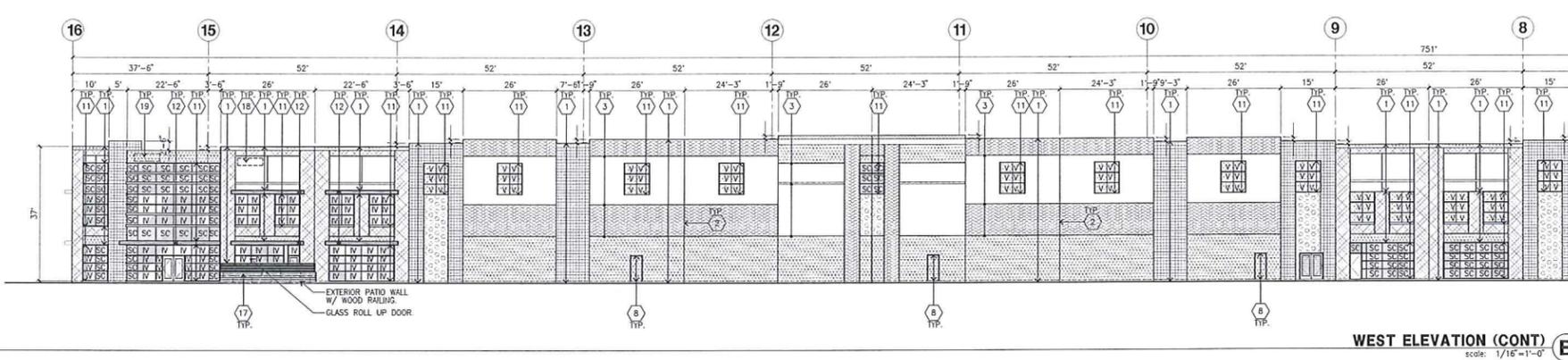
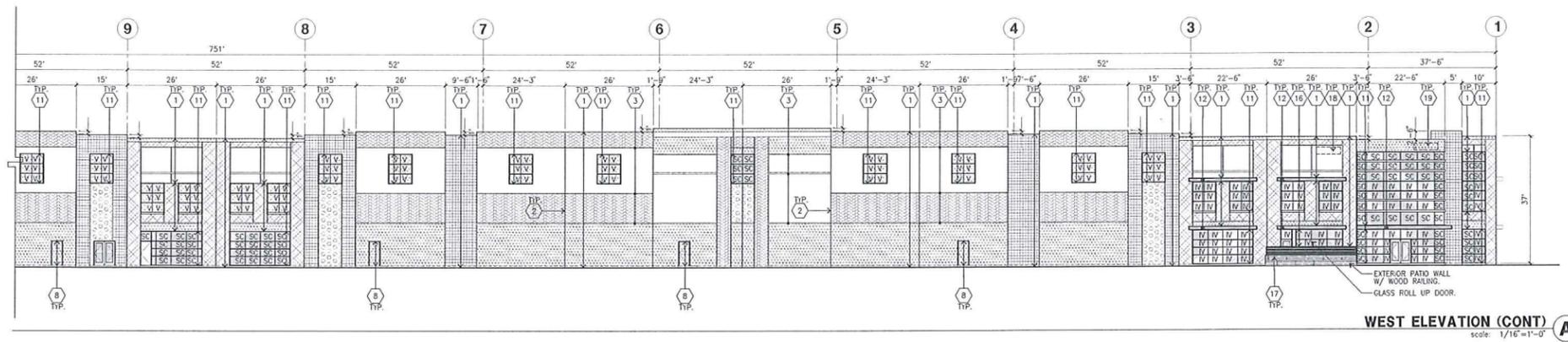
1. THIS BUILDING IS DESIGNED FOR HIGH FILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY, ALL GYP. ED. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.I.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET --. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/A.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-08
 5. CONCRETE SLAB TO HAVE STEEL FLOOR HARD FIBER BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLIPE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FFSO FLS MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 - CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VOUQUEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLIPE, CURING COMPOUND, OR RELEASE AGENTS.
 - CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 12. SEAL CONCRETE SLAB W/ "LIPIDQUIT" SEALER.
 13. 10' POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE.
 14. ALL FLOOR SLAB HALL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. FESA ROAD LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 15. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 16. MM-80 AT SPEED BAY ONLY.

EXHIBIT A p12

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



- ELEVATION KEYNOTES**
1. CONCRETE TILT-UP PANEL.
 2. PANEL JOINT.
 3. PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O. 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
 4. 9" X 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
 5. CONCRETE STAIR, LANDING AND GARABORAL W/ METAL PIPE HANDRAIL. PROVIDE NON-SKID HOISING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTERNAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
 6. 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
 7. HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
 8. EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
 9. DUCK DOOR BUMPER TYPICAL.
 10. ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
 11. METAL CANOPY.
 12. KNOCK OUT PANEL.
 13. INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
 14. CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
 15. GLASS ROLL UP DOOR.
 16. EMPLOYEE BREAK AREA / PAINT.
 17. APPROXIMATE ADDRESS LOCATION ON WALL.
 18. APPROXIMATE SIGNAGE LOCATION ON WALL.

- ELEVATION GENERAL NOTES**
1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
 2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
 3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
 4. F.F. = FINISH FLOOR ELEVATION.
 5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
 6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
 7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
 8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
 9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
 10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- MULTI-TENANTS
MAX. ALLOWABLE AGGREGATE SQ. AREA CALCULATION:
(PER TABLE 17.23.0709 10 DISTRICTS)
1 SQ FT = 1 LINEAR FT OF BUILDING FRONTAGE
BUILDING FRONTAGE = 66' LINEAR FEET = 66 SQ FT.
WITH ADDITIONAL
66/4 = 16 SQ FT.
TOTAL = 82 SQ FT.
SEE KEYNOTE "19" FOR APPROXIMATE LOCATION

- ELEVATION COLOR LEGEND/SCHED.**
1. CONCRETE TILT-UP PANEL COLOR: SW 7006 EXTRA WHITE
 2. CONCRETE TILT-UP PANEL COLOR: SW 7071 GRAY SCREEN
 3. CONCRETE TILT-UP PANEL COLOR: SW 7072 ONLINE
 4. CONCRETE TILT-UP PANEL COLOR: SW7073 NETWORK GRAY
 5. CONCRETE TILT-UP PANEL COLOR: SW 7075 WEB GRAY
 6. CONCRETE TILT-UP PANEL COLOR: SW 6523 DENIM
 7. GLAZING COLOR: BLUE REFLECTIVE GLAZING
 8. MULLIONS COLOR: CLEAR ANODIZED
 9. CANOPY MATERIAL: ACRYLIC LATEX SYSTEM, SW 6523 DENIM
 10. WOOD GRAIN CONCRETE

- GLAZING LEGEND**
- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV - INSULATED VISION GLASS
 - SC - SPANDREL GLASS WITH CONCRETE BEHIND
 - V - VISION GLASS
 - SC - SPANDREL WITH CONCRETE BEHIND
 - V - VISION GLASS
 - MULLIONS: ANODIZED CLEAR.

EXHIBIT Ap13

HPA
architecture

hpa, inc.
18831 barden avenue - sta.
#100 Irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
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Applicant:

NEWARK INDUSTRIAL PARTNERS

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GARDENA, CA 90248
TEL: 970-429-8253

Project:

MORTON COMMERCE CENTER

MORTON AVENUE
NEWARK, CA

Consultants:

Civil: KIER & WRIGHT
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: VISTA PARKS
Fire Protection: -
Soils Engineer: -

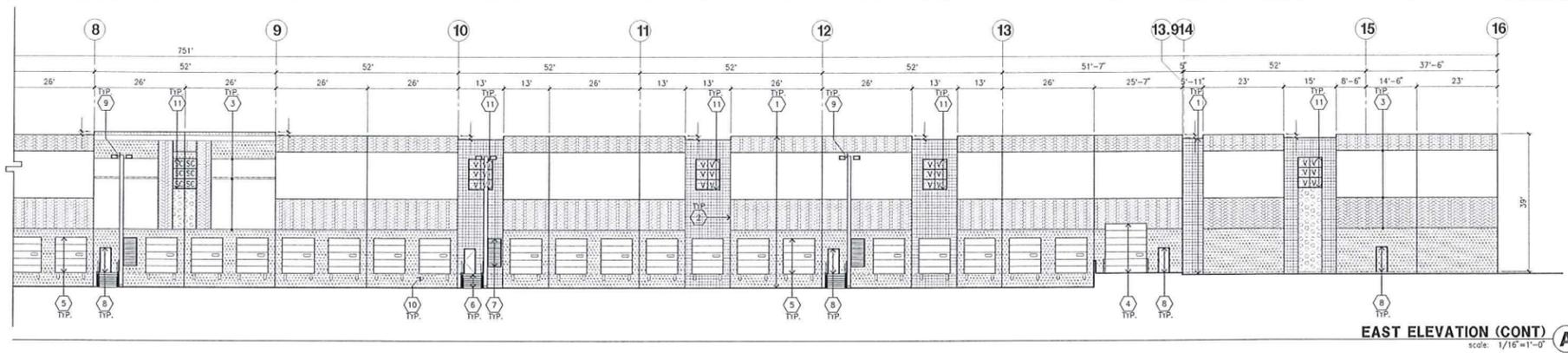
Elevations

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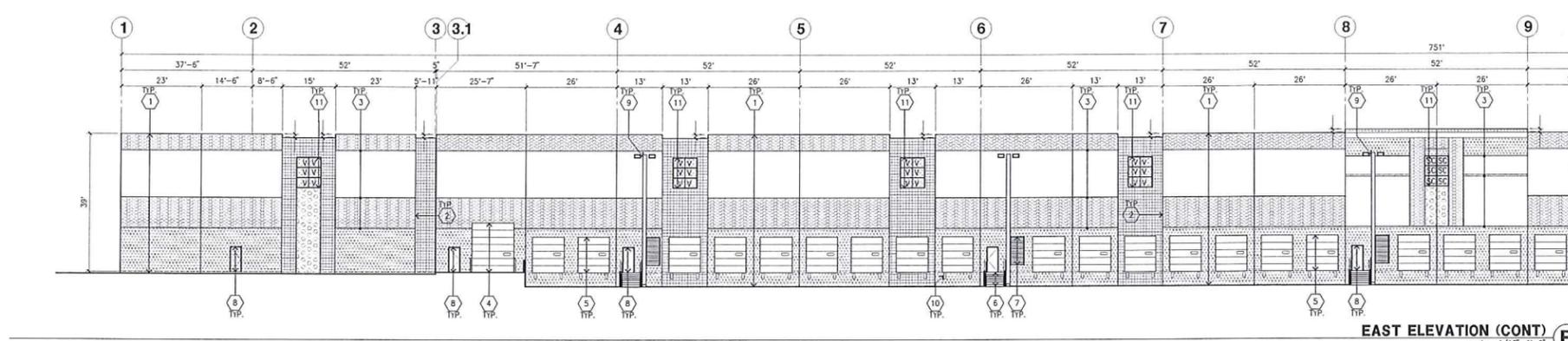
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Drawn by: ML
Date: 02/15/18
Revision:

Sheet:
4-A3.1A

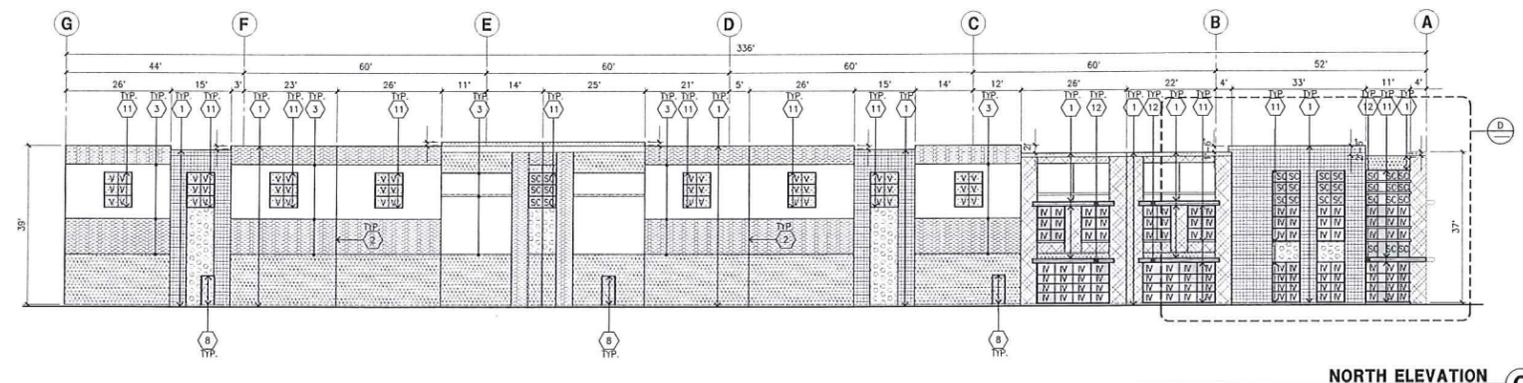
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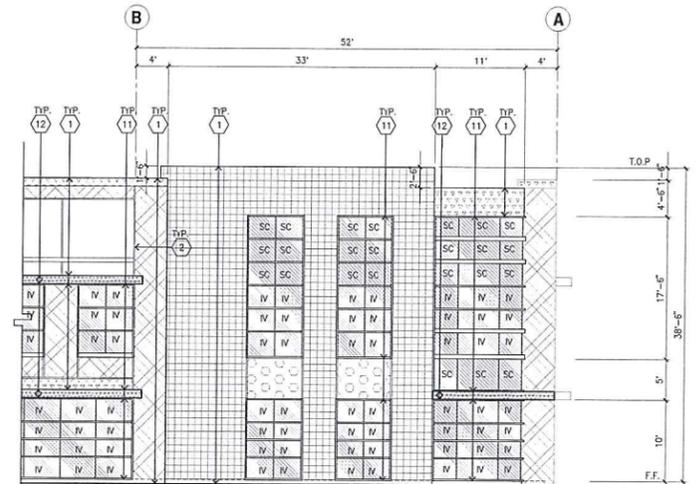
EAST ELEVATION (CONT) A
scale: 1/16" = 1'-0"



EAST ELEVATION (CONT) B
scale: 1/16" = 1'-0"



NORTH ELEVATION C
scale: 1/16" = 1'-0"



ENLARGED NORTH ELEVATION D
scale: 1/8" = 1'-0"

ELEVATION KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. PANEL JOINT.
3. PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O. 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
4. 9" X 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
5. CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON-SKID HOUSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
6. 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
7. HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
8. EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
9. DOCK DOOR BUMPER TYPICAL.
10. ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
11. METAL CANOPY.
12. KNOCK OUT PANEL.
13. INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
14. CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
15. GLASS ROLL UP DOOR.
16. EMPLOYEE BREAK AREA / PATIO.
17. APPROXIMATE ADDRESS LOCATION ON WALL.
18. APPROXIMATE SIGNAGE LOCATION ON WALL.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

MULTI-TENANTS
MAX. ALLOWABLE AGGREGATE SIGN AREA CALCULATION:
(PER TABLE 17.25.0708 IG DISTRICTS)
1.50 FT. = 1 LINEAR FT. OF BUILDING FRONTAGE
66/4 = 16.50 FT.
WITH ADDITIONAL
66/4 = 16.50 FT.
TOTAL = 33.00 FT.
SEE KEYNOTE "19" FOR APPROXIMATE LOCATION

ELEVATION COLOR LEGEND/SCHED.

1. CONCRETE TILT-UP PANEL COLOR: SW 7006 EXTRA WHITE
2. CONCRETE TILT-UP PANEL COLOR: SW 7071 GRAY SCREEN
3. CONCRETE TILT-UP PANEL COLOR: SW 7072 ONLINE
4. CONCRETE TILT-UP PANEL COLOR: SW7073 NETWORK GRAY
5. CONCRETE TILT-UP PANEL COLOR: SW 7075 WEB GRAY
6. CONCRETE TILT-UP PANEL COLOR: SW 6523 DENIM
7. GLAZING COLOR: BLUE REFLECTIVE GLAZING
8. MULLIONS COLOR: CLEAR ANODIZED
9. CANOPY MATERIAL: ACRYLIC LATEX SYSTEM, SW 6523 DENIM
10. WOOD GRAY CONCRETE

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
 - SG SINGLE LITE VISION GLASS
 - IV INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" HEATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U. 0.24 SHGC 0.31 WTI 28%
MEMPHI FT TO BE 3.42 PER 2016 CEC TABLE 1403-B
 - SC SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
 - V VISION GLASS
1/4" VISTACOL PACIFICA
MULLIONS : ANODIZED CLEAR.

EXHIBIT A p14



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Applicant:

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INDUSTRIAL
PARTNERS

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TEL.: 970-429-8253

Project:

MORTON
COMMERCE
CENTER

MORTON AVENUE
NEWARK, CA

Consultants:

- Civil: KIER & WRIGHT
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: VISTA PARKS
- Fire Protection: -
- Soils Engineer: -

Elevations

Title:

Project Number: 17070

Drawn by: ML

Date: 02/15/18

Revision:

Sheet:

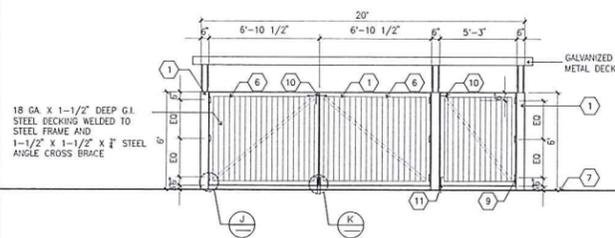
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KEYNOTES

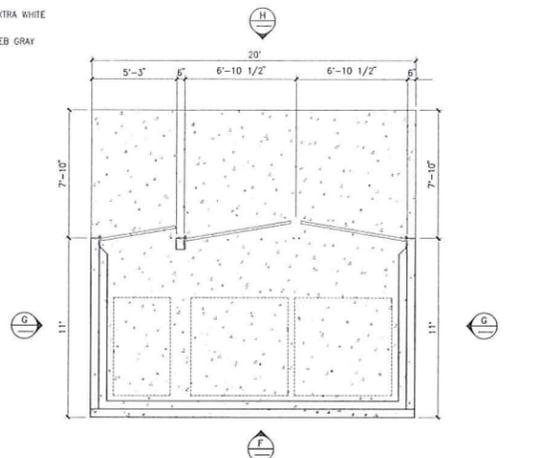
- 1 CONCRETE TILT-UP WALL
- 2 DOUBLE SWING METAL GATES
- 3 NOT USED
- 4 4" W X 6" H WHEEL STOPS WITH 1" BEVEL TOP CUTS, SHALL BE FROM RECYCLED MATERIALS. SECURED TO SLAB W/ 1/2" DIA. ANCHOR BOLTS @ 36" O.C. MIN. TYPICAL
- 5 4" W X 6" H CURB
- 6 22GA. SOLID VIEW OBSTRUCTING METAL OCCUPANT PANELS. THE PANELS NEEDS TO BE SOLID AND CAN NOT HAVE GAPS OR OPENINGS THAT ALLOW ANYONE TO SEE INTO THE ENCLOSURE.
- 7 FINISH SURFACE.
- 8 STEEL CANE BOLT W/ SLEEVE, LOCATED ON OUTSIDE OF ONE GATE. (TYPICAL EA. SIDE)
- 9 HEAVY DUTY STEEL HINGE. (TYPICAL EA. GATE)
- 10 HEAVY DUTY SLIDE BOLT. (TYPICAL EA. GATE)
- 11 STEEL CANE BOLT W/ SLEEVE, LOCATED ON OUTSIDE OF ONE GATE. (TYPICAL EA. SIDE)

COLOR LEGEND

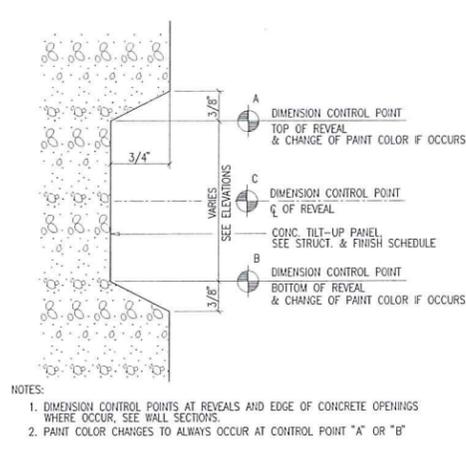
- 1 CONCRETE TILT-UP PANEL. COLOR : SW 7005 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SW 7075 WEB GRAY



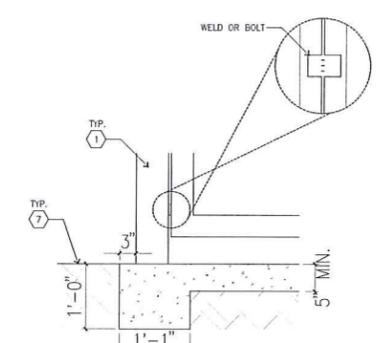
TRASH ENCLOSURE ELEVATION H
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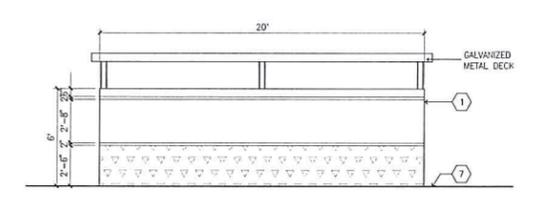
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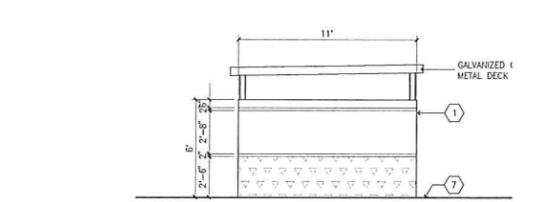
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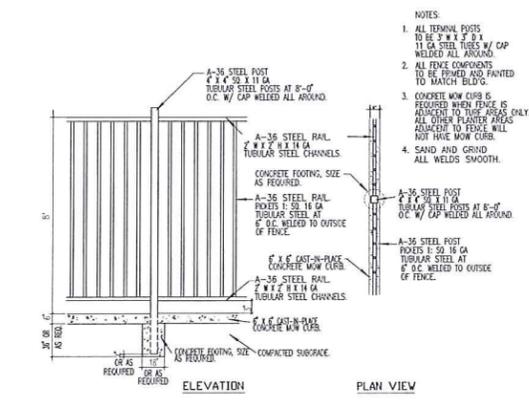
WALL FOOTING J
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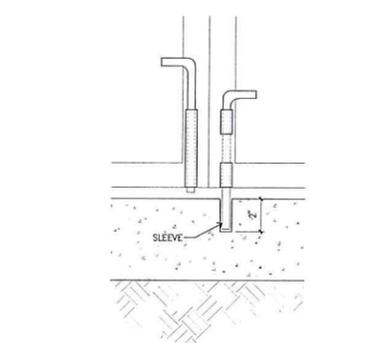
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scale: 1/4"=1'-0"



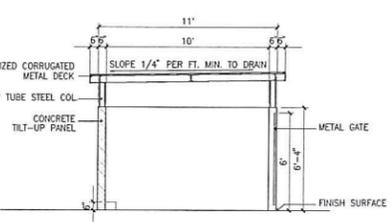
TRASH ENCLOSURE ELEVATION G
scale: 1/4"=1'-0"



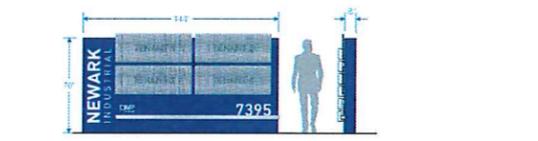
METAL FENCE C
scale: N.T.S.



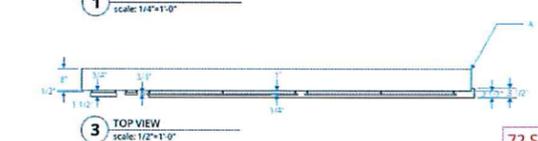
SLEEVE DETAIL K
scale: N.T.S.



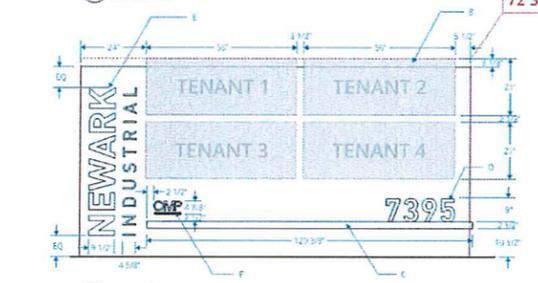
TRASH ENCLOSURE SECTION L
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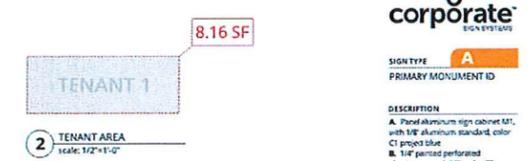
1 PRIMARY MONUMENT
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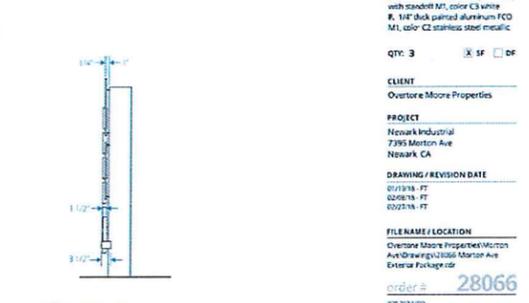
3 TOP VIEW
scale: 1/2"=1'-0"



4 FRONT VIEW
scale: 1/2"=1'-0"



2 TENANT AREA
scale: 1/2"=1'-0"

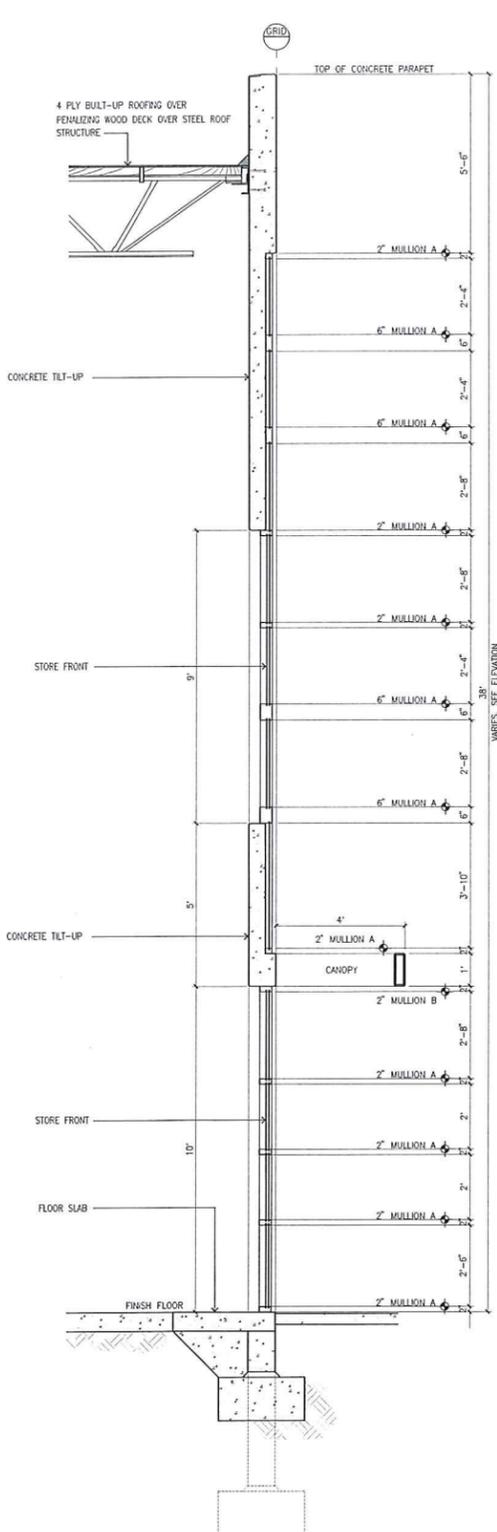


5 SIDE VIEW
scale: 1/2"=1'-0"

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EXHIBIT Ap15

MONUMENT SIGN DETAIL (REFERENCE ONLY) M
scale: N.T.S.



WALL SECTION @ WINDOWS A
scale: 1/2"=1'-0"

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

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Applicant:

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GARDENA, CA 90248
TEL : 970-429-8253

Project:

MORTON COMMERCE CENTER

MORTON AVENUE
NEWARK, CA

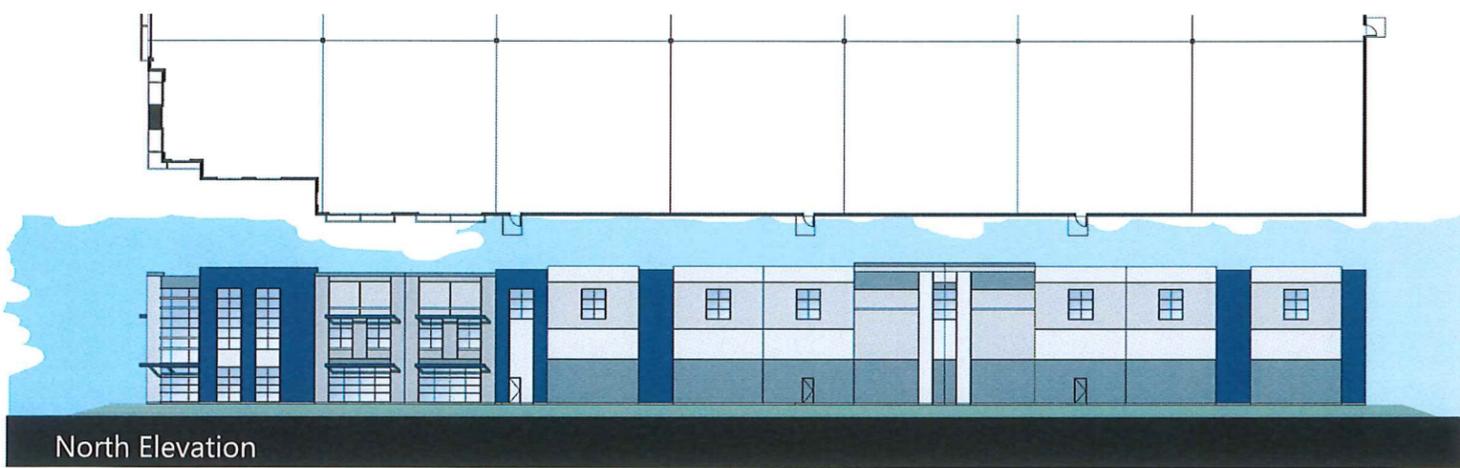
Consultants:

Civil: KIER & WRIGHT
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscapes: VISTA PARKS
Fire Protection: -
Soils Engineer: -

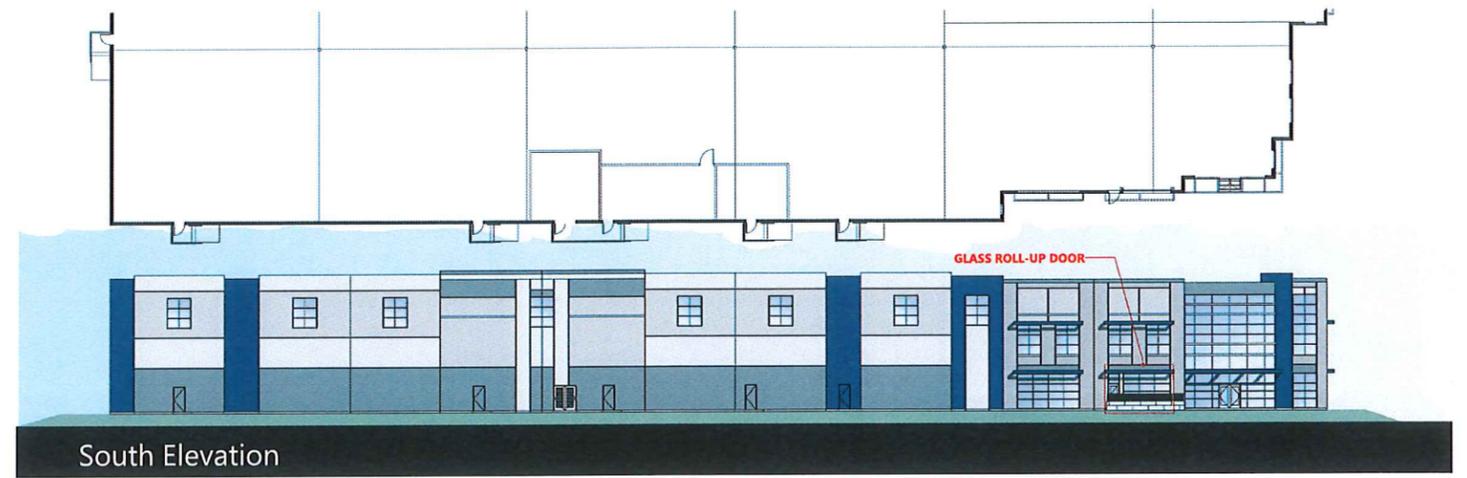
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Drawn by: ML
Date: 02/15/18
Revision:

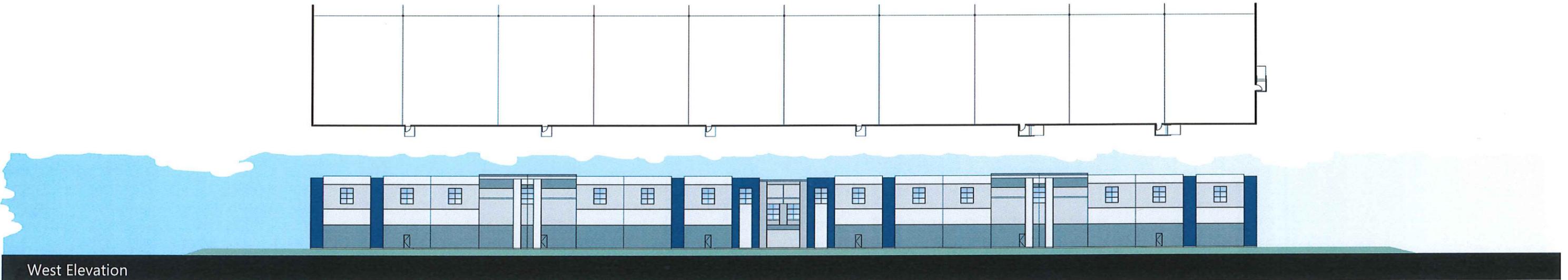
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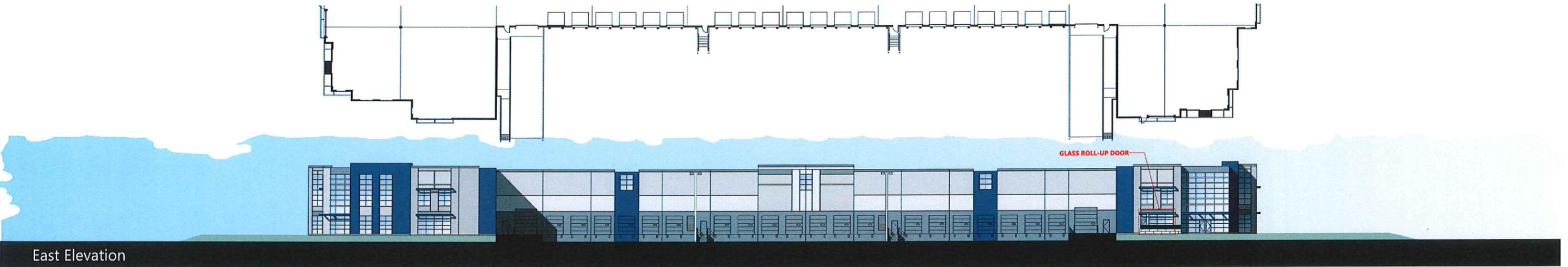
North Elevation



South Elevation



West Elevation



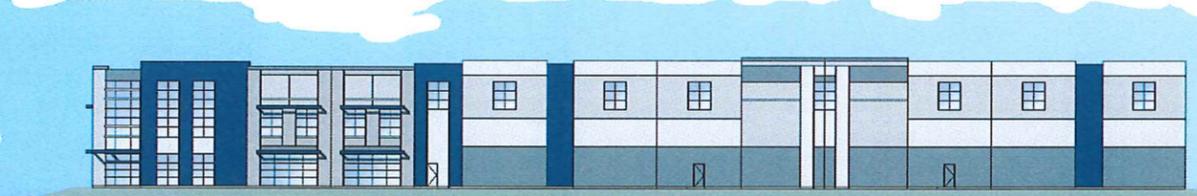
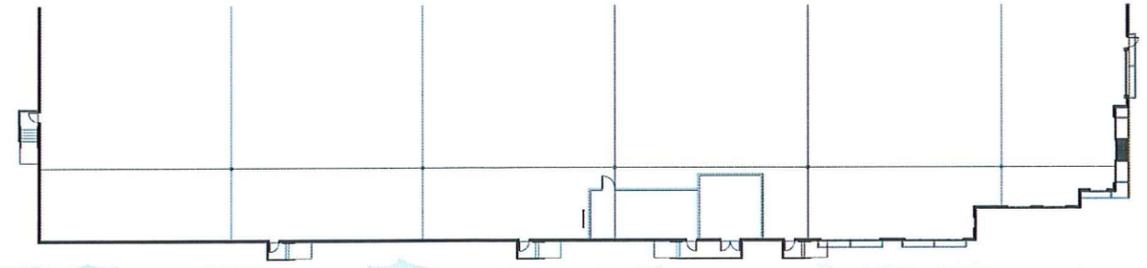
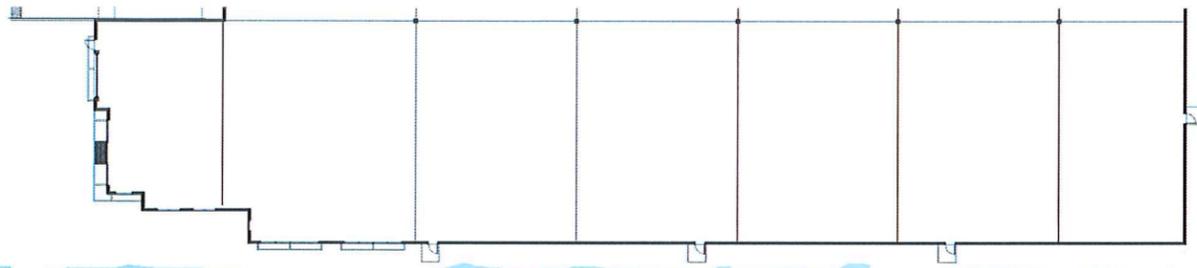
East Elevation



Morton Avenue
CITY OF NEWARK, CA

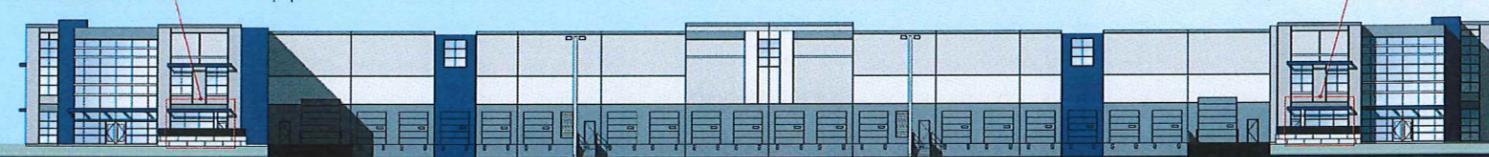
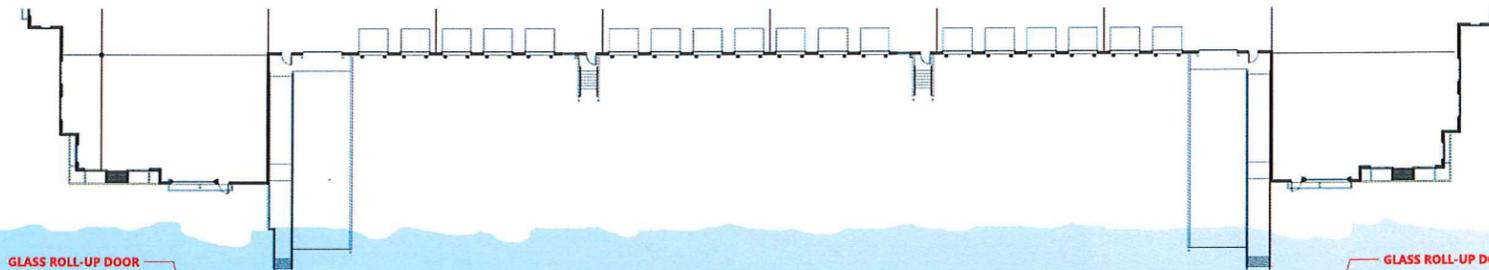
EXHIBIT *AP16*



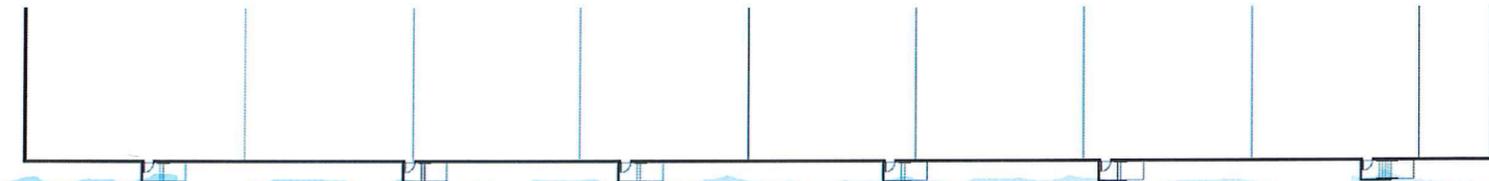


North Elevation

South Elevation



West Elevation



East Elevation



Morton Avenue

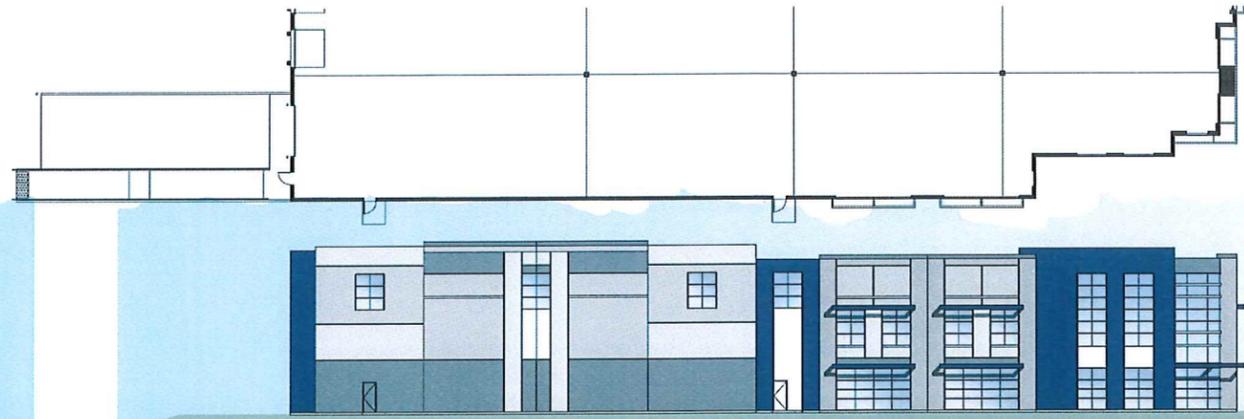
CITY OF NEWARK, CA

EXHIBIT *Ap17*





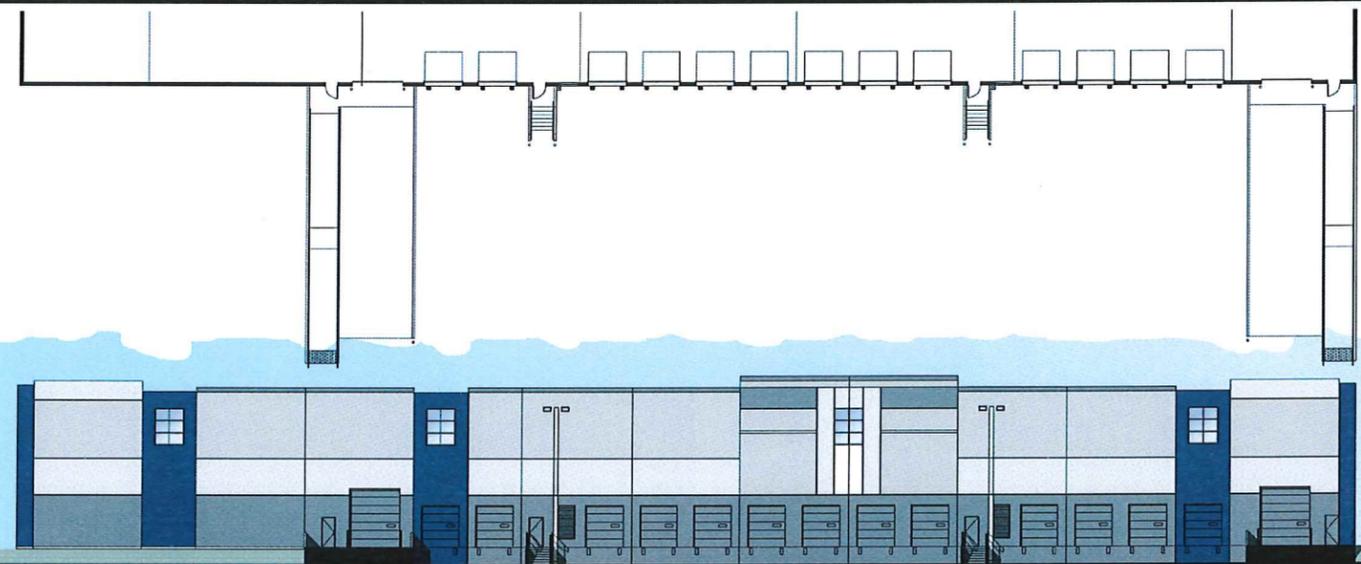
North Elevation



South Elevation



West Elevation



East Elevation

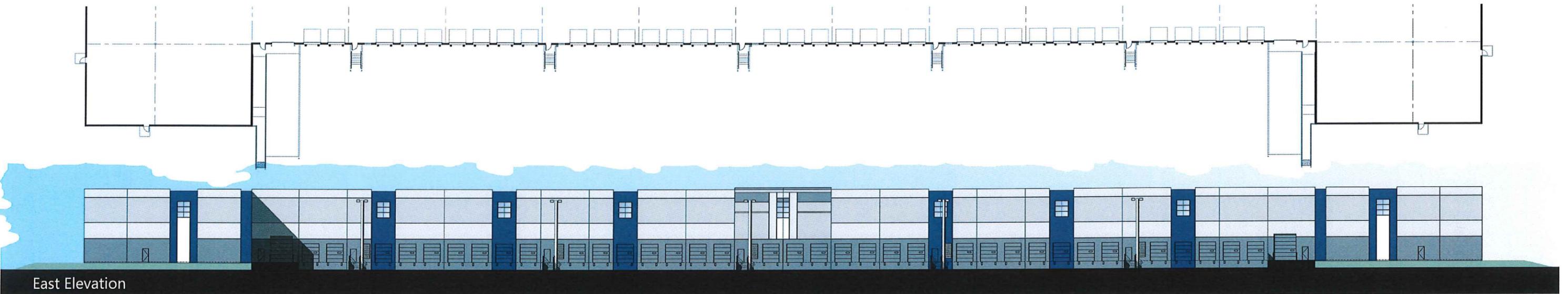
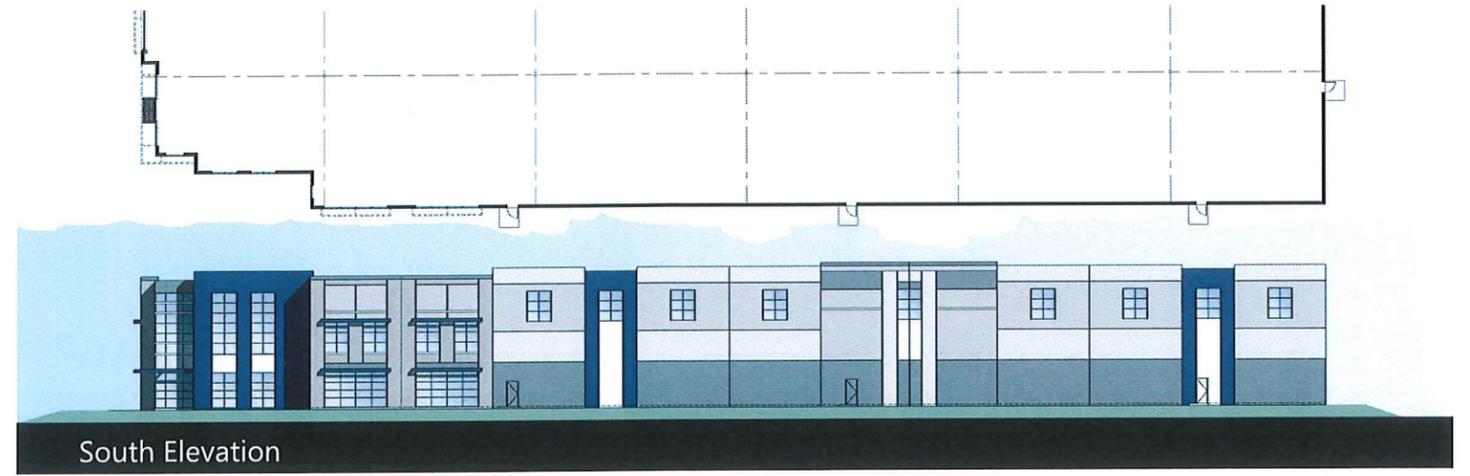
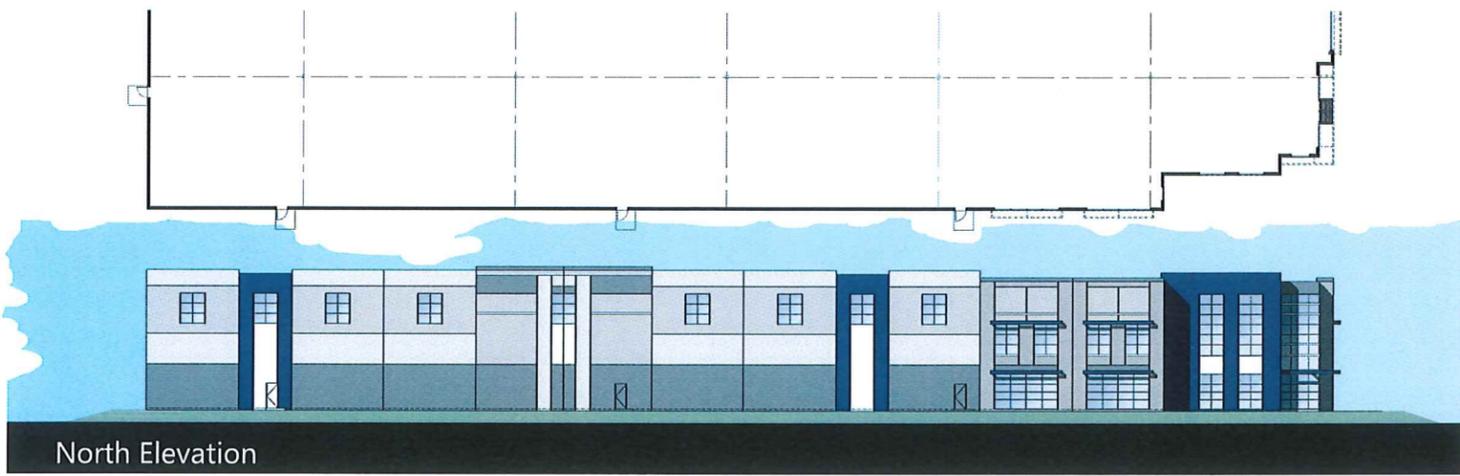


Morton Avenue

CITY OF NEWARK, CA

EXHIBIT *Apr 18*





Morton Avenue
CITY OF NEWARK, CA

EXHIBIT Ap19



SHADE CALCULATIONS-BUILDING 1

Tree Variety	Full Value	Full %	Half %	Total Sq'
30 Trees Lagerstroemia Dynamis 400 ea'				12000
30 Trees Aralia Manra 707 ea'				21210
30 Trees Falacia c. Keith Davy 822 ea'				24660
30 Trees Quercus wislizeni 822 ea'				24660
30 Trees Ulmus Frontier 822 ea'				24660
Total Shade Area Provided				107190
Parking Area				66378
Shade Required	50%			33189
Shade Provided	57%			37752

SHADE CALCULATIONS-BUILDING 2

Tree Variety	Full Value	Full %	Half %	Total Sq'
30 Trees Lagerstroemia Dynamis 400 ea'				12000
30 Trees Aralia Manra 707 ea'				21210
30 Trees Falacia c. Keith Davy 822 ea'				24660
30 Trees Quercus wislizeni 822 ea'				24660
30 Trees Ulmus Frontier 822 ea'				24660
Total Shade Area Provided				107190
Parking Area				66378
Shade Required	50%			33189
Shade Provided	49%			32529

SHADE CALCULATIONS-BUILDING 3

Tree Variety	Full Value	Full %	Half %	Total Sq'
30 Trees Lagerstroemia Dynamis 400 ea'				12000
30 Trees Aralia Manra 707 ea'				21210
30 Trees Falacia c. Keith Davy 822 ea'				24660
30 Trees Quercus wislizeni 822 ea'				24660
30 Trees Ulmus Frontier 822 ea'				24660
Total Shade Area Provided				107190
Parking Area				66378
Shade Required	50%			33189
Shade Provided	52%			34836

SHADE CALCULATIONS-BUILDING 4

Tree Variety	Full Value	Full %	Half %	Total Sq'
30 Trees Lagerstroemia Dynamis 400 ea'				12000
30 Trees Aralia Manra 707 ea'				21210
30 Trees Falacia c. Keith Davy 822 ea'				24660
30 Trees Quercus wislizeni 822 ea'				24660
30 Trees Ulmus Frontier 822 ea'				24660
Total Shade Area Provided				107190
Parking Area				66378
Shade Required	50%			33189
Shade Provided	52%			34836

SHADE CALCULATIONS-BUILDINGS 1,2,3

Category	Value
Total Parking Area	207889 sq'
50% Shade Required	103944 sq'
Total Shade Provided	104507 sq'
Total Shade Percentage	50%

TREE MITIGATION
See Arbotest Report for more information. 33 Existing trees are being removed. 33-24" Box trees are being added to the site. Mitigation Trees are shown with a 'M' located adjacent to the mitigation replacement tree icon.

LANDSCAPE AREA REQUIRED
1. Landscape Area Required. A minimum of 10 percent of the parking lot area shall be landscaped.
2. Minimum Planter Dimension. No landscape planter that is to be counted toward the required landscape area shall be smaller than 25 square feet in area, or four feet in any horizontal dimension, excluding curbing.
3. Layout. Landscaped areas shall be well-distributed throughout the parking lot area. Parking lot landscaping may be provided in any combination of:
a. Landscaped planting strips at least four feet wide between rows of parking stalls;
b. Landscaped planting strips between parking areas and adjacent buildings or internal pedestrian walkways;
c. Landscaped islands located between parking stalls or at the ends of rows of parking stalls; and
d. On-site landscaping at the parking lot perimeter.

BIODIVERSITY
Bldg 1
Parking area = 66976 sq'
Landscape provided per above criteria = 22890 sq'
Percentage of landscape required = 10%
Percentage of landscape achieved = 34.0%

Bldg 2
Parking area = 65224 sq'
Landscape provided per above criteria = 16499 sq'
Percentage of landscape required = 10%
Percentage of landscape achieved = 19.3%

Bldg 3
Parking area = 55629 sq'
Landscape provided per above criteria = 17569 sq'
Percentage of landscape required = 10%
Percentage of landscape achieved = 31.5%

Bldg 4
Parking area = 109416 sq'
Landscape provided per above criteria = 10425 sq'
Percentage of landscape required = 10%
Percentage of landscape achieved = 16.8%

TREES REQUIRED
17, 23, 10,
7, Trees.
a. Number Required. One for each eight parking spaces.

BIORETENTION AREA
Bldg 1
151 Stalls-1 tree per 8 stalls = 23
Trees provided = 54

Bldg 2
159 Stalls-1 tree per 8 stalls = 20
Trees provided = 37

Bldg 3
130 Stalls-1 tree per 8 stalls = 16
Trees provided = 42

Bldg 4
254 Stalls-1 tree per 8 stalls = 32
Trees provided = 53

TREES REQUIRED
17, 23, 10,
7, Trees.
a. Number Required. One for each eight parking spaces.

PLANT LEGEND

TREES

BOTANICAL NAME	COMMON NAME	WUCOLS	CONTAINER	SPACING	MATURE SIZE (HxW)
Arbutus Manra'	Manna Tree	Low	24" Box	16	30' OC 30' X 30'
Lagerstroemia Dynamis'	Crape Myrtle	Low	24" Box	30	20' OC 20' X 20'
Falacia c. Keith Davy'	Chinese Pistache	Low	24" Box	67	35' OC 30' X 35'
Quercus agrifolia	Coast Live Oak	Low	24" Box	26	25' OC 50' X 20'
Quercus wislizeni	Interior Live Oak	Low	36" Box	14	30' OC 40' X 30'
Ulmus Frontier'	Frontier Elm	Low	24" Box	96	40' OC 45' X 50'

SHRUBS

BOTANICAL NAME	COMMON NAME	WUCOLS	CONTAINER	SPACING	MATURE SIZE (HxW)
Ceanothus 'Skyline'	California Lilac	Low	5 Gallon	5' OC	5' X 5'
Cistus purpureus	Purple Rockrose	Low	5 Gallon	6' OC	5' X 5'
Gravelia rochii	Noel Grenovica	Low	5 Gallon	5' OC	5' X 5'
Melaleuca a. Compacta	Dwarf Oregon Grape	Low	5 Gallon	5' OC	3' X 5'
Prunus caroliniana compacta	Dwarf Cherry Laurel	Low	5 Gallon	4' OC	6' X 4'
Rosemarinus 'Tuscan Blue'	Tuscan Rosemary	Low	5 Gallon	5' OC	5' X 5'
Rhamnus 'Ive Cas'	Coffersberry	Low	5 Gallon	6' OC	5' X 6'
Tibouchina violacea	Coquity Garlic	Low	1 Gallon	2' OC	2' X 2'
Xylocopa c. compacta	Compact Xylocopa	Low	5 Gallon	6' OC	6' X 6'

GROUND COVER

BOTANICAL NAME	COMMON NAME	WUCOLS	CONTAINER	SPACING	MATURE SIZE (HxW)
Ceanothus 'Yankee Point'	Yankee Point	Low	1 Gallon	6' OC	2' X 6'
Coprosma p. 'Verde Viola'	NCH	Low	1 Gallon	3' OC	1' X 4'
Juniper c. 'Blue Pacific'	Shore Juniper	Low	1 Gallon	4' OC	1' X 6'
Pennisetum setaceum	Fourtan Grass	Low	1 Gallon	3' OC	1' X 6'

WELO WORKSHEETS

Newark Morton Bldg 1
Reference Evapotranspiration (Eto) 44.2

Hydrozone #	Plant	Irrigation Method	Efficiency (E/F)	ETAF	Area (sq. ft.)	ETAF X Area	Estimated Total Water Use (ETWU)
1	0.2	Drip	0.81	0.25	8520	2130	5926
2	0.2	Drip	0.81	0.25	4006	1032	2779
3	0.2	Drip	0.81	0.25	2726	698	1867
4	0.2	Drip	0.81	0.25	7715	1993	5585
5	0.2	Drip	0.81	0.25	675	169	461
Totals					23822	6022	16254
Maximum Allowed Water Allowance (MAWA)							26399
Estimated Total Water Use (ETWU)							20449
Average ETAF							0.25
Allowed ETAF							0.45

Newark Morton Bldg 2
Reference Evapotranspiration (Eto) 44.2

Hydrozone #	Plant	Irrigation Method	Efficiency (E/F)	ETAF	Area (sq. ft.)	ETAF X Area	Estimated Total Water Use (ETWU)
1	0.2	Drip	0.81	0.25	3625	907	2382
2	0.2	Drip	0.81	0.25	8811	2203	6062
3	0.2	Drip	0.81	0.25	8537	2134	5847
4	0.2	Drip	0.81	0.25	252	64	172
5	0.2	Drip	0.81	0.25	3951	988	2701
6	0.2	Drip	0.81	0.25	300	76	191
7	0.2	Drip	0.81	0.25	620	157	409
Totals					28227	7263	20249
Maximum Allowed Water Allowance (MAWA)							26399
Estimated Total Water Use (ETWU)							20049
Average ETAF							0.25
Allowed ETAF							0.45

Newark Morton Bldg 3
Reference Evapotranspiration (Eto) 44.2

Hydrozone #	Plant	Irrigation Method	Efficiency (E/F)	ETAF	Area (sq. ft.)	ETAF X Area	Estimated Total Water Use (ETWU)
1	0.2	Drip	0.81	0.25	9620	2405	6489
2	0.2	Drip	0.81	0.25	11500	2875	7745
3	0.2	Drip	0.81	0.25	6144	1536	4088
4	0.2	Drip	0.81	0.25	1820	455	1208
5	0.2	Drip	0.81	0.25	4079	1019	2668
6	0.2	Drip	0.81	0.25	775	193	491
7	0.2	Drip	0.81	0.25	400	101	266
8	0.2	Subirrigation	0.81	0.25	400	101	266
Totals					43940	10974	28713
Maximum Allowed Water Allowance (MAWA)							26399
Estimated Total Water Use (ETWU)							23713
Average ETAF							0.25
Allowed ETAF							0.45

Newark Morton Bldg 4
Reference Evapotranspiration (Eto) 44.2

Hydrozone #	Plant	Irrigation Method	Efficiency (E/F)	ETAF	Area (sq. ft.)	ETAF X Area	Estimated Total Water Use (ETWU)
1	0.2	Drip	0.81	0.25	7928	1977	5419
2	0.2	Drip	0.81	0.25	6980	1745	4761
3	0.2	Drip	0.81	0.25	7976	1994	5385
4	0.2	Drip	0.81	0.25	11008	2752	7426
5	0.2	Drip	0.81	0.25	6830	1712	4518
6	0.2	Drip	0.81	0.25	3932	981	2609
7	0.2	Drip	0.81	0.25	6473	1618	4244
8	0.2	Subirrigation	0.81	0.25	675	169	461
9	0.2	Subirrigation	0.81	0.25	675	169	461
Totals					52111	12952	34852
Maximum Allowed Water Allowance (MAWA)							26399
Estimated Total Water Use (ETWU)							28529
Average ETAF							0.25
Allowed ETAF							0.45

NEWARK BAY FRIENDLY LANDSCAPING

- NO TURF IS DESIGNATED INTO THIS PROJECT.
- LOW WATER USE TREES, SHRUBS AND GROUND COVER ARE BEING USED IN THE LANDSCAPE DESIGN.
- CONSTRUCTION DRAWINGS SHALL CONTAIN A WATERING SCHEDULE.
- LOW VOLUME IRRIGATION SYSTEM IS DESIGNED FOR THIS PROJECT.
- USE OF SEPARATE VALVES FOR SEPARATE PLANT USES AND WATER REQUIREMENTS.
- TREES SHALL RECEIVE DEEP WATER BUBBLES ON SEPARATE CONTROL VALVES.
- CONTROL VALVES TO BE SET BETWEEN 10 PM AND 7 AM.
- NO SPRINKLERS ARE PROPOSED.
- A SOILS TEST SHALL BE OBTAINED. RECOMMENDATIONS SHALL BE FOLLOWED. ORGANIC COMPOSTED MATERIAL SHALL BE INCORPORATED AS THE SOIL CONDITIONER.
- ALL PLANTER AREAS SHALL RECEIVE A 3" LAYER OF RECYCLED MULCH.

PRELIMINARY IRRIGATION NOTES

- IRRIGATION DESIGN SHALL FOLLOW THE CURRENT STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- A FULLY AUTOMATIC IRRIGATION SYSTEM THAT MEETS CURRENT WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS SHALL BE INSTALLED INCLUDING THE FOLLOWING:
AN ET (SMART) CONTROLLER AND ET SENSOR SHALL BE USED FOR WEATHER BASED IRRIGATION CONTROL. A MASTER VALVE AND FLOW SENSOR SHALL BE CONNECTED TO THE CONTROLLER.
ALL PLANTER AREAS SHALL BE IRRIGATED WITH LOW VOLUME SPOT-DROP IRRIGATION. TREES SHALL RECEIVE DEEP WATER FERTILIZATION TUBES AND DEEP WATER BUBBLES ON THEIR OWN CONTROL VALVES.
- ALL WELO DOCUMENTATION SHALL BE SUBMITTED WITH LANDSCAPE IMPROVEMENT PLAN (CONSTRUCTION DOCUMENTS).
IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET OR EXCEED 45% ETAF EFFICIENCY PER WELO REQUIREMENTS.

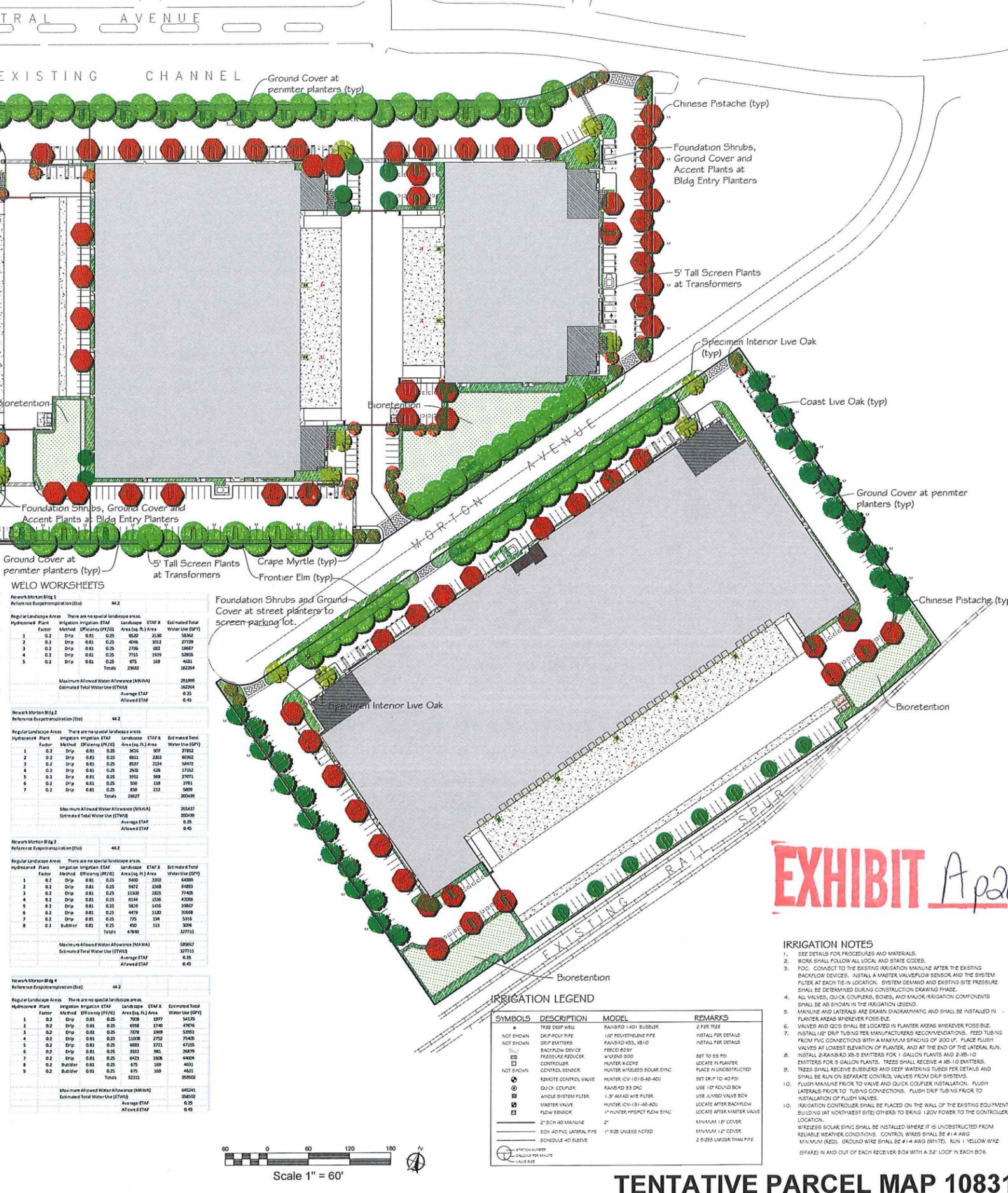
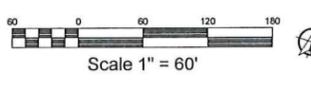


EXHIBIT Apr 20

IRRIGATION NOTES

- SEE DETAILS FOR PROCEDURES AND MATERIALS.
- WORK SHALL FOLLOW ALL LOCAL AND STATE CODES.
- FOC. CONNECT TO THE EXISTING IRRIGATION MAINLINE AFTER THE EXISTING BACKFLOW DEVICES. INSTALL A MASTER VALVE/LOW SENSOR AND THE SYSTEM FILTER AT EACH TRAIL LOCATION. SYSTEM DEMAND AND EXISTING SITE PRESSURE SHALL BE DETERMINED DURING CONSTRUCTION DRAWING PHASE.
- ALL VALVES, QUICK COUPLERS, BOWES, AND MAJOR IRRIGATION COMPONENTS SHALL BE AS SHOWN IN THE IRRIGATION LEGEND.
- MANLINE AND LATERALS ARE DRAWN DIAGRAMMATIC AND SHALL BE INSTALLED IN PLANTER AREAS WHEREVER POSSIBLE.
- VALVES AND QCS SHALL BE LOCATED IN PLANTER AREAS WHEREVER POSSIBLE.
- INSTALL 1/2" DRIP TUBING PER MANUFACTURER'S RECOMMENDATIONS. FEED TUBING FROM PVC CONNECTIONS WITH A MAXIMUM SPACING OF 200 LF. PLACE FLUSH VALVES AT LOWEST ELEVATION OF PLANTER, AND AT THE END OF THE LATERAL RUN.
- INSTALL 2" BARRIERS FOR 1" GALVANIZED PLANTS AND 3/4" BARRIERS FOR 5/8" GALVANIZED PLANTS. TREES SHALL RECEIVE 4 X 8-10 MATTERS.
- TREES SHALL RECEIVE BUBBLES AND DEEP WATERING TUBES PER DETAILS AND SHALL BE RUN ON SEPARATE CONTROL VALVES FROM DRIP SYSTEMS.
- FLUSH MAINLINE PRIOR TO VALVE AND QUICK COUPLER INSTALLATION. FLUSH LATERALS PRIOR TO TUBING CONNECTIONS. FLUSH DRIP TUBING PRIOR TO INSTALLATION OF FLUSH VALVES.
- IRRIGATION CONTROLLER SHALL BE PLACED ON THE WALL OF THE EXISTING EQUIPMENT BUILDING (AT NORTHWEST SITE) OTHERS TO BRING 120V POWER TO THE CONTROLLER LOCATION.
- WIRELESS SOLAR 5VDC SHALL BE INSTALLED WHERE IT IS UNOBTAINABLE FROM RELIABLE WEATHER CONDITIONS. CONTROL WIRES SHALL BE #14 AWG MINIMUM (RED). GROUND WIRE SHALL BE #14 AWG (WHITE). RUN 1" YELLOW WIRE (BLACK) IN AND OUT OF EACH RECEIVER BOX WITH A 3/2" LOOP IN EACH BOX.



TENTATIVE PARCEL MAP 10831

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VISTA PARKS
LANDSCAPE ARCHITECTURE
DESIGN BUILD

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MORTON AVENUE
NEWARK, CA

Project:

Consultants:

Civil: Kier & Wright
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: Vista Parks
Fire Protection: -
Soils Engineer: -

Title: Conceptual Landscape Plan

Project Number: 17070
Drawn by: EJD
Date: 2/8/2018
Revision: -

Sheet: LC