



CITY OF NEWARK CITY COUNCIL

37101 Newark Boulevard, Newark, CA 94560-3796 • 510-578-4266 • E-mail: city.clerk@newark.org

City Administration Building
7:30 p.m.
City Council Chambers

AGENDA

Thursday, September 8, 2016

- A. ROLL CALL

- B. MINUTES
 - B.1 Approval of Minutes of the regular City Council meeting of Thursday, July 28, 2016. (MOTION)

- C. PRESENTATIONS AND PROCLAMATIONS
 - C.1 Proclaiming September 15-18, 2016, as Newark Days. (PROCLAMATION)

- D. WRITTEN COMMUNICATIONS
 - D.1 Zoning Administrator referral of ASC-16-15, an Administrative Special Civic Review, for an addition and façade change to a single-family residence at 35669 Lundy Drive – from Assistant Planner Bowab. (REVIEW OPTIONAL)

- E. PUBLIC HEARINGS
 - E.1 Hearing to consider a planned unit development, a conditional use permit, and a Tentative Tract Map 8340 to construct a 14-unit condominium project (Merida Place) at 36731 Sycamore Street (APN: 92-21-15-3) – from Associate Planner Mangalam. (RESOLUTIONS-2)

 - E.2 Hearing to consider a conditional use permit and a planned unit development for property located at 6826 and 6844 Mayhews Landing Road, to facilitate subdivision of approximately 1.41 acres of land by Parcel Map No. 10261, by allowing 5 foot side setbacks and lots a minimum of 45 feet wide while maintaining 6,000 square foot lot minimums consistent with R-6000 (Low Density Residential – 6000 district) – from Associate Planner Mangalam. (RESOLUTION)

F. CITY MANAGER REPORTS

(It is recommended that Items F.1 through F.4 be acted on simultaneously unless separate discussion and/or action is requested by a Council Member or a member of the audience.)

CONSENT

- F.1 Report on administrative actions during August recess – from City Manager Becker. (MOTION)**
- F.2 Amendment to the Conflict of Interest Code for Nonelected Officials and Designated Employees – from City Clerk Harrington. (RESOLUTION)**
- F.3 Resolution declaring October 1, 2016 as Bay Day – from City Manager Becker. (RESOLUTION)**
- F.4 Authorization for the purchase of two (2) new 2017 Ford SUV Utility Interceptors as replacement patrol vehicles for the Police Department from Folsom Lake Ford and outfitting by Classic Graphics and Lehr and amend the Biennial Budget and Capital Improvement Plan 2016-2018 for Fiscal Year 2016-2017 – from Maintenance Supervisor Connolly.(RESOLUTION)**

NONCONSENT

- F.5 Adoption of a Resolution establishing a policy that the revenues generated by Measure GG shall be directed towards replacement of the Police Operations/Emergency Operations Center, the Library, and the Administration Building – from City Manager Becker. (RESOLUTION)**

G. CITY ATTORNEY REPORTS

H. ECONOMIC DEVELOPMENT CORPORATION

I. CITY COUNCIL MATTERS

J. CITY COUNCIL ACTING AS THE SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY

K. ORAL COMMUNICATIONS

L. APPROPRIATIONS

Approval of Audited Demands for the City Council meeting of September 8, 2016. (MOTION)

M. CLOSED SESSION

N. ADJOURNMENT

Pursuant to Government Code 54957.5: Supplemental materials distributed less than 72 hours before this meeting, to a majority of the City Council, will be made available for public inspection at this meeting and at the City Clerk's Office located at 37101 Newark Boulevard, 5th Floor, during normal business hours. Materials prepared by City staff and distributed during the meeting are available for public inspection at the meeting or after the meeting if prepared by some other person. Documents related to closed session items or are exempt from disclosure will not be made available for public inspection.

For those persons requiring hearing assistance, please make your request to the City Clerk two days prior to the meeting.



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City Council Chambers

AGENDA

Thursday, September 8, 2016

CITY COUNCIL:

Alan L. Nagy, Mayor
Luis L. Freitas, Vice Mayor
Sucy Collazo
Michael K. Hannon
Mike Bucci

CITY STAFF:

John Becker
City Manager

Terrence Grindall
Assistant City Manager

Susie Woodstock
Administrative Services Director

Sandy Abe
Human Resources Director

Soren Fajeau
Public Works Director

Jim Leal
Police Chief

David Zehnder
Recreation and Community Services Director

David J. Benoun
City Attorney

Sheila Harrington
City Clerk

Welcome to the Newark City Council meeting. The following information will help you understand the City Council Agenda and what occurs during a City Council meeting. Your participation in your City government is encouraged, and we hope this information will enable you to become more involved. The Order of Business for Council meetings is as follows:

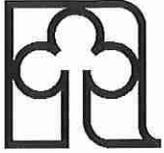
- | | |
|-------------------------------------|-------------------------|
| A. ROLL CALL | I. COUNCIL MATTERS |
| B. MINUTES | J. SUCCESSOR AGENCY |
| C. PRESENTATIONS AND PROCLAMATIONS | TO REDEVELOPMENT AGENCY |
| D. WRITTEN COMMUNICATIONS | K. ORAL COMMUNICATIONS |
| E. PUBLIC HEARINGS | L. APPROPRIATIONS |
| F. CITY MANAGER REPORTS | M. CLOSED SESSION |
| G. CITY ATTORNEY REPORTS | N. ADJOURNMENT |
| H. ECONOMIC DEVELOPMENT CORPORATION | |

Items listed on the agenda may be approved, disapproved, or continued to a future meeting. Many items require an action by motion or the adoption of a resolution or an ordinance. When this is required, the words **MOTION**, **RESOLUTION**, or **ORDINANCE** appear in parenthesis at the end of the item. If one of these words does not appear, the item is an informational item.

The attached *Agenda* gives the *Background/Discussion* of agenda items. Following this section is the word *Attachment*. Unless "none" follows *Attachment*, there is more documentation which is available for public review at the Newark Library, the City Clerk's office or at www.newark.org. Those items on the Agenda which are coming from the Planning Commission will also include a section entitled *Update*, which will state what the Planning Commission's action was on that particular item. *Action* indicates what staff's recommendation is and what action(s) the Council may take.

Addressing the City Council: You may speak once and submit written materials on any listed item at the appropriate time. You may speak once and submit written materials on any item **not** on the agenda during **Oral Communications**. To address the Council, please seek the recognition of the Mayor by raising your hand. Once recognized, come forward to the lectern and you may, but you are not required to, state your name and address for the record. Public comments are limited to five (5) minutes per speaker, subject to adjustment by the Mayor. Matters brought before the Council which require an action may be either referred to staff or placed on a future Council agenda.

No question shall be asked of a council member, city staff, or an audience member except through the presiding officer. No person shall use vulgar, profane, loud or boisterous language that interrupts a meeting. Any person who refuses to carry out instructions given by the presiding officer for the purpose of maintaining order may be guilty of an infraction and may result in removal from the meeting.



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City Administration Building
7:30 p.m.
City Council Chambers

Minutes

Thursday, July 28, 2016

A. ROLL CALL

Mayor Nagy called the meeting to order at 7:34 p.m. Present were Council Members Hannon, Collazo, and Vice Mayor Freitas. Council Member Bucci was noted absent.

B. MINUTES

B.1 Approval of Minutes of the regular City Council meeting of Thursday, July 14, 2016. **MOTION APPROVED**

Council Member Hannon moved, Council Member Collazo seconded, to approve the Minutes of the regular City Council meeting. The motion passed, 4 AYES, 1 ABSENT.

C. PRESENTATIONS AND PROCLAMATIONS

C.1 Introduction of employees.

Mayor Nagy introduced newly hired employees: Senior Accountant Michael Djurovic, Associate Planner Sofia Mangalam, and Equipment Mechanic I Lorenzo Houle.

C.2 Proclamation for the Portuguese Fraternal Society of America Council No. 16 Holy Ghost Festival and 94th Anniversary.

Mayor Nagy presented the proclamation to members of the Portuguese Fraternal Society of America Council 16.

D. WRITTEN COMMUNICATIONS

D.1 Planning Commission referral of a review of a conditional use permit (U-12-7) for a change of owner of a day care facility (from Genius Kids to Young Explorers) at 39768 Cedar Boulevard (Cedar Springs Shopping Center). **RESOLUTION NO. 10536**

Assistant City Manager Grindall stated that Mr. Sachin Gupta of Young Explorers has submitted an application for a change of owner of a day care facility located at 39768

Cedar Boulevard, in the Cedar Springs Shopping Center. The hours of operation and staggered class schedules would remain the same.

Sachin Gupta stated that he read the resolution and agreed to the conditions.

Council Member Hannon moved, Council Member Collazo seconded to, approve the review of a conditional use permit (U-15-7) for a change of owner of a day care facility (Young Explorers) at 39768 Cedar Boulevard (Cedar Springs Shopping Center). The motion passed, 4 AYES, 1 ABSENT.

E. PUBLIC HEARINGS

E.1 Hearing to consider property owners' objections and confirmation of the Superintendent of Streets' report concerning weed abatement assessments.

**MOTION APPROVED
RESOLUTION NO. 10537**

Assistant City Manager Grindall stated that the City's contractor cleared 11 parcels and the property owners are now subject to an assessment for the work.

Mayor Nagy opened the public hearing at 7:48 p.m.

No one came forward to speak.

Mayor Nagy closed the public hearing at 7:49 p.m.

Council Member Freitas moved, Council Member Collazo seconded to act upon any objections by property owners for assessments on their parcels for the 2016 Weed Abatement Program and, by resolution, confirm the Superintendent of Streets' report concerning weed abatement assessments. The motion passed, 4 AYES, 1 ABSENT.

F. CITY MANAGER REPORTS

Council Member Collazo moved, Council Member Hannon seconded, to approve Consent Calendar Items F.1 through F.6, that the resolutions be numbered consecutively, and that reading of the titles suffice for adoption of the resolutions. The motion passed, 4 AYES, 1 ABSENT.

CONSENT

F.1 Amendment of the 2016-2018 Biennial Budget and Capital Improvement Plan for Fiscal Year 2016-2017 Capital Budget Rollover.

RESOLUTION NO. 10538

- F.2 Authorization to issue a no-fee encroachment permit to Newark Days Celebration, Inc. for the Newark Days Parade and Newark Mile Race, provide police services for traffic control and waive fees related to the parade and race, and waive fees for use of the Community Center and MacGregor Playfields, with the exception of the fees required for the Building Superintendent and janitorial services. MOTIONS (3) APPROVED**

- F.3 Acceptance of work with Chrisp Company for 2014-2015 Citywide Thermoplastic Street Striping, Project 1082. RESOLUTION NO. 10539**

- F.4 Authorization for the City Attorney to sign a Certification and Mutual Indemnification Agreement with the County of Alameda. RESOLUTION NO. 10540 CONTRACT NO. 16034**

- F.5 Authorization for the Mayor to sign an agreement with Alameda County for participation in the Alameda County Urban County (CDBG) Program for Fiscal Year 2016-2017. RESOLUTION NO. 10541 CONTRACT NO. 16035**

- F.6 Authorization for the Mayor to Sign the First Amendment to Lease Agreement with Alameda County for Lease of the Newark Library Facility. RESOLUTION NO. 10542 CONTRACT NO. 15033**

G. CITY ATTORNEY REPORTS

H. ECONOMIC DEVELOPMENT CORPORATION

I. CITY COUNCIL MATTERS

Mayor Nagy read a note aloud from Council Member Bucci who commended the Police Department for the recent Pokemon event.

Mayor Nagy wished Council Member Bucci a speedy recovery from his eye surgery.

Council Member Collazo stated that the Killer Queens will perform on August 5 at the Music At The Grove Concert series. She encouraged people to shop Newark and have a safe summer.

Mayor Nagy and Vice Mayor Freitas each announced that they would seek reelection.

Council Member Hannon commended Recreation staff for the Ash Street Park Summer Graduation Program that was held last week. He also thanked Alameda County Fire Department for the mutual aid that they provide for wildfires throughout the State.

J. CITY COUNCIL ACTING AS THE SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY

K. ORAL COMMUNICATIONS

Eric Hentscke presented copies of the 2014-2015 Report from the Alameda County Mosquito Abatement District. He stated that District Manager Ryan Clausnitzer would like to present the report at a future City Council meeting.

Pat Danielson stated that the theme for Newark Days this year is Voyage to the Stars.

Council Member Hannon thanked the Newark Days volunteers.

L. APPROPRIATIONS

Approval of Audited Demands for the City Council meeting of July 28, 2016. MOTION APPROVED

City Clerk Harrington read the Register of Audited Demands: Check numbers 108267 to 108455.

Council Member Freitas moved, Council Member Collazo seconded, to approve the Register of Audited Demands. The motion passed, 4 AYES, 1 ABSENT.

M. CLOSED SESSION

N. ADJOURNMENT

At 8:05 p.m., Mayor Nagy adjourned the City Council meeting.

C.1 Proclaiming September 15-18, 2016, as Newark Days.

(PROCLAMATION)

Background/Discussion – Newark Days, celebrating Newark’s 61st birthday, will be held September 15-18, 2016. A proclamation has been prepared and members of the Newark Days Committee will accept it at the City Council meeting.

D.1 Zoning Administrator referral of ASC-16-15, an Administrative Special Civic Review, for an addition and façade change to a single-family residence at 35669 Lundy Drive – from Assistant Planner Bowab. (REVIEW OPTIONAL)

Background/Discussion – The subject site is on the south side of Lundy Drive, west of Channel Drive, and backs up to Lakeshore Park. Because the property is zoned R-8000-SC (Low Density Residential – 8,000 District – Special Civic), design review approval is required. The project consists of replacing an existing rectangular balcony with a semi-circle balcony, an enclosed 118 square foot sunroom addition and changing the exterior building materials from wood paneling to stucco. The applicant has obtained letters from all the property owners within 100 feet of the subject site stating that they do not object to the project.

The Zoning Administrator has approved the project subject to the following condition: “The owner and/or contractor shall implement all applicable Storm Water Quality Best Management Practices for the duration of all work activity. Additional best management practices may be required by the City Engineer to minimize the pollution of storm water runoff from the project area. A note to this effect shall appear on the building permit plans.”

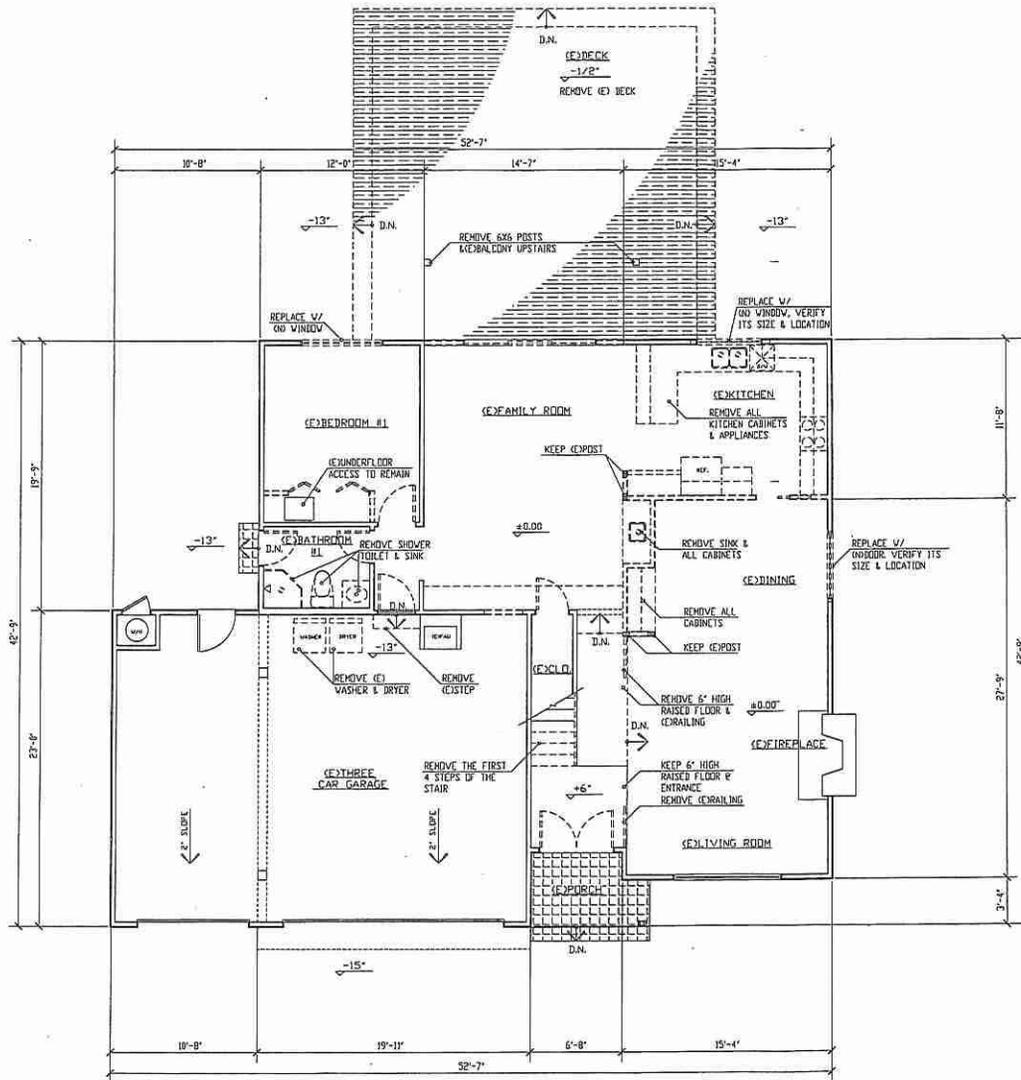
Environmental Review

This project is categorically exempt from the California Environmental Quality Act (CEQA) per section 15301, Class 1, additions to existing facilities.

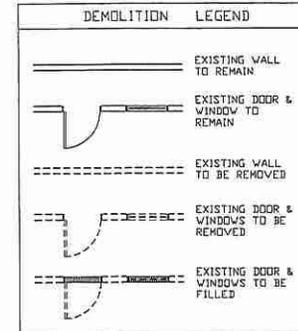
Attachment

Update – This item was presented to the Planning Commission at its August 23, 2016 meeting as an informational item.

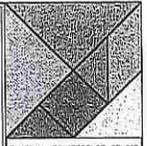
Action – City Council review of this item is optional.



DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



- DEMOLITION NOTES**
1. ALL WINDOWS TO BE REMOVED. PROTECT ADJACENT WALL.
 2. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS & POSTS TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
 3. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC) AS NECESSARY. ALL PIPING CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN NEW CONSTRUCTION IS COMPLETE.
 4. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
 5. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
 6. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
 7. REMOVE ALL EXISTING LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUIT, AND CONDUCTORS. SEE NOTE #6 FOR SALVAGED FIXTURES.
 8. ERECT TEMPORARY TIGHT FITTING DUSTPROOF PARTITIONS/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.



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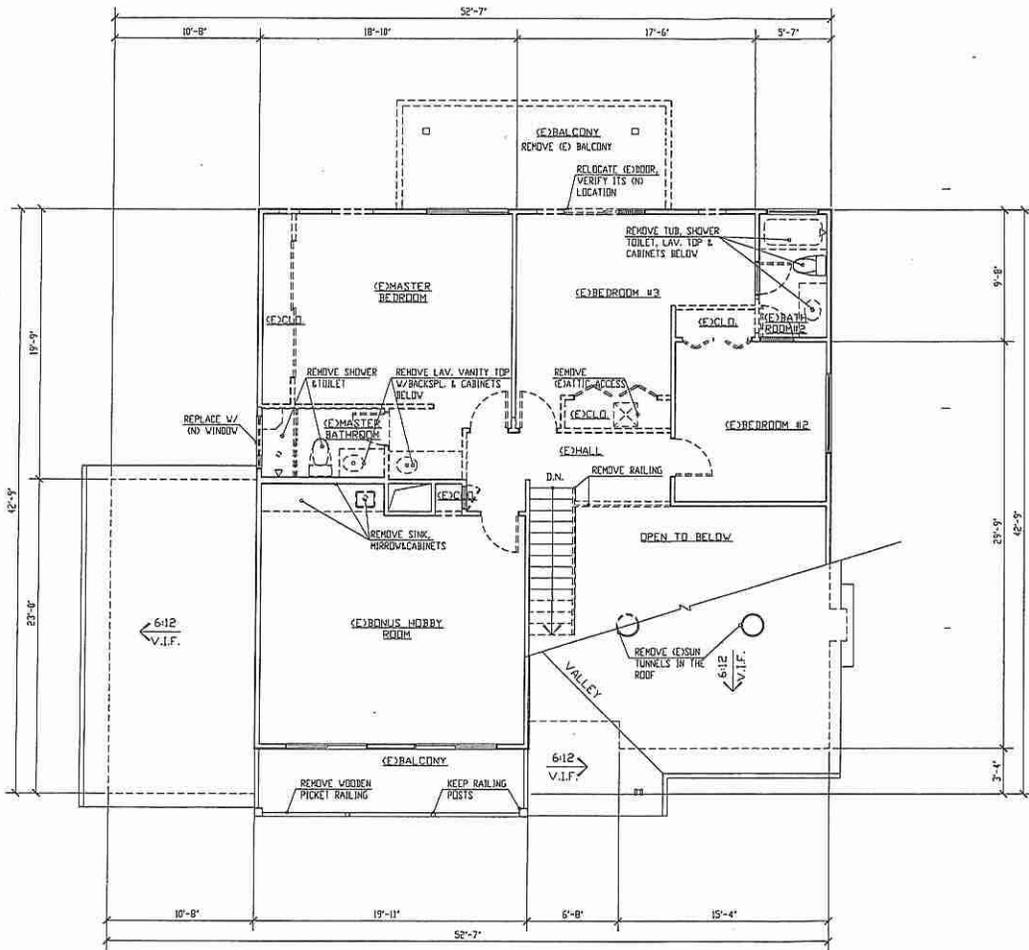
DEMOLITION FIRST FLOOR PLAN



REVISION/ISSUE		
NO.	DATE	DESCRIPTION

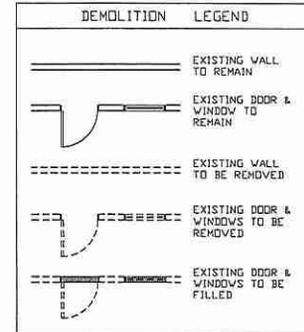
PROJECT NAME	SUN
DESIGNED BY	ZHEN CAO
DRAWN BY	ZHEN CAO
DATE	5/19/2016
SHEET	A2

EXHIBIT A-P2

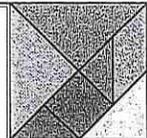


DEMOLITION SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"



- DEMOLITION NOTES**
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 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.



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DEMOLITION SECOND FLOOR PLAN

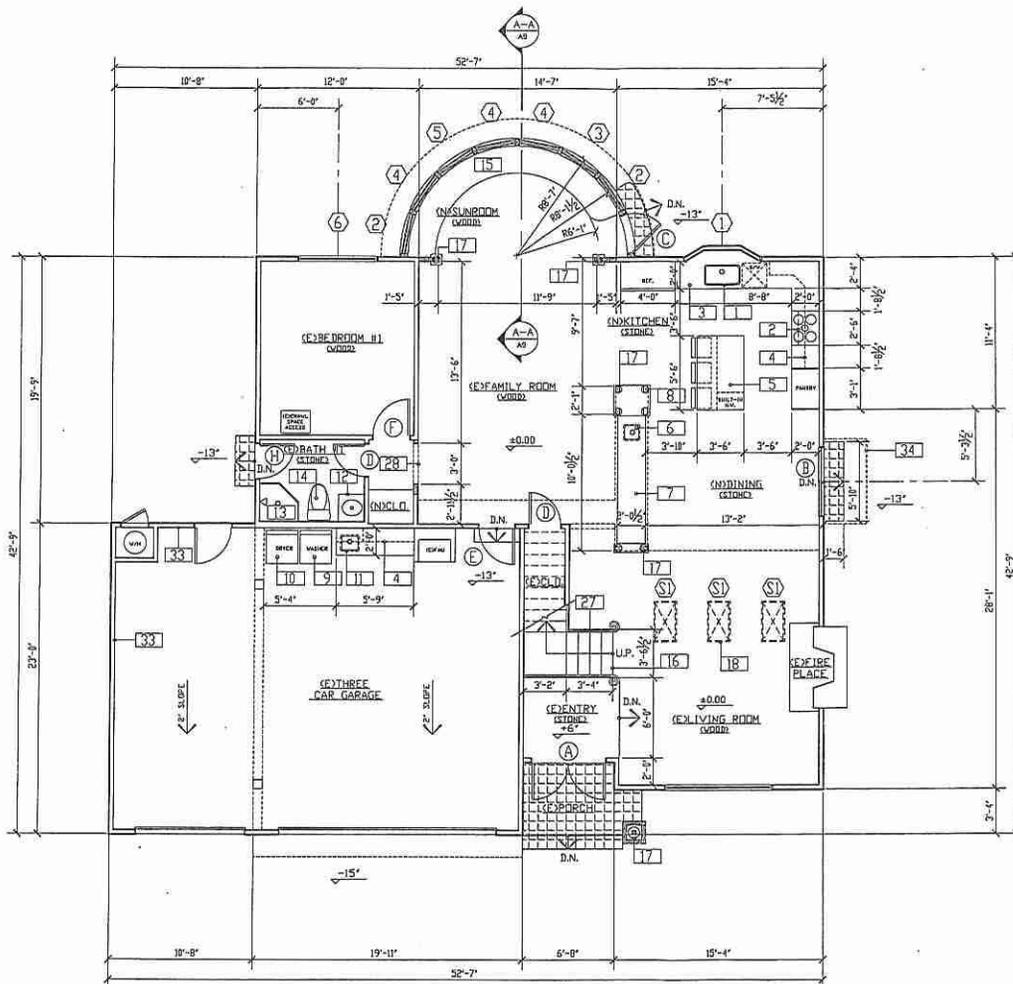


REVISION/ISSUE

NO.	DATE	DESCRIPTION

PROJECT NAME: SUN
 DESIGNED BY: ZHEN CAO
 DRAWN BY: ZHEN CAO
 DATE: 5/19/2016
 SHEET: A3

EXHIBIT A-P3



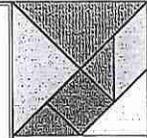
FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



FLOOR PLAN LEGEND	
	(C) WALL
	(N) PARTIAL WALL
	(N) WALL @ 16" O.C., U.N.D.
	(N) WALL WITH SOUND ABSORBENT INSULATION

FLOOR PLAN NOTES

- 1 BASIN SINK
- 2 COOKTOP RANGE V/ DOWN VENT
- 3 COUNTERTOP WITH BACKSPLASH DRAWERS & CABINETS BELOW
- 4 COUNTERTOP WITH BACKSPLASH DRAWERS & CABINETS BELOW & ABV.
- 5 36" ISLAND COUNTERTOP V/ DRAWERS & CABINETS BELOW
- 6 PREP SINK
- 7 36" HIGH COUNTERTOP V/ DRAWERS & CABINETS BELOW
- 8 RECREATION COLUMN
- 9 WASHER
- 10 DRYER
- 11 LAUNDRY SINK
- 12 LAV. VANITY COUNTERTOP V/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 13 SHOWER V/ ONE HEAD
- 14 TOILET
- 15 BUILT-IN BENCH V/CLOSET BELOW
- 16 STAIRS 4 TREADS @ 18"x3'-4" 5 RISERS @ 7' 1/8"x3'-4" LANDING 4'-2"x 3'-4"
- 17 RECREATION COLUMN V/STRUCTURAL POST INSIDE
- 18 SKYLIGHT
- 19 WHIRLPOOL TUB IN BUILT-IN PLATFORM @ MASTER BATH
- 20 BUILT-IN LINEN
- 21 TOILET V/BIDET ELECTRONIC TOILET SEAT
- 22 DOUBLE LAV. VANITY TOP V/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 23 BATHUB V/ SHOWER
- 24 LAV. VANITY COUNTERTOP V/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 25 24"x30" ACCESS TO ATTIC SPACE
- 26 BUILT-IN BOOKSHELF
- 27 WROUGHT IRON RAILING
- 28 ARCH DOORWAY, HEADER HEIGHT 7'-4"
- 29 POLE & SHELF
- 30 BUILT-IN COUNTERTOP V/ CABINETS BELOW
- 31 6x6 POST INSIDE, STUCCO EXTERIOR V/ PRECAST CONCRETE CAP
- 32 FIRST FLOOR LINE
- 33 GARAGE USE 5/8" GYPSUM BOARD TO INTERIOR FACE & PAINT.
- 34 LIGHTLINE CURVE CANOPY HORIZ. CURVE 1500 DR. SIMILAR



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FIRST FLOOR PLAN

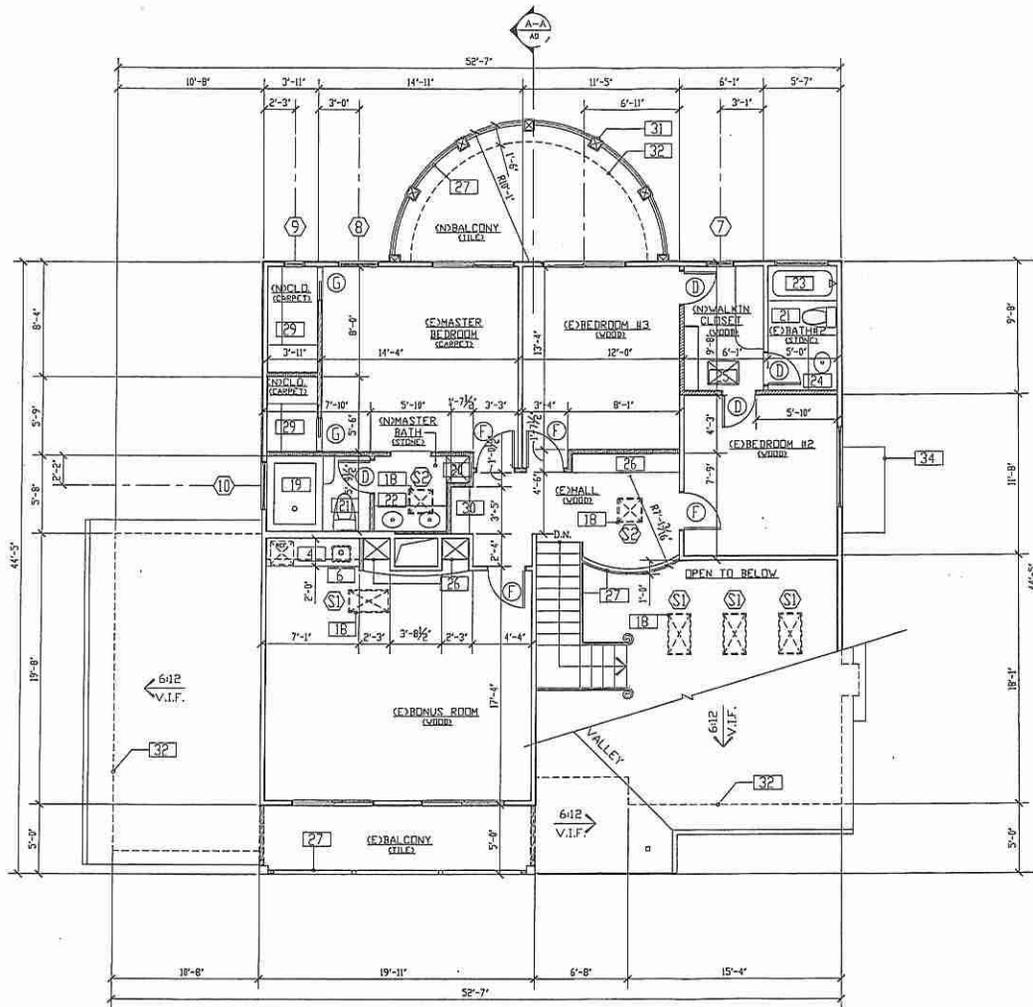


REVISION/ISSUE		
NO.	DATE	DESCRIPTION

PROJECT NAME: SUN
DESIGNED BY: ZHEN CAO
DRAWN BY: ZHEN CAO
DATE: 5/19/2016

SHEET A4

EXHIBIT A-P4



SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"

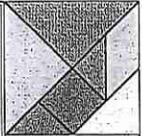


FLOOR PLAN LEGEND

- (E) WALL
- (D) PARTIAL WALL
- (D) WALL, R 16" D.C., UNO.
- (D) WALL WITH SOUND ABSORBENT INSULATION

FLOOR PLAN NOTES

- 1 BASIN SINK
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- 4 COUNTERTOP WITH BACKSPASH, DRAWERS & CABINETS BELOW & ABV.
- 5 36" ISLAND COUNTERTOP W/ DRAWERS & CABINETS BELOW
- 6 PREP SINK
- 7 36" HIGH COUNTERTOP V/ DRAWERS & CABINETS BELOW
- 8 DECORATION COLUMN
- 9 WASHER
- 10 DRYER
- 11 LAUNDRY SINK
- 12 LAV. VANITY COUNTERTOP V/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 13 SHOWER V/ ONE HEAD
- 14 TOILET
- 15 BUILT-IN BENCH W/CLOSET BELOW
- 16 STAIRS: 4 TREADS @ 10"-3"-4" 3 RISERS @ 7 1/2"-3"-8" LANDING: 12"-24" 3'-4"-9"
- 17 DECORATION COLUMN W/STRUCTURAL POST INSIDE
- 18 SKYLIGHT
- 19 WHIRLPOOL TUB IN BUILT-IN PLATFORM & MASTER BATH
- 20 BUILT-IN LINEN
- 21 TOILET W/SEAT ELECTRONIC TOILET SEAT
- 22 DOUBLE LAV. VANITY TOP V/BACKSPL. CABINETS BELOW & MIRROR ABV.
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- 27 WROUGHT IRON RAILING
- 28 ARCH DOORWAY, HEADER HEIGHT 7'-0"
- 29 POLE & SHOLF
- 30 BUILT-IN COUNTERTOP V/ CABINETS BELOW
- 31 6x6 POST INSIDE, STUDS EXTERIOR V/ PRECAST CONCRETE CAP
- 32 FIRST FLOOR LINE
- 33 GARAGE USE 5/8" EPS/PSH BOARD TO INTERIOR FACE & FRAM.
- 34 LIGHTING CURVE CANOPY MODEL: CURVE 1900 OR SIMILAR



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SUN RESIDENCE
35669 LUNDY DR.
NEWARK, CA 94560
A.P.N.: 082A-2590-005-00
TEL: 650-666-5916

SECOND FLOOR PLAN

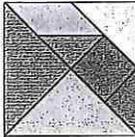


REVISION/ISSUE

NO.	DATE	DESCRIPTION

PROJECT NAME: SUN
DESIGNED BY: ZHEN CAO
DRAWN BY: ZHEN CAO
DATE: 5/19/2016
SHEET: A5

EXHIBIT A-PS



TANIGRAH ARCHITECTURE STUDIO
 WWW.TANIGRAHARCHITECTURE.COM
 ADDRESS: 13333 CALIMA DR.
 FREMONT, CA 94555
 PHONE: 415-897-9565
 EMAIL: TANS@TANIGRAHARCHITECTURE.COM

SUN RESIDENCE
 35669 LUNDY DR.
 NEWARK CA 94560
 A.P.N.: 092A-2590-005-00
 TEL: 650-666-5916

ROOF PLAN



REVISION/ISSUE	
NO.	DATE DESCRIPTION

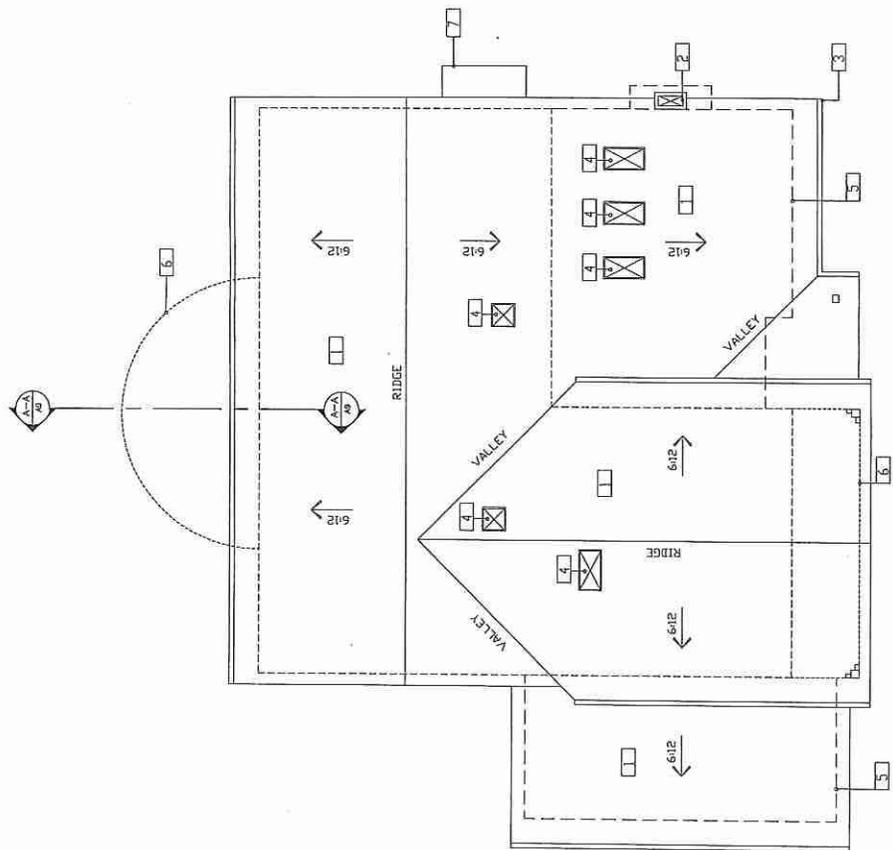
PROJECT NAME	SUN
DESIGNED BY	ZHEN DAO
DRAWN BY	ZHEN DAO
DATE	5/19/2016
SHEET	A6

ROOF PLAN LEGEND

1	CONCRETE TILES
2	COPPER CHIMNEY CAP
3	SPARK ARRESTOR
4	GUTTERS
5	NO SKYLIGHT
6	FIRST FLOOR BALCONY LINE
7	CURVE DANGLEY

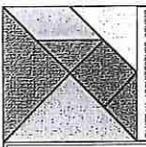
ROOF NOTES

- ROOF TO BE CONCRETE TILES.
- ROOFING TO BE 60MINUTE FIRE RATED CLASS C PER BOB LUCE.
- ALL FLASHING, DOWNSPLOUGHING, AND COPALS TO BE 1/2" THICK 6063-T6 ALUMINUM CORROSIVE METAL FLASH AND COUNTERFLASH AS REQUIRED.
- GUTTERS TO BE ALUMINUM SEAMLESS GUTTERS. ADVISOR'S LOCATIONS & DIMENSIONS TO BE VERIFIED BY ARCHITECT PRIOR TO PLACEMENT.
- AROUS POINT TO DEVELOPE.
- DASHED LINE INDICATES VALL BELINE.
- DIMENSIONS OF GUTTERS ON ROOF PLAN INDICATE JUMP OF FASCIA & GUTTER & GULL END, TYPICAL.



ROOF PLAN
 SCALE: 1/4" = 1' - 0"

EXHIBIT
 A-16



TANIGAW ARCHITECTURE STUDIO
 WWW.TANIGAWARCHITECTURE.COM
 ADDRESS: 3305 DUBOIS BLVD
 NEWARK, CA 94560
 PHONE: 408-567-5993
 EMAIL: T@TANIGAWARCHITECTURE.COM

SUN RESIDENCE
 3569 LUNDY DR.
 NEWARK CA 94560
 A.P.N.: 092A-2590-005-00
 TEL: 650-666-5916

BUILDING NORTH & WEST ELEVATIONS

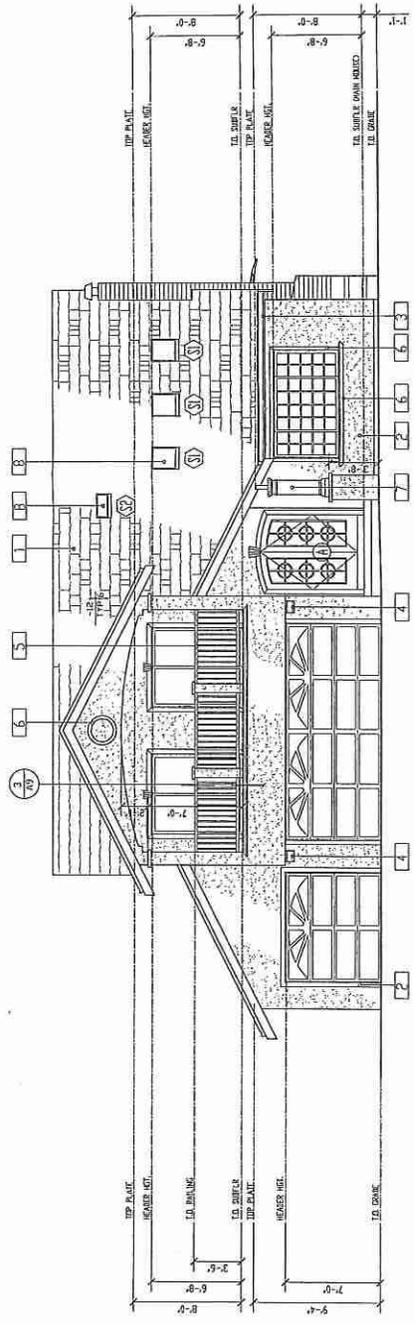


NO.	DATE	DESCRIPTION

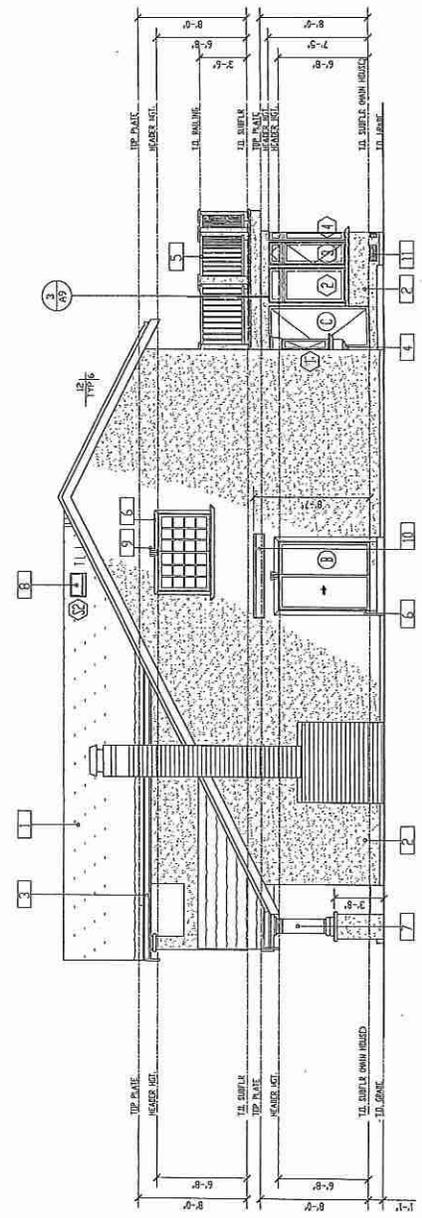
REVISION/ISSUE

PROJECT NAME	ZINH
DESIGNED BY	ZINH CAO
DRAWN BY	ZINH CAO
DATE	3/10/2016

SHEET A7



1 NORTH ELEVATION
 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1 4" CONCRETE TILE ROOF
- 2 6" H&B TROUGL STECCO 1/2" GY CONV PAINTED
- 3 4" GUTTERS
- 4 6" CORBEL
- 5 6" WEIGHT FORM RAILING
- 6 6" PAINTED STUCCO TRIM
- 7 6" DECORATION COLUMN
- 8 6" SKYLIGHT
- 9 6" ACSTONE
- 10 6" CURVE DAMPY
- 11 6" 14"x8" VENT 2 CORNL SPACE

EXHIBIT A-27

E.1 Hearing to consider a planned unit development, a conditional use permit, and a Tentative Tract Map 8340 to construct a 14-unit condominium project (Merida Place) at 36731 Sycamore Street (APN: 92-21-15-3) – from Associate Planner Mangalam. (RESOLUTIONS-2)

Background/Discussion – Mr. Joe Wu has submitted a request to construct a 14-unit condominium project at 36731 Sycamore Street. Attached to the resolution for the planned unit development and conditional use permit is Exhibit A, pages 1 through 43. Attached to the resolution for the Tentative Tract Map is Exhibit A, pages 1 through 9.

The vacant, triangular property is about 36,120 square feet (.83 +/- acres) and on the north side of Filbert Street. It is zoned R2500 (Medium Density Residential – 2,500). The applicant requests approval to develop the site with 14 residential condominium units. The site is bordered by single family homes to the north; Union Pacific railroad tracks to the west; an apartment complex to the south; and Sycamore Street to the east.

The proposal consists of four, three-story buildings, with vehicular ingress/egress to the site via a driveway along Sycamore Street. Each building design has extensive wall and roof articulation to avoid a boxy appearance. Exterior materials consist of stucco walls and tile roofing and incorporate wrought iron balcony features. While the builds are sited perpendicular to Sycamore Street, the building elevations facing Sycamore Street have a good deal of articulation and the balcony features are clearly visible.

Noise and Vibration Study

A “Noise and Vibration Study” was performed by Vibro-Acoustic Consultants, along with façade recommendations. This was done to determine if the City’s acceptable noise levels (interior limit of 45 LDN and exterior of 60 LDN) can be met with mitigation measures. LDN represents the day-night average noise level.

The report determined that the noise levels at the site from railway activities will decrease to 60 LDN approximately 45-feet to the east of the western property line. Therefore, all facades within 45 feet of the western property line would need to conform with the City of Newark’s standards and the 2010 California Building Code. Facades further away from the western property line are exposed to 60 LDN or less and require no further modifications.

Buildings 2 and 3 fall within the 45 foot range and will be required to install a minimum of 5/8-inch thick insulated windows. As the noise level must be met with closed windows, mechanical ventilation is required. A forced heat A/C system will be installed to meet this requirement for those units within 45 feet of the western property line. In addition, an 8-foot high block wall will be constructed along the western property line to further buffer noise from the rail activity.

Environmental

The proposed project is categorically exempt from the California Environmental Quality Act per Section 15332, Class 32, “In-Fill Development Projects”.

Update – At its meeting of August 9, 2016, the Planning Commission: 1) approved Resolution No. 1937, approving P-16-11, a planned unit development, and U-16-12, a conditional use permit, for a 14-unit condominium project at 36731 Sycamore Street with Exhibit A, pages 1 through 43; and (2) approved Resolution No. 1938, approving TTM-16-10, Tentative Tract Map 8340 with Exhibit A, pages 1 through 9.

Attachments

Action – It is recommended that the City Council: (1) adopt a resolution approving P-16-11, a planned unit development and U-16-12, a conditional use permit; and (2) adopt a resolution approving Tentative Tract Map 8340 and subdivision and zoning variances thereto for a 14-unit condominium project at 36731 Sycamore Street.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK APPROVING P-16-11, A PLANNED UNIT
DEVELOPMENT AND U-16-12, A CONDITIONAL USE
PERMIT, FOR A 14-UNIT CONDOMINIUM PROJECT
(MERIDA PLACE) AT 36731 SYCAMORE STREET

WHEREAS, Mr. Joe Wu has filed for a Planned Unit Development and a Conditional Use Permit for a 14-unit condominium project (Merida Place) at 36731 Sycamore Street (APN: 92-21-15-3); and

PURSUANT to Municipal Code Section 17.72.060, a public hearing notice was published in Tri-City Voice on July 26, 2016 and mailed as required, and the Planning Commission held a public hearing on said application at 7:30 p.m. on August 9, 2016 at the City Administration Building, 37101 Newark Boulevard, Newark, California; and

WHEREAS, a pursuant to Chapter 17.40 (Planned Unit Developments), Section 17.40.050 (Permit Procedure) and Chapter 17.72 (Use Permits), Section 17.72.070 (Action by Planning Commission), the Planning Commission made the following findings:

1. That the proposed location of the planned unit development is in accord with the objectives of the zoning title and the purposes of the district in which the site is located;
2. That the proposed location of the planned unit development and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity;
3. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-street parking and off-street loading facilities and landscaped areas will produce an environment of stable and desirable character consistent with the objectives of the zoning title;
4. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-street parking and off-street loading facilities will be such that the development will not generate more traffic than the streets in the vicinity can carry without congestion and will not overload utilities;
5. That the combination of different dwelling types and/or the variety of land uses in the development will complement each other and will harmonize with existing and proposed land uses in the vicinity;

6. That the proposed location of the conditional use is in accord with the purposes of the zoning title and the purposes of the district in which the site is located;
7. That the proposed location of the conditional use and the conditions under which it is would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity;
8. That the proposed conditional use will comply with each of the applicable provisions of Chapter 17.22 (Use Permits).

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark does hereby approve this application as shown on Exhibit A, pages 1 through 43 and made a part hereof by reference, subject to the following conditions:

Planning Division

- a. There shall be no roof-mounted equipment.
- b. The property owner shall construct an 8-foot high masonry wall on the north side of the property abutting single family homes.
- c. All lighting shall be directed on-site so as not to create glare off-site, as required by the Community Development Director.
- d. Construction site trailers and buildings located on-site shall be used for office and storage purposes only, and shall not be used for living or sleeping quarters. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- e. Parking lot cleaning with sweeping or vacuum equipment shall not be permitted between 7:00 p.m. and 8:00 a.m.
- f. The site and its improvements shall be maintained in a neat and presentable condition, to the satisfaction of the Community Development Director. This shall include, but not be limited to, repainting surfaces damaged by graffiti and site clean-up. Graffiti removal/repainting and site clean-up shall occur on a continuing, as needed basis. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- g. All exterior utility pipes and meters shall be painted to match and/or complement the color of the adjoining building surface, as approved by the Community Development Director.
- h. Prior to the issuance of a grading permit, the property owner shall hire a qualified biologist to: (1) determine if Burrowing Owl habitat(s) exist on the site, and (2) implement a plan to protect the owls and to excavate the site around any active burrows using hand tools to assure that the owls are not buried during grading in the event

Burrowing Owl habitat(s) is found on the site. The Burrowing Owl habitat(s), if found, shall not be disturbed during the nesting season. The Burrowing Owl study shall be conducted not more than 30 days prior to the time site grading activities will commence.

- i. As part of the application, the property owner shall submit elevations of all dissimilar sides of the buildings for the review and approval of the Planning Commission and City Council. The building elevations shall reflect all architectural projections such as roof eaves, bay windows, greenhouse windows, chimneys and porches. A site plan showing the building locations with respect to property lines shall also show the projections. Said elevations shall specify exterior materials. Final color elevations shall be submitted for the review and approval of the Community Development Director.
- j. Prior to the issuance of a building permit, the property owner shall submit the floor plans of all dwelling units for the review and approval of the Planning Commission and City Council.
- k. Prior to the issuance of a building permit, roof material shall be submitted for the review and approval of the Community Development Director. All roof material shall consist of fire retardant shake roof, concrete tile, or a roof of similar noncombustible material. Mansard roofs with the above material may be used to screen tar and gravel roofs. All roofs shall be of Class C fire resistant construction or better. Composition shingles shall be Presidential-style or of comparable quality, subject to the review and approval of the Community Development Director.
- l. Prior to the issuance of a building permit, the location and screening design for garbage, refuse and recycling collection areas for the project shall be submitted for the review and approval of Republic Services, Inc. and the Community Development Director, in that order. The approved garbage, refuse and recycling areas shall be provided prior to the issuance of a Certificate of Occupancy, as required by the Community Development Director. No refuse, garbage or recycling shall be stored outdoors.
- m. During project construction, if historic, archeological or Native American materials or artifacts are identified, work within a 50-foot radius of such find shall cease and the City shall retain the services of a qualified archeologist and/or paleontologist to assess the significance of the find. If such find is determined to be significant by the archeologist and/or paleontologist, a resource protection plan conforming to CEQA Section 15064.5 shall be prepared by the archeologist and/or paleontologist and approved by the Community Development Director. The plan may include, but would not be limited to, removal of resources or similar actions. Project work may be resumed in compliance with such plan. If human remains are encountered, the County Coroner shall be contacted immediately and the provisions of State law carried out.
- n. Prior to their installation, mailbox locations and designs shall be approved by the Community Development Director and Newark Postmaster, in that order. The mailbox compartments of centralized mailboxes shall identify the individual dwelling units with permanent, easily legible lettering.

- o. Prior to the issuance of a Certificate of Occupancy, the parking areas, aisles and access drives shall be installed and striped as shown on the approved site plan. Guest parking spaces shall be clearly marked as reserved for guests, as approved by the Community Development Director.
- p. Prior to the issuance of a sign permit, all signs, other than those referring to construction, sale, or future use of this site, shall be submitted for the review and approval of the Community Development Director.
- q. Approval of this project's conditional use permit and planned unit development is conditioned upon City Council approval of Tentative Tract Map 8340.
- r. The property owner shall pay all impact fees in effect at the time of building permit issuance.

Engineering Division

- s. The development will require approval of tentative and final tract maps filed in accordance with the State Subdivision Map Act and the City of Newark Subdivision Ordinance for the creation of 1 lot, 14 condominium units, and easement dedications. The final map must be approved prior to the issuance of any building permits.
- t. The final map shall designate and/or dedicate emergency vehicle access ways, private vehicle access ways, open space easements, public utility easements, and other easement as may be required over the common area. An additional 2-foot wide (total 42 feet from centerline) roadway easement for street purposes and 15-foot landscape and public utility easement shall be dedicated adjacent to the Sycamore Street right-of-way within the limits of development.
- u. Prior to approval of the final map, the property owner shall guarantee all necessary street improvements adjoining the development and over the common area in accordance with tract improvement plans to be approved by the City Engineer. Improvement plans for on-site common areas in the development shall be included with the tract improvement plans to ensure that such improvements are designed and constructed to City Standards. These plans must be prepared by a qualified person licensed by the State of California to do such work. Street improvements shall include, but may not be limited to driveway access, public sidewalks, curb and gutter removal and replacement, frontage landscaping, pavement removal and replacement, replacement or repair of existing damaged public improvements, street lighting, undergrounding existing overhead utilities, relocation of existing signage, pavement striping, and other related improvements. Common area improvements on-site include, but may not be limited to driveways, drive aisles, parking facilities, utilities, recreational areas and facilities, storm water treatment measure installations, perimeter screen walls, fencing, and all landscape areas.
- v. Prior to the issuance of the initial grading or any building permits for this project, the property owner shall submit a Storm Water Pollution Prevention Plan for the review and

approval of the City Engineer. The plan shall include sufficient details to show how storm water quality will be protected during both: (1) the construction phase of the project and (2) the post-construction, operational phase of the project. The construction phase plan shall include Best Management Practices from the California Storm Water Quality Best Management Practices Handbook for Construction Activities. The specific storm water pollution prevention measures to be maintained by the contractor shall be printed on the plans. The operational phase plan shall include Best Management Practices appropriate to the uses conducted on the site to effectively prohibit the entry of pollutants into storm water runoff from this site including, but not limited to, trash and litter control, pavement sweeping, periodic storm water inlet cleaning, landscape controls for fertilizer and pesticide applications, labeling of storm water inlets with a permanent thermoplastic stencil with the wording “No Dumping - Drains to Bay,” and other applicable practices.

- w. The project must be designed to include appropriate source control, site design, and stormwater treatment measures to prevent stormwater runoff pollutant discharges and increases in runoff flows from the site in accordance with Provision C.3 of the Municipal Regional Stormwater NPDES Permit (MRP), Order R2-2015-0049, revised November 19, 2015, issued to the City of Newark by the Regional Water Quality Control Board, San Francisco Bay Region. Examples of source control and site design requirements include but are not limited to: properly designed trash storage areas, sanitary sewer connections for all non-stormwater discharges, minimization of impervious surfaces, and treatment of all runoff with Low Impact Development (LID) treatment measures. A properly engineered and maintained biotreatment system will only be allowed if it is infeasible to implement other LID measures such as harvesting and re-use, infiltration, or evapotranspiration. The stormwater treatment design shall be completed by a licensed civil engineer with sufficient experience in stormwater quality analysis and design. The design is subject to review by the Regional Water Quality Control Board. The property owner shall modify the site design to satisfy all elements of Provision C.3 of the MRP. The use of treatment controls for runoff requires the submittal of a Stormwater Treatment Measures Maintenance Agreement prior to the issuance of any Certificates of Occupancy.
- x. The project shall be designed to comply with all requirements under Provision C.3.f. of the NPDES permit for limitations on increases of peak storm water runoff discharge rates. The property owner shall be responsible for providing sufficient data and calculations to show that any increase in storm water runoff from the development will not result in increased potential for erosion or other significant adverse impacts of earthen channels downstream of the project site. The required analysis for such findings shall be completed by the property owner to the satisfaction of the City Engineer and the Regional Water Quality Control Board.
- y. The property owner shall submit detailed grading and drainage plans for review and approval by the City Engineer and the Alameda County Flood Control and Water Conservation District. These plans must be based upon a City benchmark and need to include pad and finish floor elevations of each proposed structure, proposed on-site property grades, proposed elevations at property line, and sufficient elevations on all

adjacent properties to show existing drainage patterns. All on-site pavement shall drain at a minimum of one percent. The property owner shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. An overland drainage release path to the adjoining public right-of-way shall be provided to ensure there are no drainage impacts to adjoining properties in the event of a storm drain system failure. A sub-drain system shall be installed along the site perimeter wherever a grade differential exists. Any construction necessary to ensure this shall be the property owner's responsibility.

Hydrology and hydraulic calculations shall be submitted for review and approval by the City Engineer and the Alameda County Flood Control District prior to approval of the final map(s). The calculations shall show that the City and County freeboard requirements will be satisfied.

- z. Where a grade differential of more than a 1-foot is created along the boundary lot lines between the proposed development and adjacent property, the property owner shall install a masonry retaining wall unless a slope easement is approved by the City Engineer. Said retaining wall shall be subject to review and approval of the City Engineer. A grading permit is required by the Building Inspection Division prior to starting site grading work.
- aa. The applicant shall submit a detailed soils report prepared by a qualified engineer, registered with the State of California. The report shall address in-situ and import soils in accordance with the City of Newark Grading and Excavation Ordinance, Chapter 15.50. The report shall include recommendations regarding pavement sections for all public and private streets. Grading operations shall be in accordance with recommendations contained in the soils report and shall be completed under the supervision of an engineer registered in the State of California to do such work.
- bb. Prior to approval of the final map, the property owner's engineer shall submit a pavement maintenance program for the drive aisles and parking areas for the review and approval of the City Engineer. The property owner shall incorporate the program into the required Storm Water Pollution Prevention Plan and Storm Water Treatment Measures Maintenance Agreement.
- cc. Prior to issuance of a Certificate of Occupancy or release of utilities for any building, vehicle access ways and parking facilities serving said building shall be paved in accordance with the recommendation of a licensed engineer based on a Traffic Index of 5.0 and striped as shown on the approved site plan.
- dd. Prior to issuance of a Certificate of Occupancy or release of utilities for each dwelling unit, the on-site drive aisles and uncovered parking facilities shall be installed and striped as shown on the approved site plan. All on-site uncovered parking facilities and drive aisles shall be drained at a minimum slope of 1.0% for asphalt surfaces and 0.3% for Portland cement concrete surfaces.
- ee. The property owner shall incorporate a Homeowner's Association consisting of all property owners of lands in the development at the time of incorporation and in the future for the purpose of maintaining the association's property, common drive aisles, parking

facilities, stormwater treatment facilities, and landscaping, including landscaping in adjacent public rights-of-way, and for paying for security lighting, any common garbage collection services, any security patrol services, if provided, and other functions of a Homeowner's Association. All common areas within the development shall be owned and maintained by the Homeowner's Association. Each property owner shall automatically become a member of the association and shall be subject to a proportionate share of the maintenance expenses. The Homeowner's Association shall be incorporated prior to the sale of any individual lots and/or prior to acceptance of tract improvements, whichever occurs first.

- ff. Prior to City Council approval of the final map(s), the bylaws governing the property owners' association(s) and any declaration of covenants, conditions and restrictions (CC&Rs) filed for this development shall be reviewed and approved by the City Council at its discretion after mandatory review and recommendations by the City Attorney. Said covenants, conditions and restrictions shall be prominently displayed in the project sales office at all times. Approval of the covenants, conditions and restrictions shall not make the City a party to enforcement of same. The CC&Rs shall apply equally to both owners and renters. The CC&Rs shall be written to require renters to comply with the regulations of the CC&Rs, and a copy of the CC&Rs shall be given to each renter. The CC&Rs shall be written to allow less than a majority of owners to have pavement or landscape maintenance done and the cost thereof assessed to all owners in the project. The CC&Rs shall include a pavement maintenance program for on-site pavement.
- gg. The Homeowner's Association CC&Rs shall prohibit the on-site parking of non-self-propelled recreational vehicles, including boats, and any self-propelled recreational vehicles not used for transportation unless separate storage facilities are provided. The CC&Rs shall regulate the provision of any on-site parking of self-propelled recreational vehicles used for transportation.
- hh. The property owner shall also assist the Homeowner's Association by having a management consultant firm review the maintenance and operating functions of the association. The management consulting firm shall be responsible to prepare a written report with recommendations to the association for managing the association's obligations and setting initial monthly assessment costs for each lot in the development. Membership and assessment cost shall be mandatory for all property owners of property in the development and shall run with the land. The property owner shall pay all costs of incorporation and initial management review and reports.
- ii. The Homeowner's Association shall be responsible for trash and litter control and sweeping of all private streets within the development. All private storm drain systems and all associated trash capture devices shall be cleaned on a regularly scheduled basis as detailed in the required Stormwater Treatment Measures Maintenance Agreement.
- jj. The Homeowner's Association shall be required to contract with a professional management firm to handle all necessary maintenance operations. Documentation of such contract shall be submitted to the City of Newark. All commonly owned facilities

shall be properly maintained in a manner consistent with the CC&Rs and project requirements.

- kk. All new utilities including, but not limited to, electric, telephone and cable television services shall be provided underground for all buildings in the development in accordance with the City of Newark Subdivision Standards. Electrical transformers shall be installed in underground vaults with an appropriate public utility easement or within the public right-of-way.
- ll. The joint trench plan shall be submitted by the applicant with the first tract improvement plan check and approved prior to final map approval.
- mm. Any proposed utility connections and/or underground work within structurally sound street pavement must be bored or jacked. Open street cuts will not be permitted on Sycamore Street unless the affected area is scheduled for a pavement overlay concurrent with site development.
- nn. The property owner shall request Pacific, Gas & Electric Co. to commence with the design of the underground utility improvements for the proposed development immediately following approval of the tentative map.
- oo. The property owner shall repair and/or replace any public improvements along the Sycamore Street right-of-way and private improvements along the exterior boundary of the site damaged as a result of construction activity to the satisfaction of the City Engineer.
- pp. The property owner shall ensure that a water vehicle for dust control operations is kept readily available at all times during construction at the City Engineer's direction. A pick-up or vacuum type street sweeper shall be available at all times at the direction of the City Engineer to removed tracked dirt and debris from adjacent streets.
- qq. The property owner shall implement the following measures for the duration of all construction activity to minimize air quality impacts:
 - 1. Watering should be used to control dust generation during demolition of structures and break-up of pavement.
 - 2. All trucks hauling demolition debris from the site shall be covered.
 - 3. Dust-proof chutes shall be used to load debris into trucks whenever feasible. Watering should be used to control dust generation during transport and handling of recycled materials.
 - 4. All active construction areas shall be watered at least twice daily and more often during windy periods; active areas adjacent to the existing land uses shall be kept damp at all times or shall be treated with non-toxic stabilizers or dust palliatives.
 - 5. All trucks hauling soil, sand, and other loose materials shall be covered or require all trucks to maintain at least 2 feet of freeboard.

6. All unpaved access roads, parking areas, and staging areas at construction sites shall be paved, watered three times daily, or treated with (non-toxic) soil stabilizers.
7. All paved access roads, parking areas, and staging areas at construction sites shall be swept daily with water sweepers; water sweepers shall vacuum up excess water to avoid runoff-related impacts to water quality.
8. Limit traffic speeds on unpaved roads to 15 mph.
9. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
10. Replant vegetation in disturbed areas as quickly as possible.
11. Minimize idling time (5 minutes maximum).
12. Maintain properly tuned equipment.

These measures shall be incorporated into the grading specifications as well as the best management practices of the storm water pollution prevention plan, and shall be implemented to the satisfaction of the City Engineer.

- rr. The property owner shall provide all required paper and digital submittals of the tentative map, project final map, tract improvement plans, and as-built plans as required by the City Engineer, including, but not necessarily limited to the following: (1) One full-sized reproducible copy and one reduced reproducible copy of the approved tentative map; (2) Two electronic copies of the approved final map and improvement plans in a format approved by the City Engineer; (3) One full-sized mylar copy and one reduced copy of the recorded final map; (4) One reproducible set and four blue-line or photocopied sets of the approved tract improvement plans; (5) Two electronic copies and one mylar set of the as-built tract improvement plans. All digital copies of the final map and improvement plans shall be prepared in accordance with Union Sanitary District digital submittal standards. A deposit of \$5,000 shall be provided by the property owner to the City to ensure submittal of all required documentation.
- ss. The plans submitted for construction must be drawn to an appropriate scale as required by the City Engineer.

Landscape/Parks Division

- uu. The property owner shall dedicate a minimum 15-foot wide landscape and public utility easement along the Sycamore Street frontage adjacent to the new right-of-way limit. This easement shall be dedicated with the final map.
- vv. The property owner shall retain a licensed landscape architect to prepare working drawings for tract improvement landscape plans in accordance to with City of Newark requirements and the State of California Model Water Efficient Landscape Ordinance. The associated Landscape Documentation Package must be approved by the City Engineer prior to approval of any final map.

- ww. Prior to approval of any final map, the property owner shall enter into a Landscape Maintenance Agreement with the City of Newark. Areas Agreement shall include all continuous landscaped areas contiguous to the site's public street frontage and all visible on-site landscaping. All landscape maintenance on-site and along the project frontage shall be the responsibility of the homeowners association. Any project perimeter walls and adjoining landscape areas shall be included in a dedicated landscape easement to guarantee adequate maintenance of the walls. Any work other than routine maintenance, including but not necessarily limited to, tree removal, tree pruning, or changes to the approved planting palette shall be approved in advance by the City Engineer. All tree pruning shall be performed by or under the direction of a certified arborist.
- xx. The property owner shall implement Bay Friendly Landscaping Practices in accordance with Newark Municipal Code, Chapter 15.44.080. Prior to approval of any final map, the property owner shall provide sufficient information to detail the environmentally-conscious landscape practices to be used on the project.
- yy. Prior to installation by the property owner, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. No less than half of the new trees for the project shall be minimum 24-inch box size. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.
- zz. Prior to the release of utilities or issuance of any Certificates of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.
- aaa. Prior to issuance of Certificate of Occupancy or release of utilities, the property owner shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The property owner shall insure that the landscape shall be installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.
- bbb. Landscaping adjacent to the public right-of-way must conform to the City's visibility requirements in accordance with Newark Municipal Code, Chapter 10.36.
- ccc. Prior to the issuance of any Certificates of Occupancy, the property owner shall pay Park Impact Fees in accordance with the City's current Master Fee Schedule and any updates thereto.
- ddd. Any above ground utility structures, including backflow prevention devices, and appurtenances shall be installed within the property owner's property line and a minimum of 10 feet behind street face of curbs. The backflow prevention devices shall have a green painted security cage to protect it from vandalism. These locations shall be

screened with landscaping to the satisfaction of the City Engineer. The landscape screen shall not interfere with the utility companies' or Fire Department's access.

Building Division

- eee. Construction for this project, including site work and all structures, can occur only between the hours of 8:00 AM and 6:00 PM, Monday through Friday. The applicant may make a written request to the Building Official for extended working hours and/or days. In granting or denying any request the Building Official will take into consideration the nature of the construction activity which would occur during extended hours/days, the time duration of the request, the proximity to residential neighborhoods and input by affected neighbors. All approvals will be done so in writing.
- fff. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Planning Commission and City Council review and, if so decided, said changes shall be submitted for the Commission's and Council's review and decision. The property owner shall pay the prevailing fee for each additional separate submittal of development exhibits requiring Planning Commission and/or City Council review and approval.
- ggg. This project will require building permits following PUD/Conditional Use Permit approval by the City Council. The applicant will need to make a separate application to the Building Inspection Division for building permits for each separate building. Such applications shall include complete construction drawings prepared by a California licensed architect, structural engineer or civil engineer.

General

- hhh. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Planning Commission and City Council review and, if so decided, said changes shall be submitted for the Commission's and Council's review and decision. The property owner shall pay the prevailing fee for each additional separate submittal of development exhibits requiring Planning Commission and/or City Council review and approval.
- iii. If any condition of this planned unit development and conditional use permit be declared invalid or unenforceable by a court of competent jurisdiction, this planned unit development and conditional use permit shall terminate and be of no force and effect, at the election of the City Council on motion.
- jjj. This planned unit development and conditional use permit shall be given a public hearing before the City Council for the Council's review and approval.
- kkk. The property owner hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including,

without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.

- III. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The property owner is hereby further notified that the 90-day approval period in which the property owner may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the property owner fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the property owner will be legally barred from later challenging such exactions.



ACKLAND
INTERNATIONAL, INC.
3225 Redwood Road, Suite 304
Oakland, CA 94621
510.833.1797 (Tel)
510.833.2137 (Fax)



SEION PACIFIC COMPANY
CLIENT NAME & ADDRESS:
MERIDA CONDOMINIUMS
36731 SYCAMORE STREET
NEWARK, CA 94560

NO.	DATE	DESCRIPTION
0	07/01/16	PLANNING APPLICATION
1		
2		
3		
4		
5		
6		
7		
8		
9		

PARCELIZATION PLAN
PROJECT NO. S14116
DRAWN BY: DS
CHECKED BY: ES
SCALE: AS SHOWN
DATE: 07/01/2016
SHEET NO. 2
OF 9 SHEETS

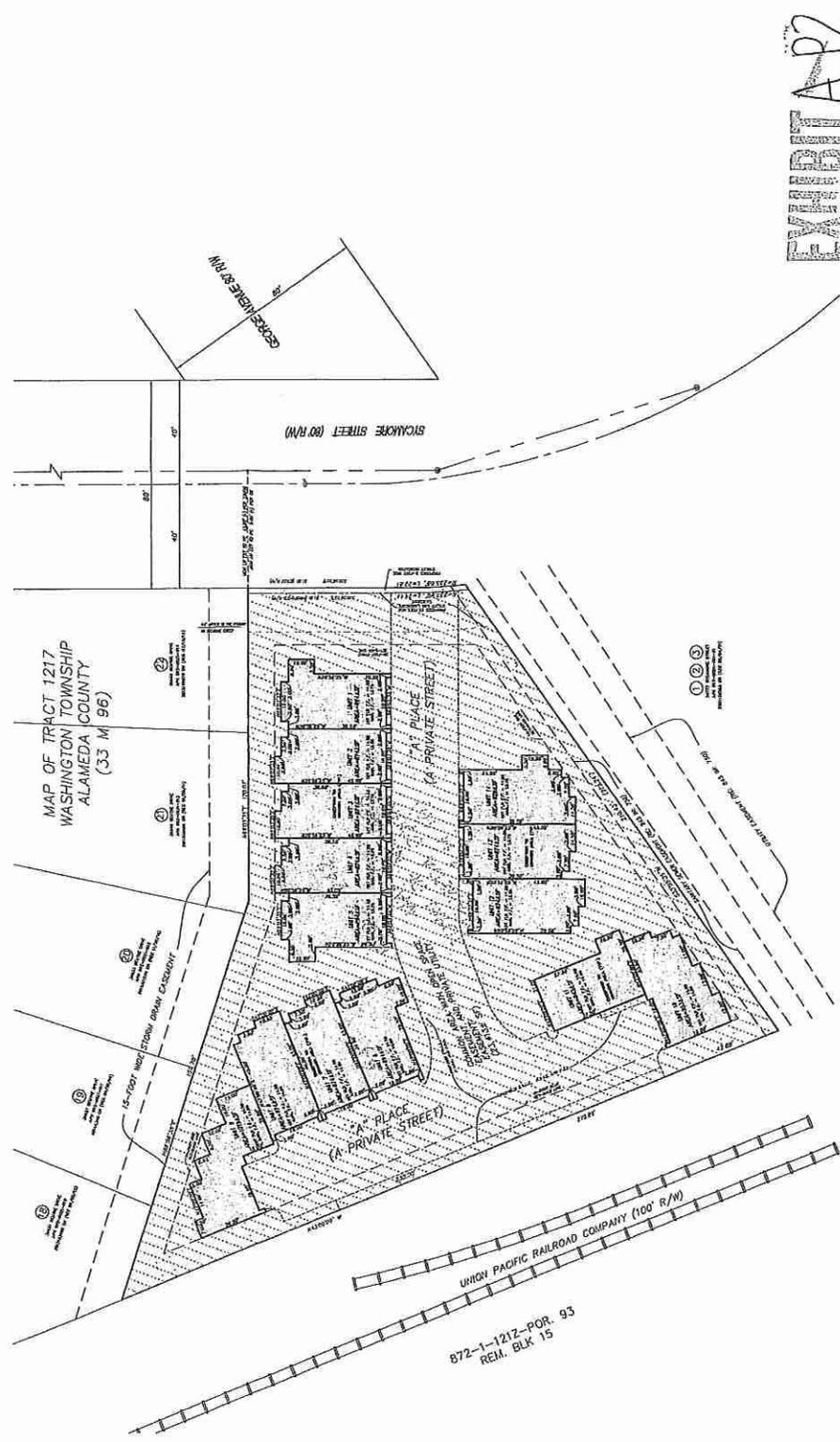
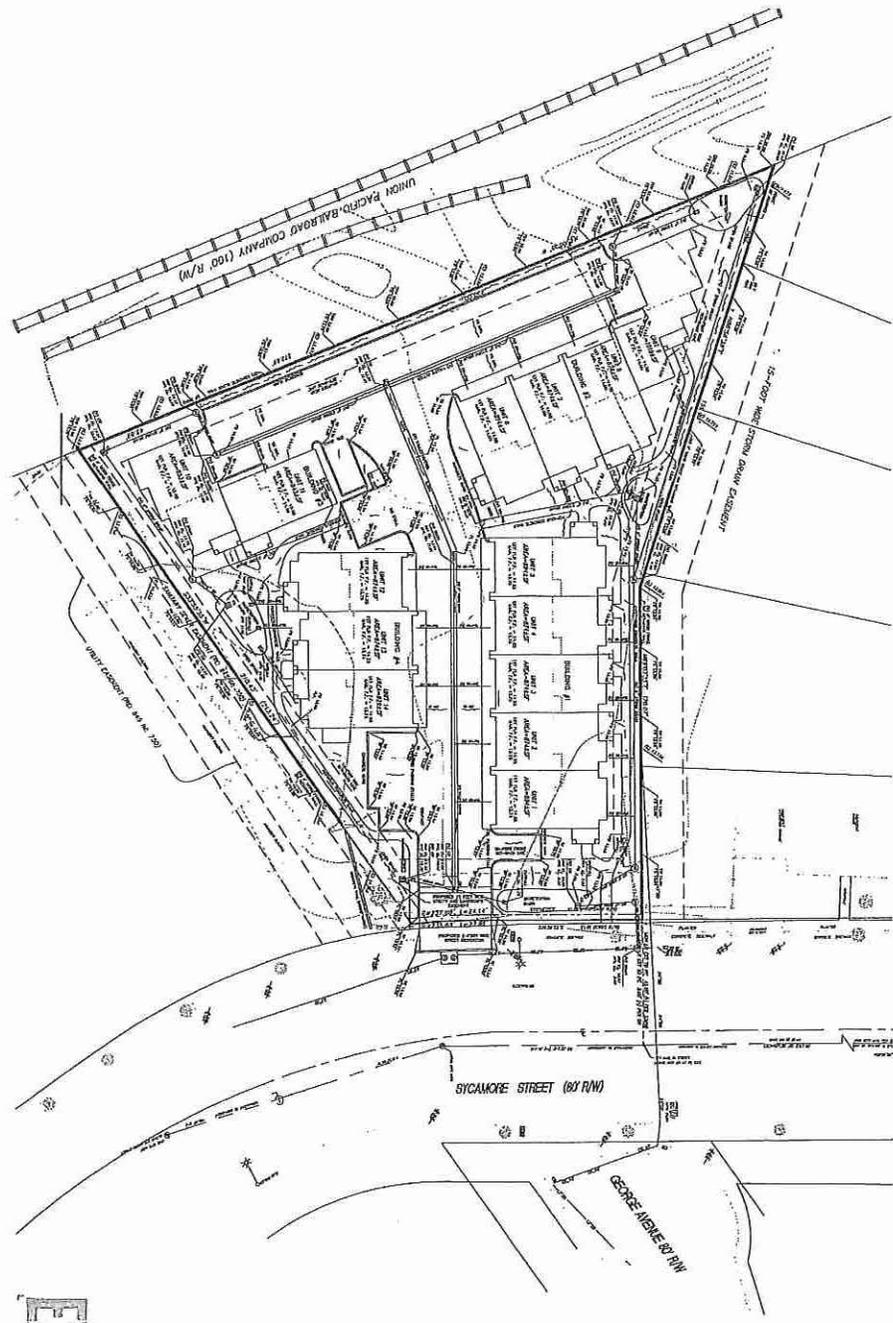


EXHIBIT A-2

PARCELIZATION PLAN
SCALE: 1" = 20'-0"

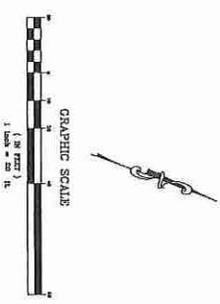
GRAPHIC SCALE
(30 FEET)
1 Inch = 20 FT.

872-1-1217-POR. 93
REM. BLK 15



GRADING AND DRAINAGE PLAN
SCALE: 1" = 20'-0"

EXHIBIT A-D4



PROJECT NO.	SH4116
DRAWN BY	DS
CHECKED BY	ES
SCALE	AS SHOWN
DATE	07/10/2016
SHEET NO.	4
OF	5 SHEETS

GRADING AND DRAINAGE PLAN

NO.	DATE	DESCRIPTION	BY
0	07/01/16	PLANNING APPLICATION	DS
1			ES

PROJECT NAME:
MERIDA CONDOMINIUMS
36731 SYCAMORE STREET
NEWARK, CA 94560

CLIENT NAME & ADDRESS:
SEION PACIFIC COMPANY
2019 Tenth Street, San Jose, CA 95131
TEL: 415.435.4444 FAX: 415.435.4444



ACKLAND
INTERNATIONAL, INC.
333 Hegenberger Road, Suite 304
Oakland, CA 94621
510.633.1797 (tel)
510.633.4431 (fax)



5/14/16

UTILITY PLAN

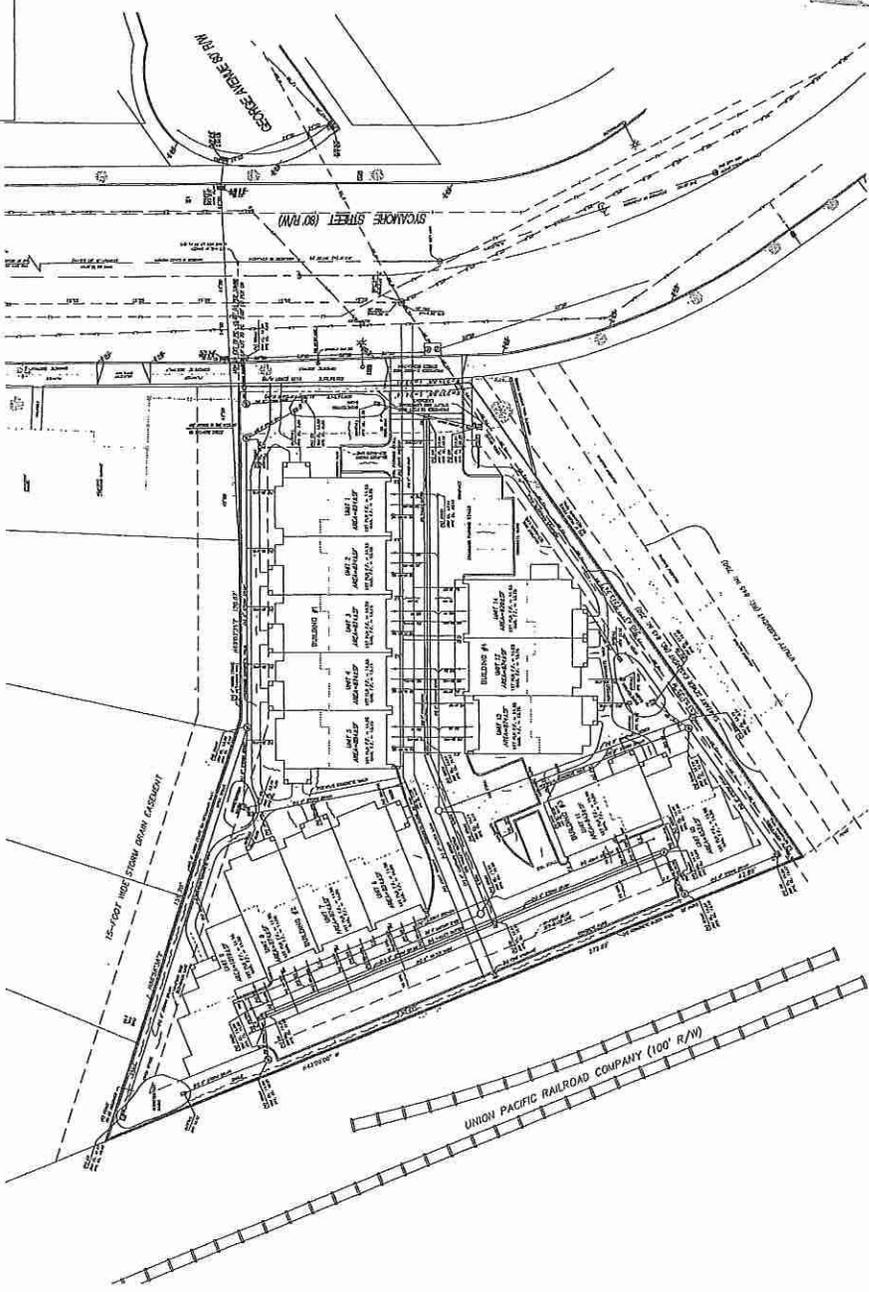
FAST TABS

NO.	DATE	DESCRIPTION
0	07/01/16	PLANNING APPLICATION
1		
2		
3		
4		
5		
6		
7		
8		
9		

PROJECT NAME:
MERIDA CONDOMINIUMS
3671 SYCAMORE STREET
NEWARK, CA 94560
CLIENT NAME & ADDRESS:
SEION PACIFIC COMPANY
1515 BAYVIEW, FLOOR 2000
SAN FRANCISCO, CA 94133
510.633.2431 (cell)
510.633.1792 (fax)
333 HAYWARD ROAD, SUITE 204
ACKLAND, INTERNATIONAL, INC.



NOTES:
1. THE WORK OF WATER MAIN TIE-IN SHALL BE PERFORMED BY THE ALAMEDA COUNTY WATER DISTRICT (ACWD).
2. THE WORK OF WATER MAIN TIE-IN SHALL BE PERFORMED BY THE ALAMEDA COUNTY WATER DISTRICT (ACWD).
3. THE WORK OF WATER MAIN TIE-IN SHALL BE PERFORMED BY THE ALAMEDA COUNTY WATER DISTRICT (ACWD).
4. THE WORK OF WATER MAIN TIE-IN SHALL BE PERFORMED BY THE ALAMEDA COUNTY WATER DISTRICT (ACWD).
5. THE WORK OF WATER MAIN TIE-IN SHALL BE PERFORMED BY THE ALAMEDA COUNTY WATER DISTRICT (ACWD).



UTILITY PLAN
SCALE: 1" = 20'-0"





ACKLAND INTERNATIONAL, INC.
 233 Regentway Road, Suite 204
 Oakland, CA 94621
 510.832.1793 (tel)
 510.832.4231 (fax)

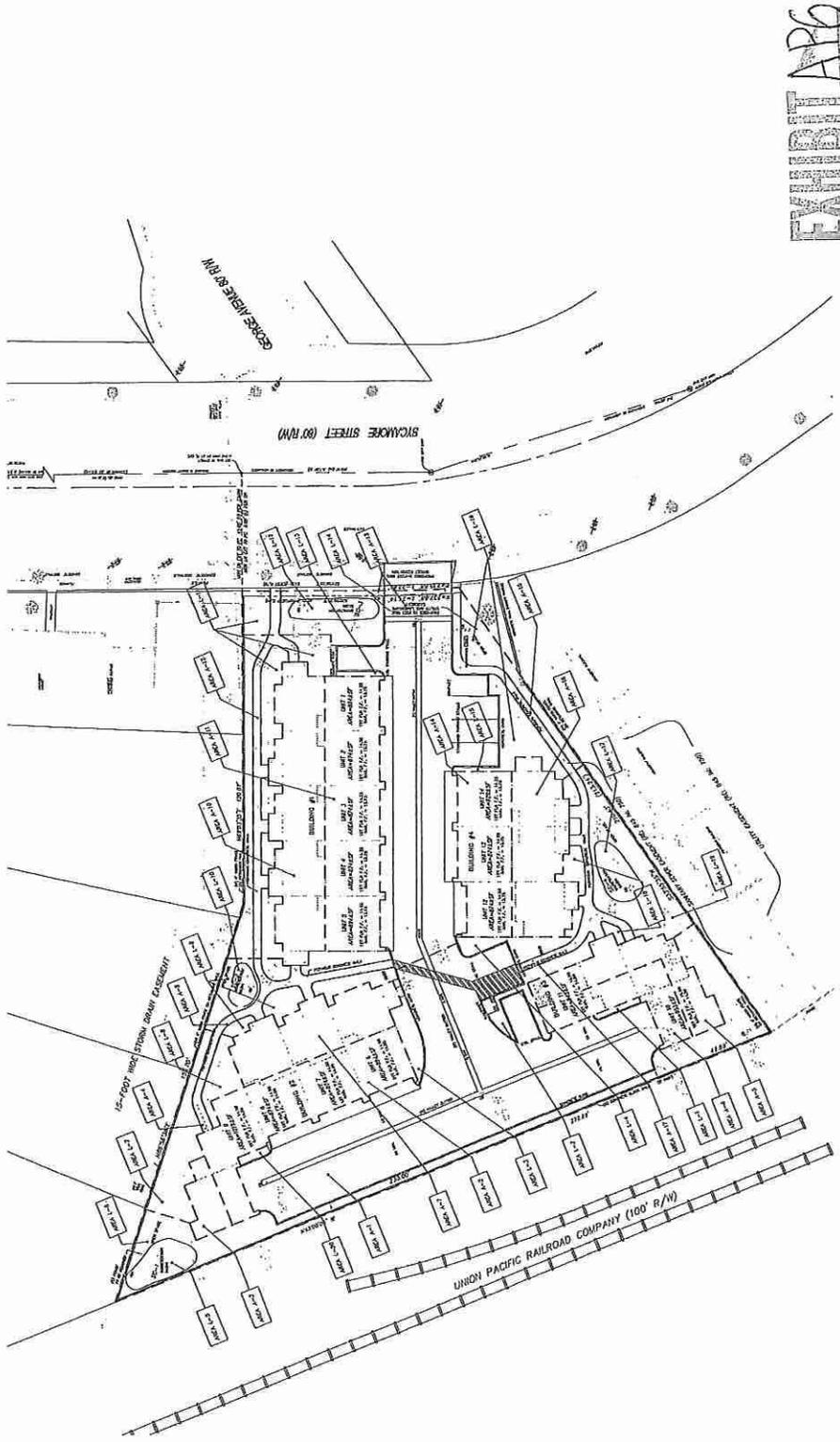


SETON PACIFIC COMPANY
 36731 SYCAMORE STREET
 NEWARK, CA 94560

NO.	DATE	DESCRIPTION
0	07/01/16	PLANNING APPLICATION

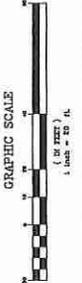
STORMWATER TREATMENT PLAN

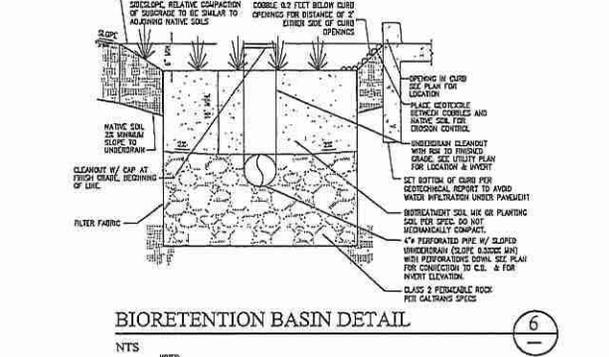
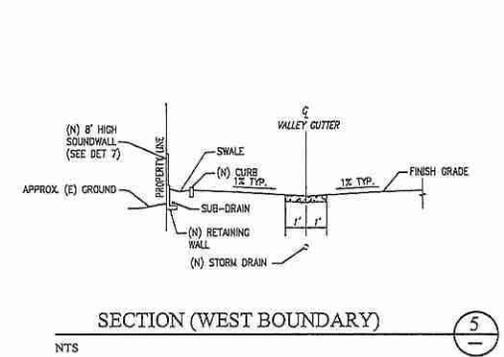
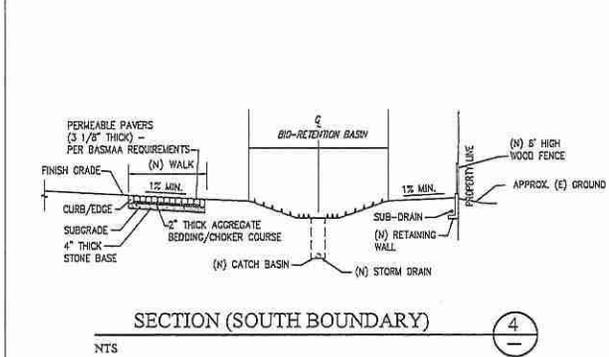
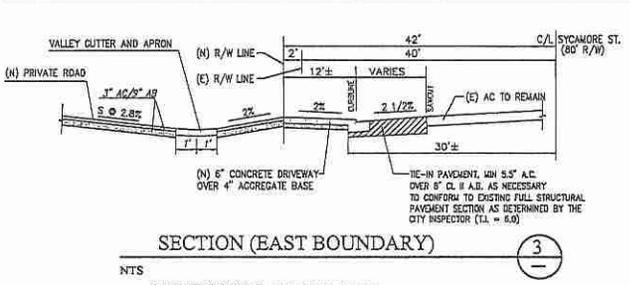
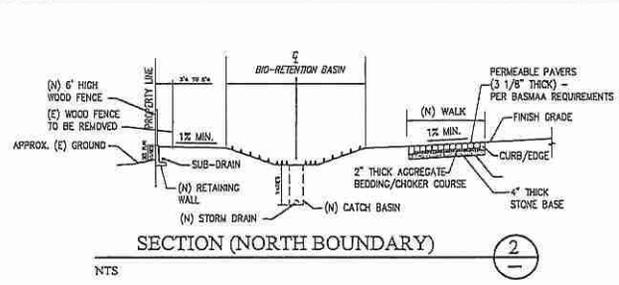
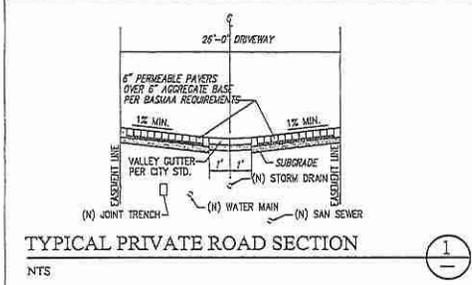
PROJECT NO. S14116
 DRAWN BY: DS
 CHECKED BY: ES
 SCALE: AS SHOWN
 DATE: 07/01/2016
 SHEET NO. **6**
 OF 8 SHEETS



STORMWATER TREATMENT PLAN
 SCALE: 1" = 20'-0"

EXHIBIT A-6





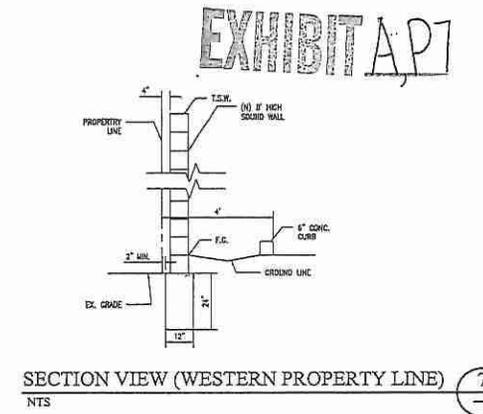
STORMWATER TREATMENT AREA CALCULATIONS

IMP NAME: SC-1 IMP TYPE: BIORETENTION FACILITY								
DMA NAME	AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUN-OFF FACTOR	DMA X RUN-OFF FACTOR (SF)	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	PROPOSED AREA (SF)	
A-1	4,239	PERMEABLE PAVEMENT	0.40	2,405				
L-20	49	LANDSCAPE	0.10	5				
A-2	315	CONVENTIONAL PAVEMENT	1.00	315				
A-4	159	CONVENTIONAL PAVEMENT	1.00	159				
A-5	991	CONVENTIONAL PAVEMENT	1.00	999				
A-6	797	CONVENTIONAL PAVEMENT	1.00	797				
A-2	2,845	CONVENTIONAL PAVEMENT	1.00	2,845				
L-1	47	LANDSCAPE	0.10	5				
L-2	224	LANDSCAPE	0.10	28				
L-3	230	LANDSCAPE	0.10	23				
L-6	2,308	LANDSCAPE	0.10	231				
L-7	674	LANDSCAPE	0.10	67				
L-8	240	LANDSCAPE	0.10	25				
L-19	872	LANDSCAPE	0.10	87				
TOTAL			1,946	7,271				
					0.648	1.029	353	368

IMP NAME: SC-3 IMP TYPE: BIORETENTION FACILITY								
DMA NAME	AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUN-OFF FACTOR	DMA X RUN-OFF FACTOR (SF)	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	PROPOSED AREA (SF)	
A-10	2,193	CONVENTIONAL PAVEMENT	1.00	2,193				
A-11	2,255	CONVENTIONAL PAVEMENT	1.00	2,255				
A-12	333	PERMEABLE PAVEMENT	0.40	393				
A-13	2,234	CONVENTIONAL PAVEMENT	0.40	2,093				
A-14	1,210	CONVENTIONAL PAVEMENT	1.00	1,210				
A-15	415	CONVENTIONAL PAVEMENT	0.40	166				
L-4	187	LANDSCAPE	0.10	19				
L-11	1,492	LANDSCAPE	0.10	150				
L-13	29	LANDSCAPE	0.10	3				
L-14	117	LANDSCAPE	0.10	12				
L-15	98	LANDSCAPE	0.10	10				
L-16	332	LANDSCAPE	0.10	33				
TOTAL				8,337				
					0.648	1.029	345	336

IMP NAME: SC-2 IMP TYPE: BIORETENTION FACILITY								
DMA NAME	AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUN-OFF FACTOR	DMA X RUN-OFF FACTOR (SF)	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	PROPOSED AREA (SF)	
A-7	1,301	CONVENTIONAL PAVEMENT	1.00	1,301				
A-8	412	CONVENTIONAL PAVEMENT	0.40	165				
L-9	792	LANDSCAPE	0.10	80				
TOTAL			1,846	1,546				
					0.648	1.029	62	138

IMP NAME: SC-4 IMP TYPE: BIORETENTION FACILITY								
DMA NAME	AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUN-OFF FACTOR	DMA X RUN-OFF FACTOR (SF)	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	PROPOSED AREA (SF)	
A-16	1,213	CONVENTIONAL PAVEMENT	1.00	1,213				
A-17	577	PERMEABLE PAVEMENT	0.40	215				
L-18	621	LANDSCAPE	0.10	62				
TOTAL			1,846	1,490				
					0.648	1.029	67	262



SEAL: [Professional Engineer Seal]

ACKLAND INTERNATIONAL, INC.
16-30-101
10000 Sycamore Street, Suite 204
Oakland, CA 94621
Tel: 510.433.2431 (fax)
510.433.2431 (tel)

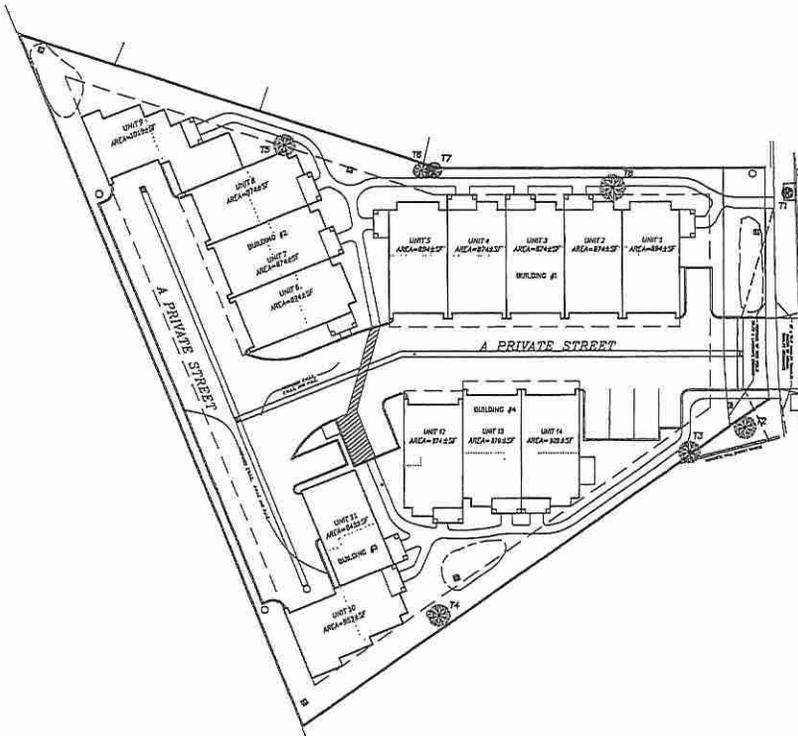
PROJECT NAME: MERIDA CONDOMINIUMS
26731 SYCAMORE STREET
NEWARK, CA 94560

CLIENT NAME & ADDRESS: SEION PACIFIC COMPANY
10000 Sycamore Street, Suite 204
Oakland, CA 94621

NO.	DATE	REVISIONS / DESCRIPTION

SHEET TITLE: MISCELLANEOUS DETAILS

PROJECT NO. S14116
DRAWN BY: DS
CHECKED BY: ES
SCALE: AS SHOWN
DATE: 07/01/2016
SHEET NO. 7 OF 9 SHEETS



TREE CHART

TREE NUMBER	TRUNK DIAMETER(S)	HERITAGE TREE	TO BE REMOVED	TREE TYPE
1	10.3	N	N	CALLISTEMON VIMINALIS
2	14.5, 11.0	N	N	SCHINUS MOLLE
3	15, 15	N	Y	SCHINUS MOLLE
4	8.5, 6.1, 4.2	N	Y	JUGLANS NIGRA
5	3.8, 3.7, 2.8	N	Y	JUGLANS NIGRA
6	8.8, 6.3, 4.2	N	Y	JUGLANS NIGRA
7	10.2, 13.5, 13.1	N	Y	JUGLANS NIGRA
8	3.3x2.0	N	Y	JUGLANS NIGRA

PROTECTED TREES TO BE REMOVED: 6
REPLACEMENT TREES: 30

EXIST ARB

COMPLIANCE STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF THE STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE PRELIMINARY LANDSCAPE DESIGN PLAN.

Justin Ware
JUSTIN WARE, CALIFORNIA REGISTERED LANDSCAPE ARCHITECT #5033 DATE 7/1/16

REVISIONS BY

LANDSCAPE ARCHITECTURE AND DESIGN SERVICES
2029 PALOMA AVE.
COSTA MESA, CA 92626
(949) 544-8868 Office (949) 538-0077 Fax



SETON PACIFIC
TURLOCK, CA

CLIENT

TREE PLAN

SHEET TITLE

NEWARK
CONDOMINIUMS
NEWARK, CA

PROJECT

DATE 7/1/16

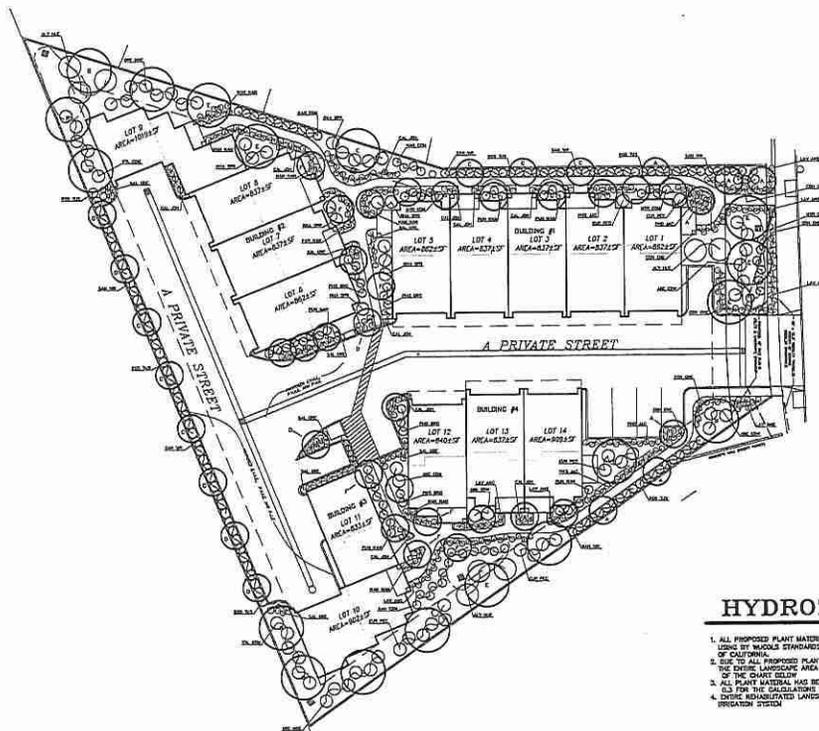
SCALE 1"=20'

DRAWN JTW

SHEET

L1

OF 2 SHEETS



HYDROZONE NOTES

1. ALL PROPOSED PLANT MATERIAL IS CLASSIFIED AS LOW OR VERY LOW WATER USE BY MODEL STANDARDS FOR NORTH CENTRAL CLIMATIC REGIONS OF CALIFORNIA.
2. ALL PROPOSED PLANT MATERIAL IS CLASSIFIED AS LOW OR VERY LOW WATER USE BY MODEL STANDARDS FOR NORTH CENTRAL CLIMATIC REGIONS OF CALIFORNIA.
3. ALL PLANT MATERIAL HAS BEEN ASSIGNED A LOW WATER USE FACTOR OF 0.3 FOR THE CALCULATIONS BELOW.
4. EXISTING REHABILITATED LANDSCAPE AREA SHALL BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM.

HYDROZONE INFORMATION TABLE

HYDROZONE	VALUES	IRRIGATION METHOD	AREA	% OF LANDSCAPE AREA
LOW	ALL	DRIP	10,050 SF	100

NOTE: 0.338 SF OF LANDSCAPE AREA NOTED ABOVE AND USED IN CALCULATIONS BELOW REPRESENTS ALL LANDSCAPE AREA AT A NEWLY DEVELOPED SITE

WATER USE CALCULATION

$$MAWA = (47.0)(0.62)(0.55 \times 10,050)$$

$$MAWA = 161,071 \text{ GALLONS PER YEAR}$$

ESTIMATED TOTAL WATER USE

$$ETWU = (47.0)(0.62) \left[\frac{0.3 \times 10,050}{0.85} \right]$$

$$ETWU = 103,361 \text{ GALLONS PER YEAR}$$

PLANT LIST

Symbol	Size	Botanical Name	Common Name	Quantity	SCALE 1/8"=1'-0"	Factor
A	2" Box	Atlatia Deak	Strawberry Tree	12	L	
B	15 gal	Cercis chinensis - Ma	Doth	8	L	
C	15 gal	Quercus dumalis	Western Red Oak	11	M	
D	15 gal	Lagerströmia I. Tulipae	Crape Myrtle	10	L	
E	24" Box	Platanus Orientalis	Chinese Plane	8	L	
F	24" Box	Shadehouse Injuria Beauty	Indian Hawthorn	12	L	
G	5 gal	Abutilon 'Tender Doctor'	Glory Aids	12	L	
H	5 gal	Fuchsia longepetala	Blue Hibiscus	8	L	
I	5 gal	Exochorda	Golden Choke	18	L	
J	5 gal	Ornithoglossum	Ornithoglossum	14	L	
K	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
L	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
M	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
N	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
O	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
P	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
Q	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
R	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
S	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
T	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
U	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
V	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
W	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
X	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
Y	5 gal	Hydrangea 'Carnegie'	Doth	12	L	
Z	5 gal	Hydrangea 'Carnegie'	Doth	12	L	

PLANTING NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL CODES AND ORDINANCES WHICH APPLY TO THE CITY OF NEWARK.
2. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL REMOVE RELATED OBSTACLES AND SHALL ENSURE COORDINATION WITH ALL APPLICABLE TRACTS PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL RECEIVE SITE GRANTED TO 1/4" (1) FT. THE CONTRACTOR IS RESPONSIBLE FOR SURFACE DRAINAGE OF ALL PLANTING AREAS. NO LOW SPOTS WHICH HOLD STANDING WATER SHALL BE ACCEPTED.
4. CONTRACTOR SHALL SPREAD 6 INCHES THICKNESS OF FILTERED SOIL CONDITIONED AND 25 LBS OF A COMMERCIALLY AVAILABLE FERTILIZER (10-20-20) PER 1000 SQ. FT. OF PLANTING AREAS AND BOTTLES INDEPENDENTLY UP TO THE TOP 3" OF SOIL.
5. ALL PLANTING AREAS SHALL BE PREPARED WITH ALL FERTILIZER AND SOIL CONDITIONED SOIL 4" IN DIAMETER BELIEVED FROM THE SITE.
6. ALL PLANTING AREAS SHALL BE PREPARED WITH 2" OF 3/4" - 1/2" SOIL.
7. ALL PLANTING AREAS SHALL BE PREPARED WITH 2" OF 3/4" - 1/2" SOIL. EXISTING SOIL SHALL BE USED WITH 1/2" SOIL CONDITIONED AND 25 LBS OF A COMMERCIALLY AVAILABLE FERTILIZER (10-20-20) PER 1000 SQ. FT. OF PLANTING AREAS.
8. STAKE ALL 1/2" TREES WITH 2" PAW STAKES AND 2 BLOWER TECH FOR TREE SET TECH FOR ADDITIONAL INFORMATION.
9. ALL PLANTING AREAS SHALL RECEIVE 2" LAYER OF WALK ON BARK (1/4" x 1/4" DIAMETER) AFTER ALL TREES, SHRUBS, AND GROUNDCOVERS HAVE BEEN PLANTED.
10. PLANT AT THE SPACING SHOWN. AFTER THE SITE IS PLANTED, A PRE-SURVEY SHALL BE APPLIED TO ALL PLANTING AREAS FOR MANUFACTURER'S RECOMMENDATIONS. THE LANDSCAPE CONTRACTOR SHALL ACQUIRE RESPONSIBILITY FOR THE LIFE OF THE PLANTING AND IS TO NOTIFY THE OWNER WITH A WRITTEN NOTICE OF THE TYPE OF DAMAGE, DATE APPLIED AND RATE OF APPLICATION.
11. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE PROJECT FOR 90 DAYS FOLLOWING APPROVAL TO BEGIN THE MAINTENANCE PERIOD. REGULAR WATERING, CULTIVATING, WEEDING, REPAIR OF STAKES AND TREE SPRAYING FOR PESTS SHALL BE PERFORMED.
12. ALL PLANTING AND PLANTING SHALL BE GUARANTEED TO BE IN A HEALTHY, THRIVING CONDITION UNTIL THE END OF THE MAINTENANCE PERIOD. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.

10,050 A, P9

TOTAL LANDSCAPE AREA:
10,500 SQUARE FEET

COMPLIANCE STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF THE STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE PRELIMINARY LANDSCAPE DESIGN PLAN.

Justin Weber
JUSTIN WEBER, CALIFORNIA REGISTERED LANDSCAPE ARCHITECT #5033
7/1/16 DATE

REVISIONS	BY
8/15/16	JW

LANDSCAPE ARCHITECTURE AND DESIGN SERVICES
2892 PALOMA AVE.
STOCKTON, CA 95209
(509) 939-8866 (office) (951) 939-0787 (fax)



SETON PACIFIC
TURLOCK, CA

CLIENT

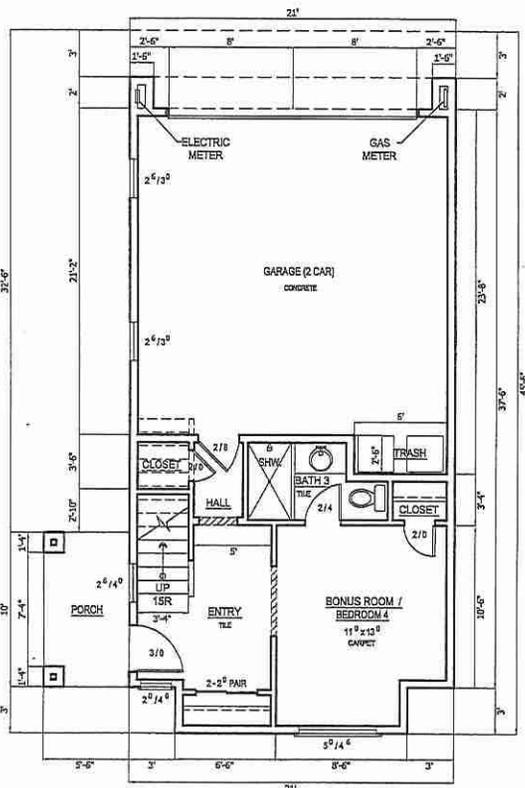
LANDSCAPE PLAN

SHEET TITLE

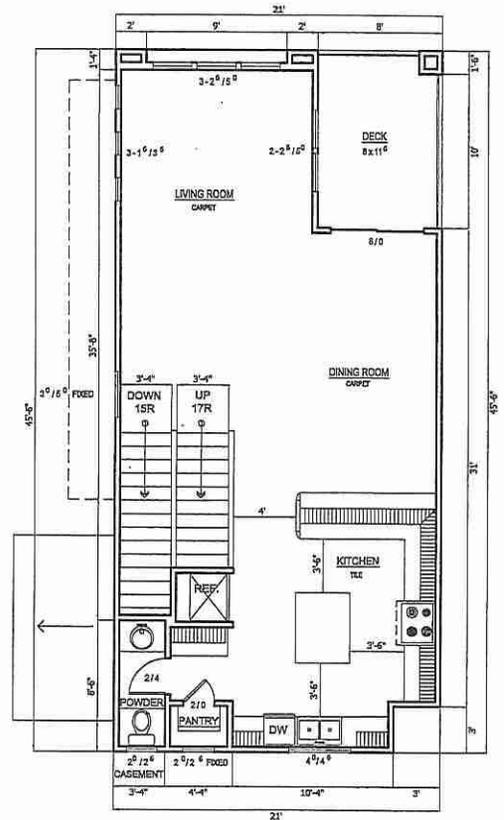
NEWARK CONDOMINIUMS
NEWARK, CA

PROJECT	DATE
NEWARK CONDOMINIUMS	7/1/16
SCALE	1"=20'
DRAWN	JW
SHEET	L2

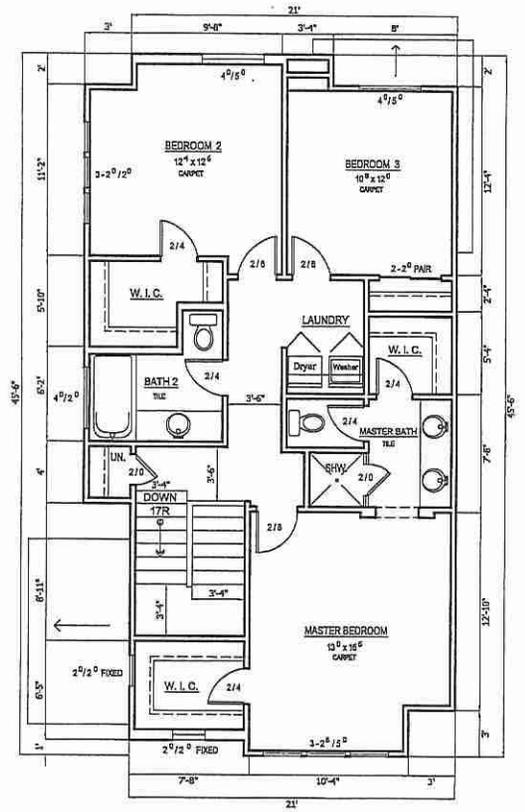
OF 2 SHEETS



FIRST FLOOR
 SCALE: 1/8" = 1'-0"
 1ST FLOOR: 373 SQ. FT.



SECOND FLOOR
 SCALE: 1/8" = 1'-0"
 2ND FLOOR: 798 SQ. FT.



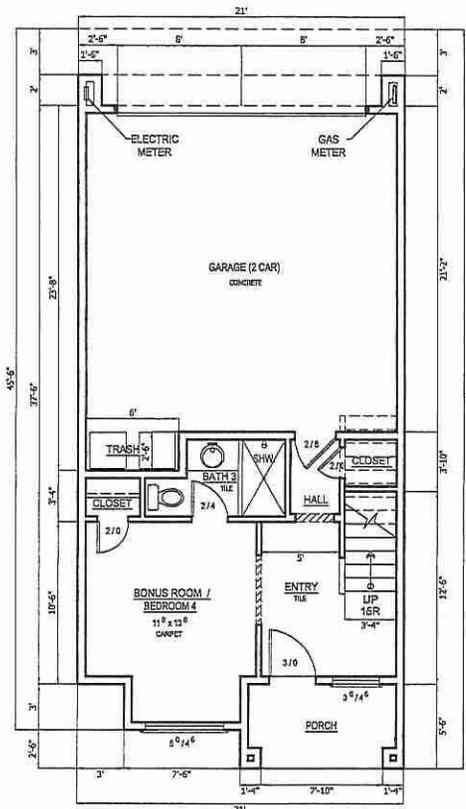
THIRD FLOOR
 SCALE: 1/8" = 1'-0"
 3RD FLOOR: 939 SQ. FT.

PLAN BM : UNIT # 1 ONLY

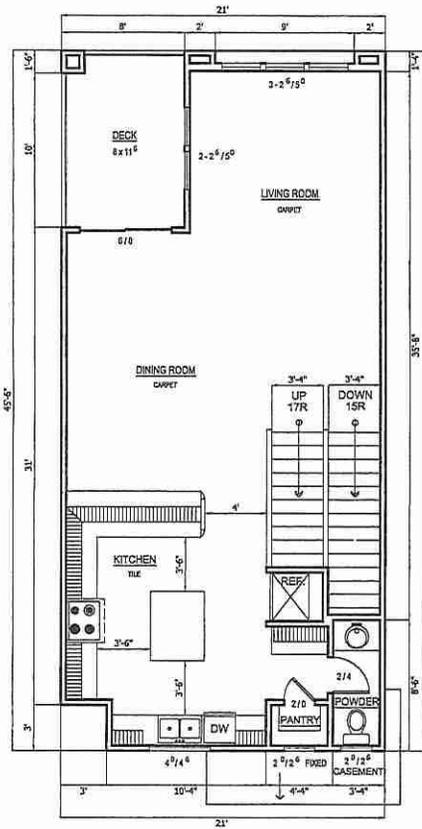
1ST FLOOR:	373 SQ. FT.
2ND FLOOR:	798 SQ. FT.
3RD FLOOR:	939 SQ. FT.
TOTAL:	2,108 SQ. FT.
GARAGE:	428 SQ. FT.
PORCH:	55 SQ. FT.
DECK:	92 SQ. FT.

EXHIBIT A-10

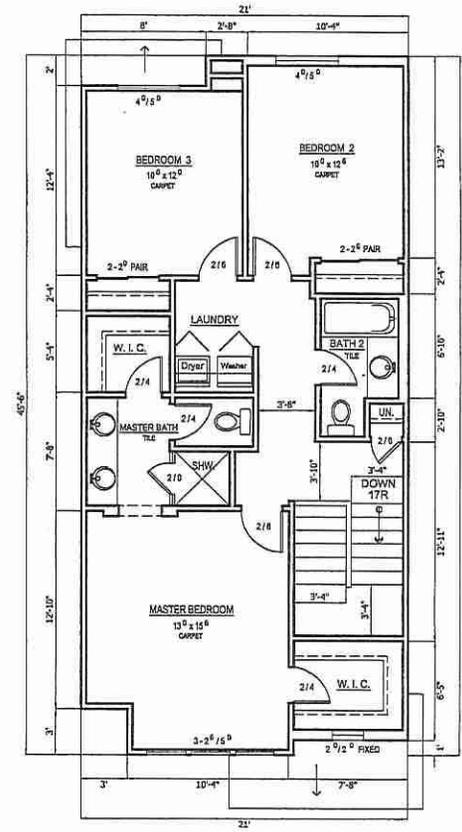
REVISION	BY
06-30-2018	NA
NEWARK CONDOMINIUM	
38781 SYCAMORE BLVD., NEWARK, CA	
PROJECT	
PLAN BM	
FLOOR PLANS	
SETON PACIFIC COMPANY	
THE NEWARK PARTNERSHIP	
DATE	06-30-2018
SCALE	1/8" = 1'-0"
DRAWN	
JOB	
SHEET	1
OF	10 SHEET



FIRST FLOOR
 SCALE: 1/8" = 1'-0"
 1ST FLOOR: 350 SQ. FT.



SECOND FLOOR
 SCALE: 1/8" = 1'-0"
 2ND FLOOR: 798 SQ. FT.



THIRD FLOOR
 SCALE: 1/8" = 1'-0"
 3RD FLOOR: 857 SQ. FT.

PLAN A: UNIT # 2,3,4, AND 13 (REVERSED)

1ST FLOOR: 350 SQ. FT.
 2ND FLOOR: 798 SQ. FT.
 3RD FLOOR: 857 SQ. FT.

TOTAL: 2,006 SQ. FT.

GARAGE: 428 SQ. FT.
 PORCH: 53 SQ. FT.
 DECK: 92 SQ. FT.

REVISION	BY
06-30-2016	MLA

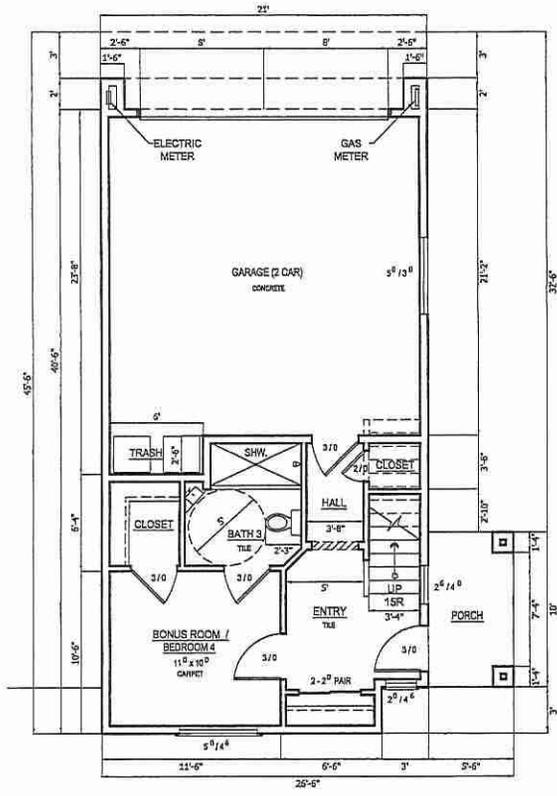
NEWARK CONDOMINIUM
 36731 SYCAMORE BLVD., NEWARK, CA

PROJECT
PLAN A
 (REVERSED)
 FLOOR PLANS

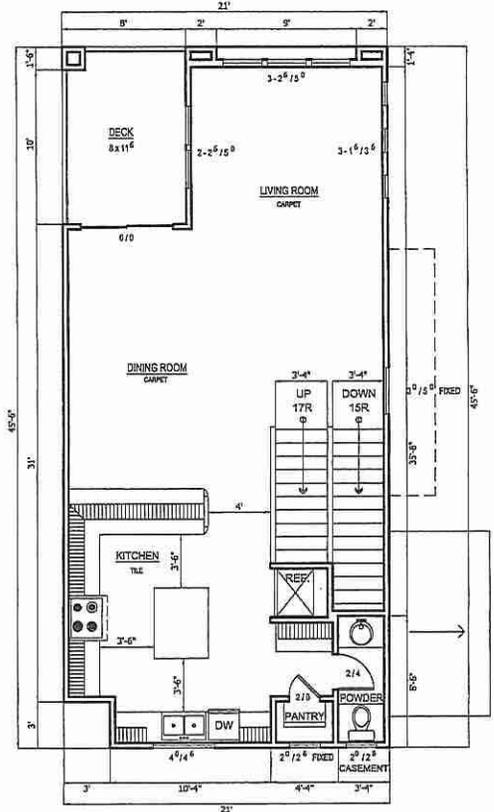
SETON PACIFIC COMPANY
 THE LEADER IN COMMERCIAL DESIGN
 10000 S. DEER CREEK ROAD, SUITE 100, DENVER, CO 80231

DATE	06-30-2016
SCALE	1/8" = 1'-0"
DRAWN	
AGE	
SHEET	2
OF	10 SHEETS

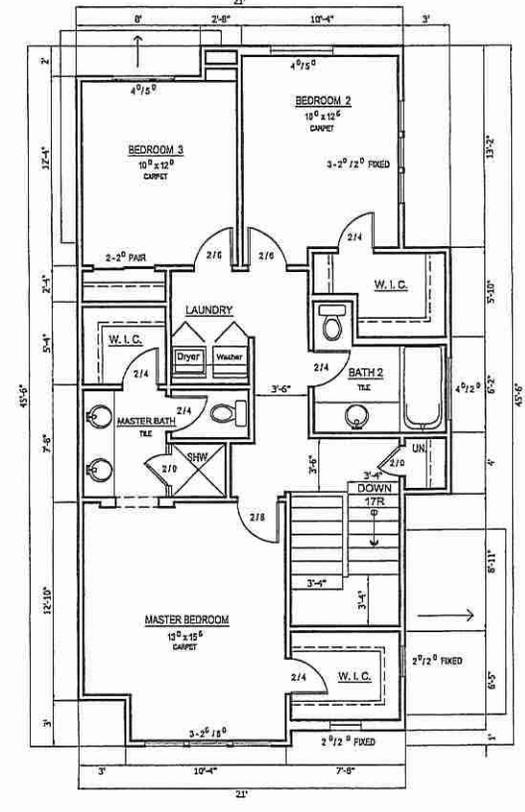
EXHIBIT A-1



FIRST FLOOR
SCALE: 1/8" = 1'-0"
1ST FLOOR: 373 SQ. FT.



SECOND FLOOR
SCALE: 1/8" = 1'-0"
2ND FLOOR: 798 SQ. FT.



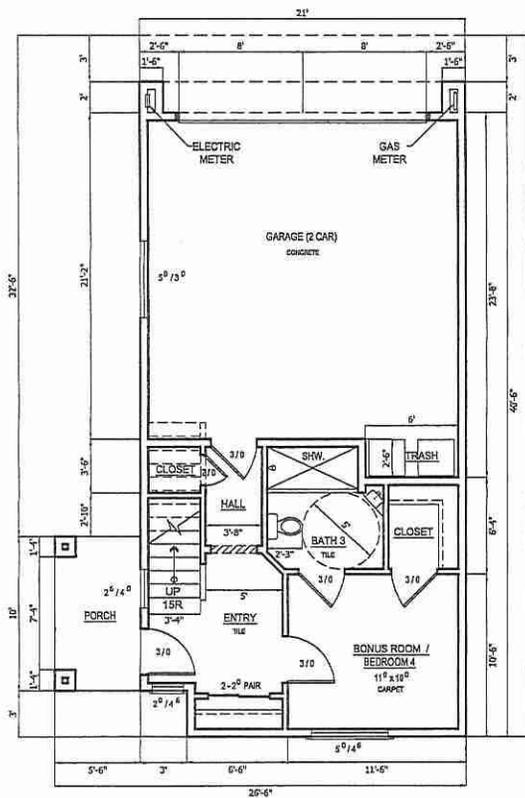
THIRD FLOOR
SCALE: 1/8" = 1'-0"
3RD FLOOR: 905 SQ. FT.

PLAN B : UNIT # 5 ONLY (REVERSED)

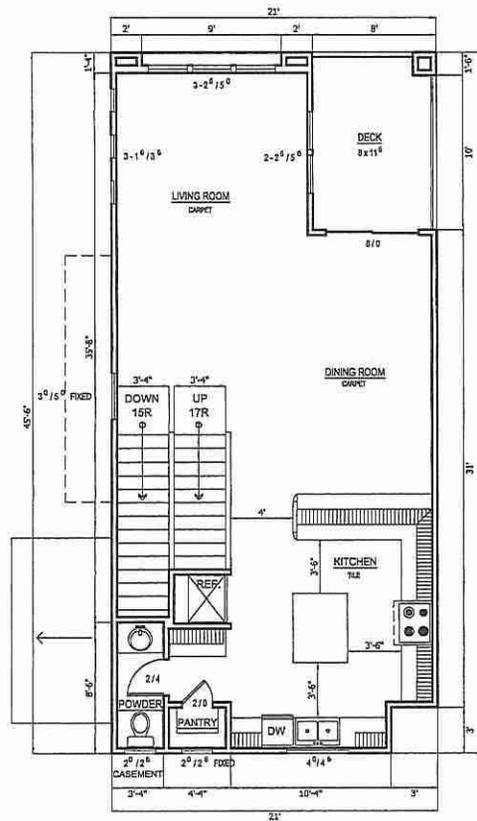
1ST FLOOR:	373 SQ. FT.
2ND FLOOR:	798 SQ. FT.
3RD FLOOR:	905 SQ. FT.
TOTAL:	2,075 SQ. FT.
GARAGE:	428 SQ. FT.
PORCH:	55 SQ. FT.
DECK:	92 SQ. FT.

EXHIBIT ARI2

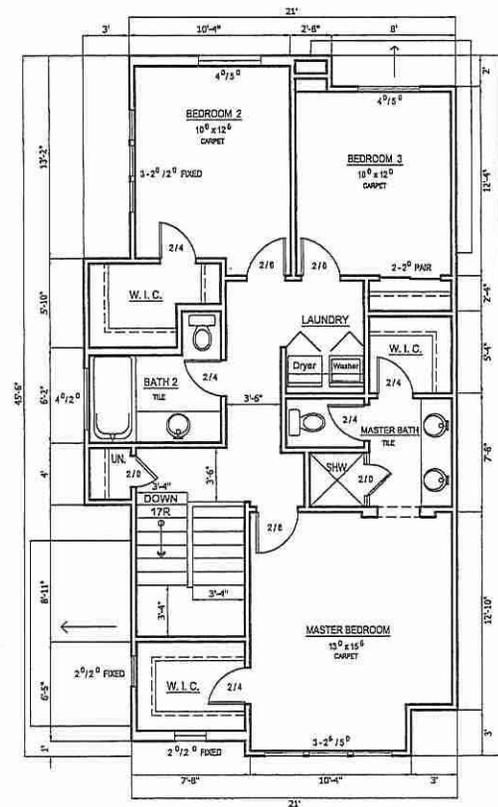
REVISION	BY
06-30-2016	N.A.
NEWARK CONDOMINIUM	
36731 SYCAMORE BLVD., NEWARK, CA	
PROJECT	
PLAN B (REVERSED) FLOOR PLANS	
SETON PACIFIC COMPANY ARCHITECTS	
DATE	06-30-2016
SCALE	1/8" = 1'-0"
DRAWN	
JOB	
SHEET	3
OF	10 SHEETS



FIRST FLOOR
 SCALE: 1/8" = 1'-0"
 1ST FLOOR: 373 SQ. FT.



SECOND FLOOR
 SCALE: 1/8" = 1'-0"
 2ND FLOOR: 798 SQ. FT.



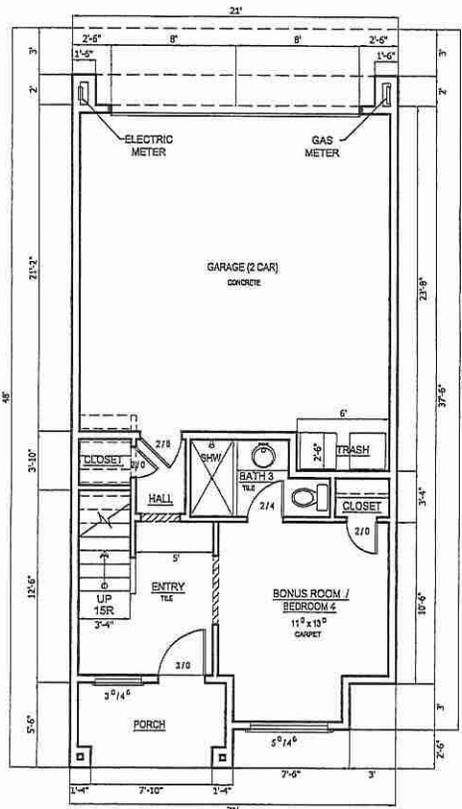
THIRD FLOOR
 SCALE: 1/8" = 1'-0"
 3RD FLOOR: 905 SQ. FT.

PLAN B: UNIT # 6 ONLY

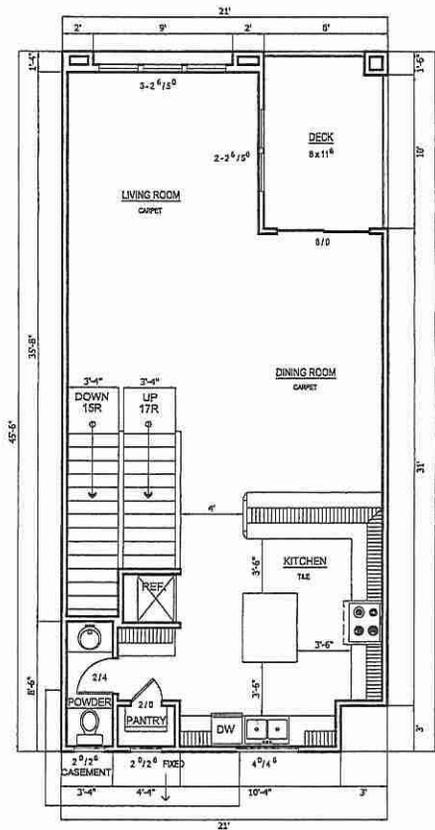
1ST FLOOR:	373 SQ. FT.
2ND FLOOR:	798 SQ. FT.
3RD FLOOR:	905 SQ. FT.
TOTAL:	2,075 SQ. FT.
GARAGE:	428 SQ. FT.
PORCH:	55 SQ. FT.
DECK:	92 SQ. FT.

REVISION	BY
06-30-2016	N.A.
NEWARK CONDOMINIUM	
38751 STAMORE BLVD., NEWARK, CA	
PROJECT	
PLAN B	
FLOOR PLANS	
BETON PACIFIC COMPANY	
1000 CENTRAL AVENUE, SUITE 100, SAN JOSE, CA 95128	
DATE	06-30-2016
SCALE	1/8" = 1'-0"
DRAWN	
JOB	
SHEET	4
OF	10 SHEETS

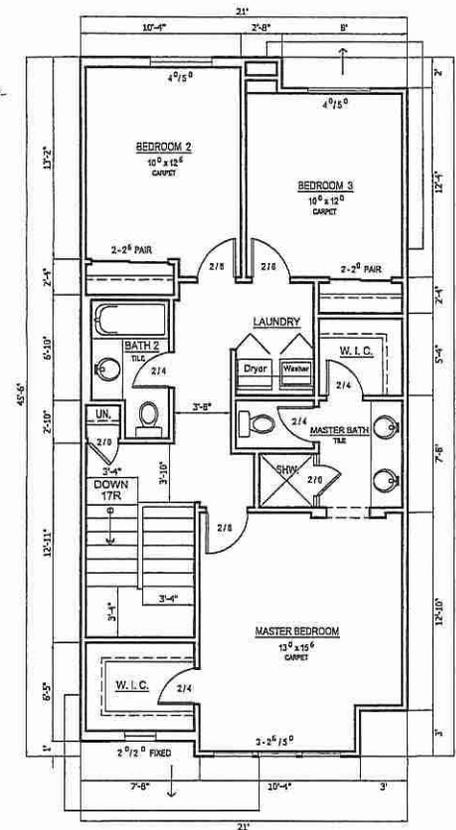
EXHIBIT A-13



FIRST FLOOR
SCALE: 1/8" = 1'-0"
1ST FLOOR: 350 SQ. FT.



SECOND FLOOR
SCALE: 1/8" = 1'-0"
2ND FLOOR: 798 SQ. FT.



THIRD FLOOR
SCALE: 1/8" = 1'-0"
3RD FLOOR: 857 SQ. FT.

PLAN A: UNIT # 7 AND 8

1ST FLOOR: 350 SQ. FT.
2ND FLOOR: 798 SQ. FT.
3RD FLOOR: 857 SQ. FT.

TOTAL: 2,006 SQ. FT.

GARAGE: 428 SQ. FT.
PORCH: 53 SQ. FT.
DECK: 92 SQ. FT.

REVISION	BY
06-30-2016	N.A.

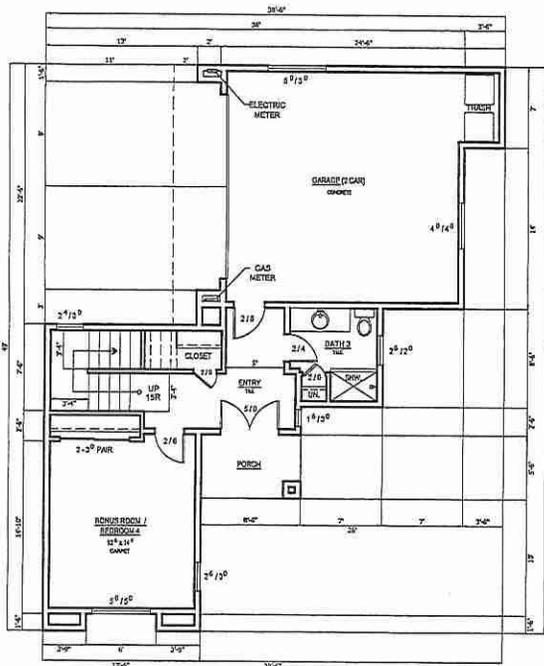
NEWARK CONDOMINIUM
36731 SYCAMORE BLVD. NEWARK, CA

PROJECT
PLAN A
FLOOR PLANS

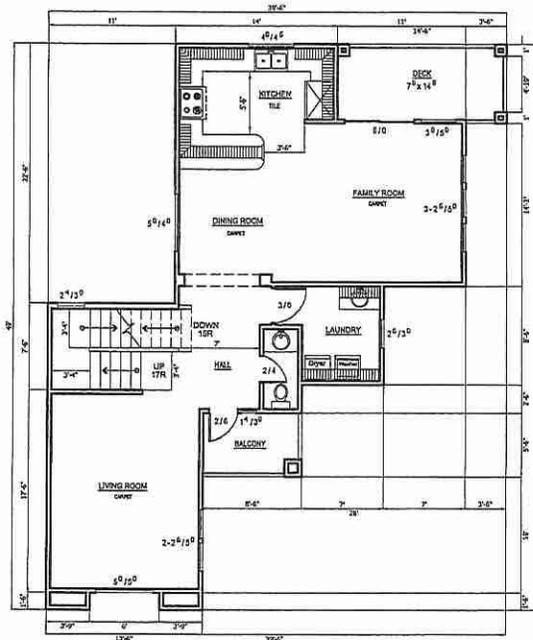
SETON PACIFIC COMPANY
10000 S. RAYBURN AVENUE, SUITE 100
DALLAS, TEXAS 75243
TEL: 972.987.1000 FAX: 972.987.1001

DATE	06-30-2016
SCALE	1/8" = 1'-0"
DRAWN	
JOB	
SHEET	5
OF	10 SHEETS

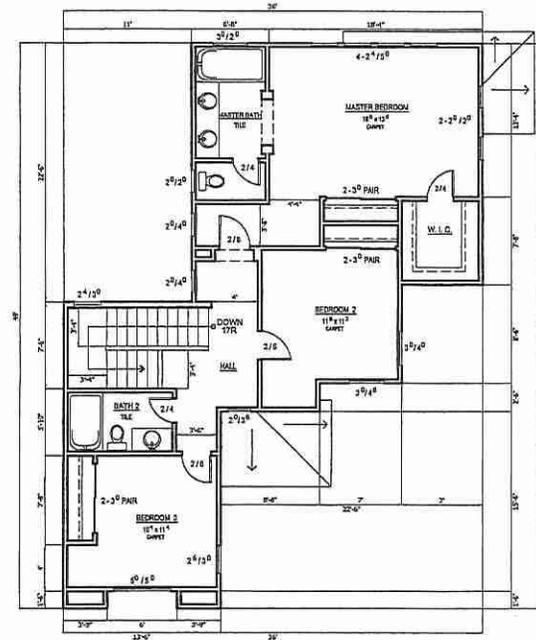
EX-114



FIRST FLOOR
SCALE: 3/32" = 1'-0"
1ST FLOOR: 498 SQ. FT.



SECOND FLOOR
SCALE: 3/32" = 1'-0"
2ND FLOOR: 891 SQ. FT.



THIRD FLOOR
SCALE: 3/32" = 1'-0"
3RD FLOOR: 961 SQ. FT.

PLAN E: UNIT # 9 ONLY

1ST FLOOR: 498 SQ. FT.
2ND FLOOR: 891 SQ. FT.
3RD FLOOR: 961 SQ. FT.

TOTAL: 2,351 SQ. FT.

GARAGE: 421 SQ. FT.
PORCH: 47 SQ. FT.
DECK: 74 SQ. FT.
BALCONY: 47 SQ. FT.

REVISION	BY
06-30-2018	RLA

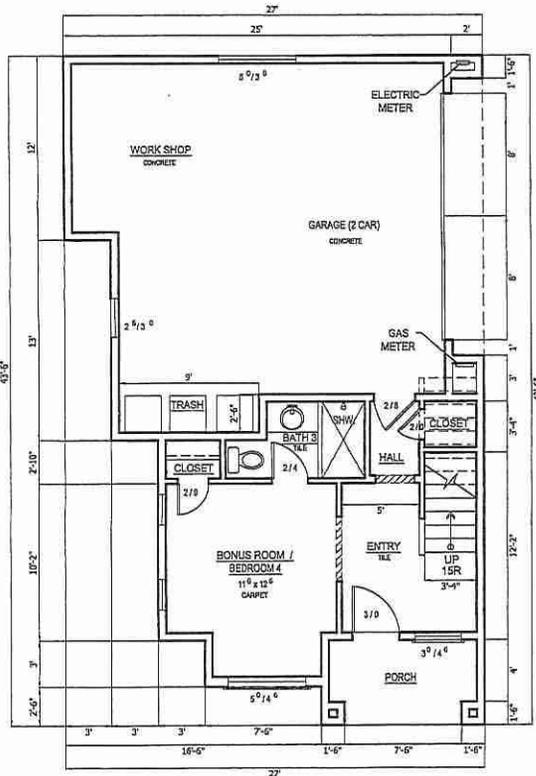
NEWARK CONDOMINIUM
36731 SYCAMORE BLVD, NEWARK, CA

PROJECT
PLAN E
FLOOR PLANS

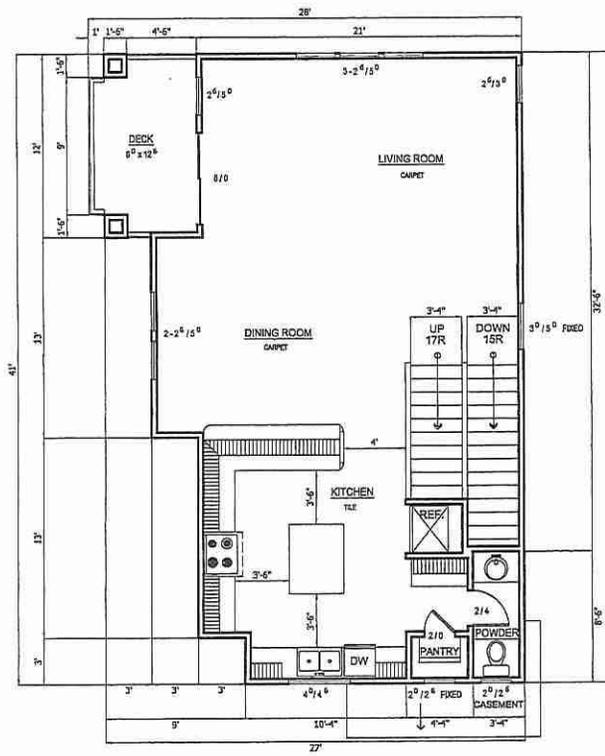


DATE	06-30-2018
SCALE	3/32" = 1'-0"
DRAWN	
CHECKED	
DATE	
SHEET	6
OF	10 SHEETS

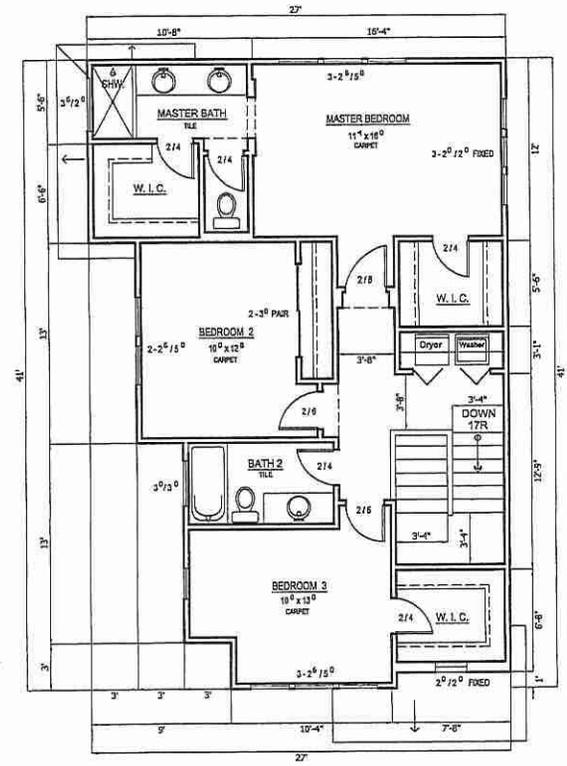
EXHIBIT



FIRST FLOOR
SCALE: 1/8" = 1'-0"
1ST FLOOR: 344 SQ. FT.



SECOND FLOOR
SCALE: 1/8" = 1'-0"
2ND FLOOR: 839 SQ. FT.



THIRD FLOOR
SCALE: 1/8" = 1'-0"
3RD FLOOR: 890 SQ. FT.

PLAN C: UNIT # 10 ONLY

1ST FLOOR:	344 SQ. FT.
2ND FLOOR:	839 SQ. FT.
3RD FLOOR:	890 SQ. FT.
TOTAL:	2,072 SQ. FT.
GARAGE:	506 SQ. FT.
PORCH:	58 SQ. FT.
DECK:	80 SQ. FT.

REVISION	BY
05-30-2018	N.A.

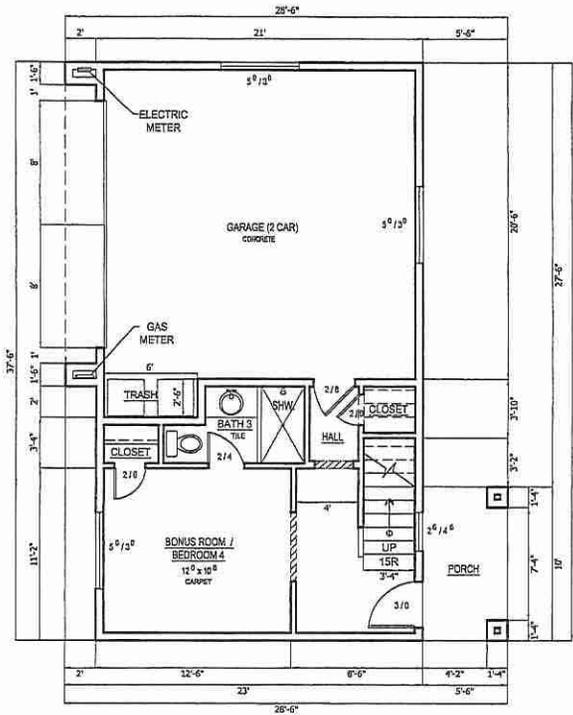
PROJECT
NEWARK CONDOMINIUM
38731 SYCAMORE BLVD., NEWARK, CA

PROJECT
PLAN C
FLOOR PLANS

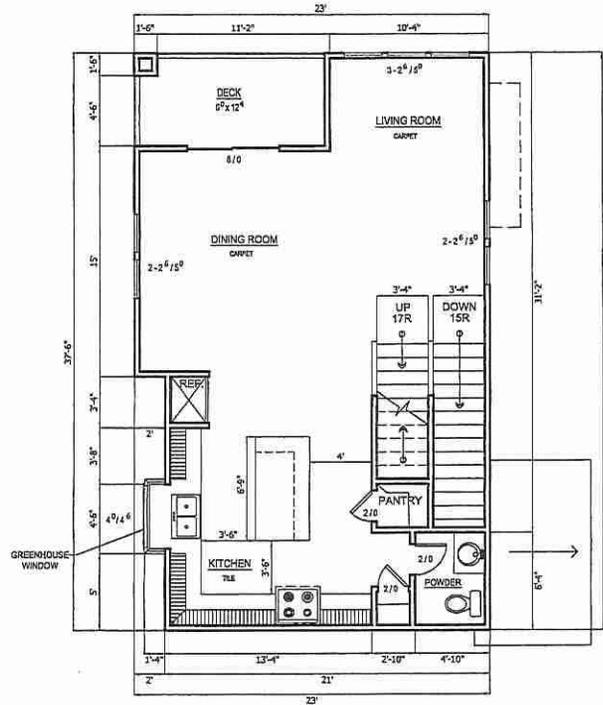
SETON PACIFIC COMPANY
10111 Foothill Blvd., Suite 200, Chino Hills, CA 91709
TEL: 909.403.8888 FAX: 909.403.8889

DATE	05-30-2018
SCALE	1/8" = 1'-0"
DRAWN	
JOB	
SHEET	7
OF	10 SHEETS

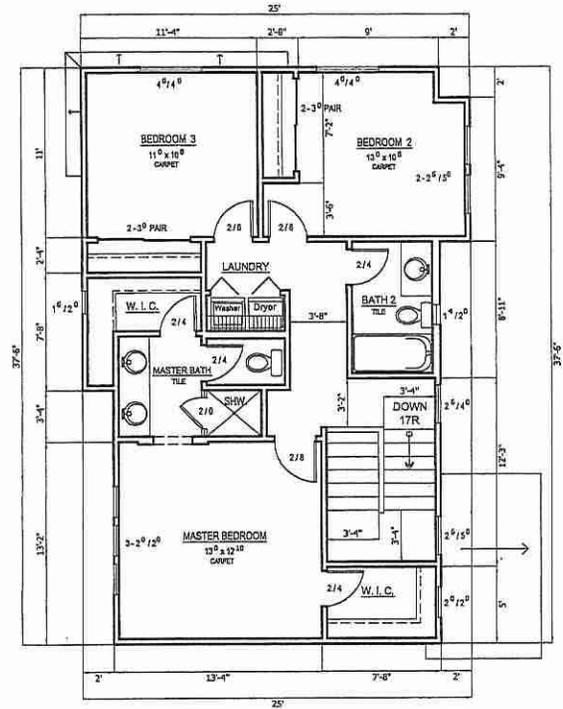
EXHIBIT A16



FIRST FLOOR
SCALE: 1/8" = 1'-0"
1ST FLOOR: 357 SQ. FT.



SECOND FLOOR
SCALE: 1/8" = 1'-0"
2ND FLOOR: 704 SQ. FT.



THIRD FLOOR
SCALE: 1/8" = 1'-0"
3RD FLOOR: 775 SQ. FT.

PLAN D: UNIT # 11 ONLY

1ST FLOOR: 357 SQ. FT.
2ND FLOOR: 704 SQ. FT.
3RD FLOOR: 775 SQ. FT.

TOTAL: 1,836 SQ. FT.

GARAGE: 415 SQ. FT.
PORCH: 55 SQ. FT.
DECK: 74 SQ. FT.

EXHIBIT A-17

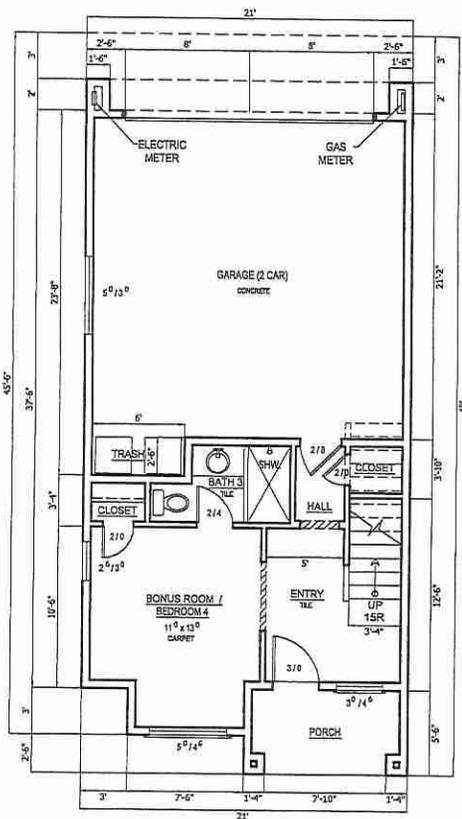
REVISION	BY
06-30-2016	N.A.

NEWARK CONDOMINIUM
38731 SYCAMORE BLVD. NEWARK, CA

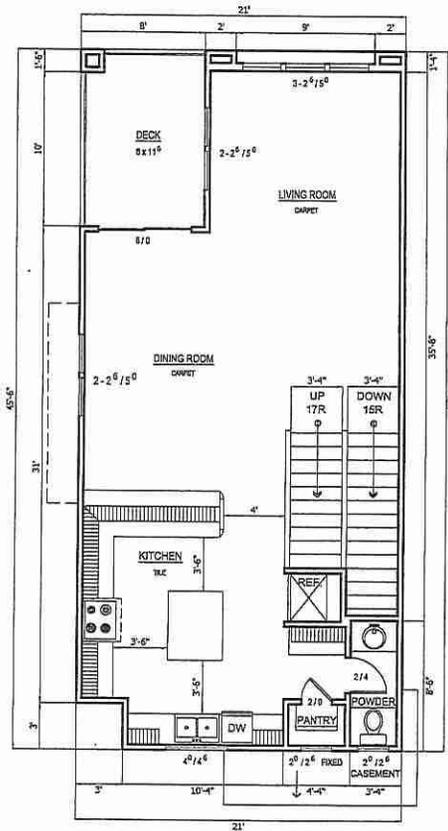
PROJECT
PLAN D
FLOOR PLANS



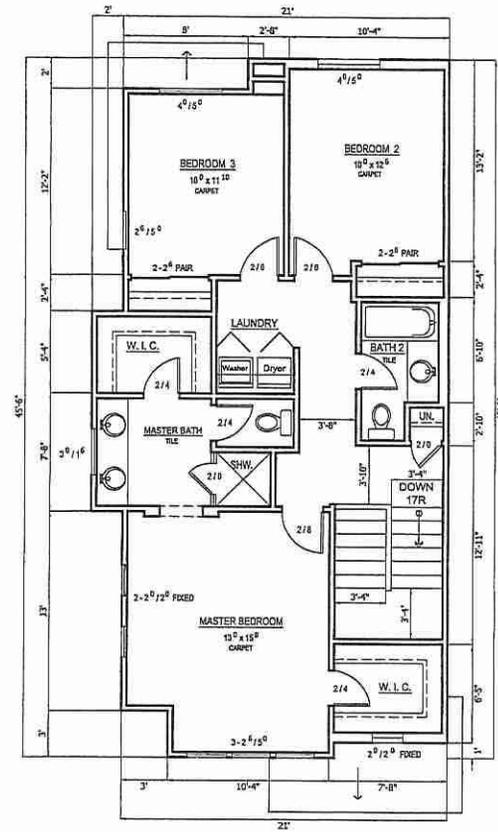
DATE	06-30-2016
SCALE	1/8" = 1'-0"
DRAWN	
JOB	
SHEET	8
	OF 10 SHEETS



FIRST FLOOR
SCALE: 1/8" = 1'-0"
1ST FLOOR: 350 SQ. FT.



SECOND FLOOR
SCALE: 1/8" = 1'-0"
2ND FLOOR: 798 SQ. FT.



THIRD FLOOR
SCALE: 1/8" = 1'-0"
3RD FLOOR: 883 SQ. FT.

PLAN AM: UNIT # 12 ONLY

1ST FLOOR: 350 SQ. FT.
2ND FLOOR: 798 SQ. FT.
3RD FLOOR: 883 SQ. FT.

TOTAL: 2,032 SQ. FT.

GARAGE: 428 SQ. FT.
PORCH: 53 SQ. FT.
DECK: 92 SQ. FT.

REVISION BY
06-30-2016 N.A.

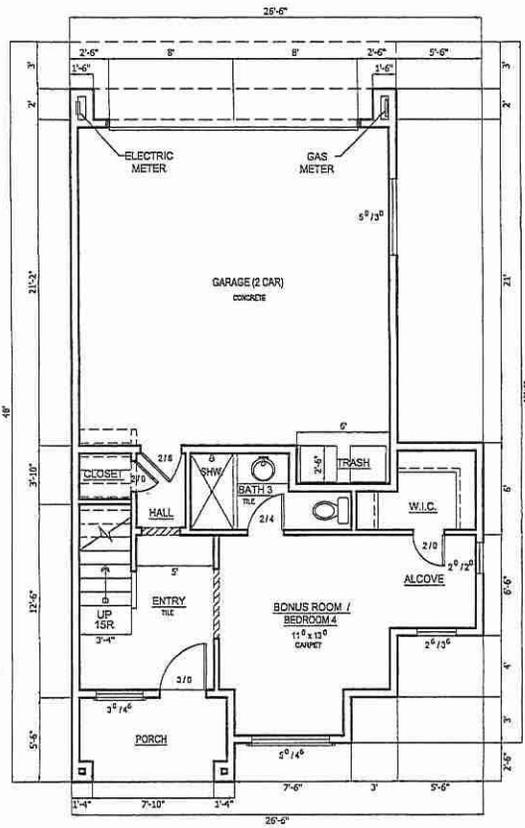
NEWARK CONDOMINIUM
36731 SYCAMORE BLVD. NEWARK, CA

PROJECT
PLAN AM
FLOOR PLANS

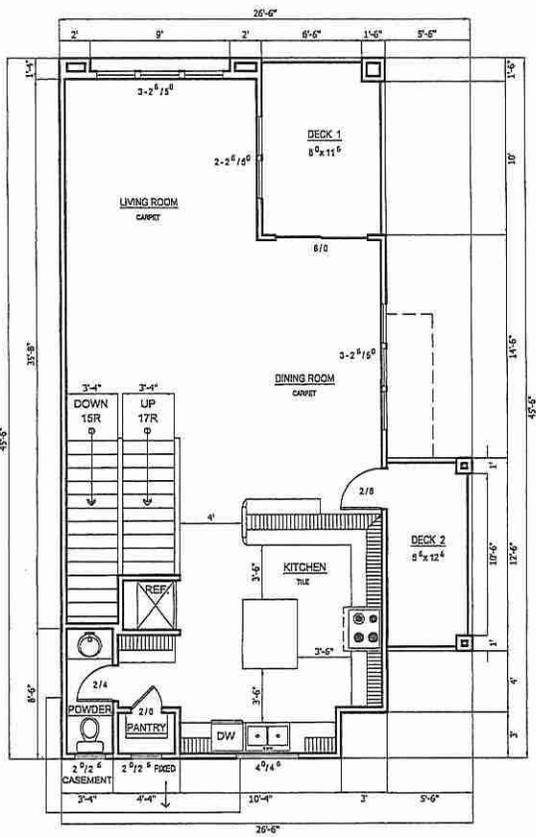
SETON PACIFIC COMPANY
Architectural Firm
10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210

DATE 06-30-2016
SCALE 1/8" = 1'-0"
DRAWN
JOB
SHEET
9
OF 10 SHEETS

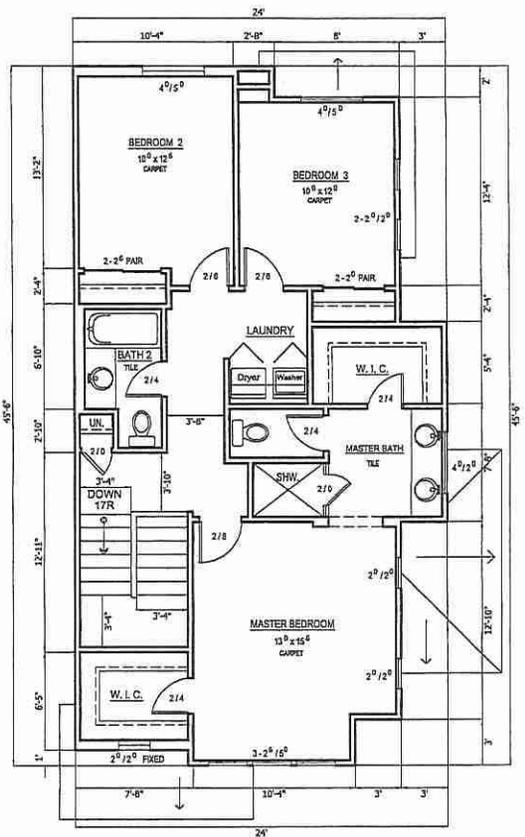
EXHIBIT AP18



FIRST FLOOR
SCALE: 1/8" = 1'-0"
1ST FLOOR: 419 SQ. FT.



SECOND FLOOR
SCALE: 1/8" = 1'-0"
2ND FLOOR: 798 SQ. FT.



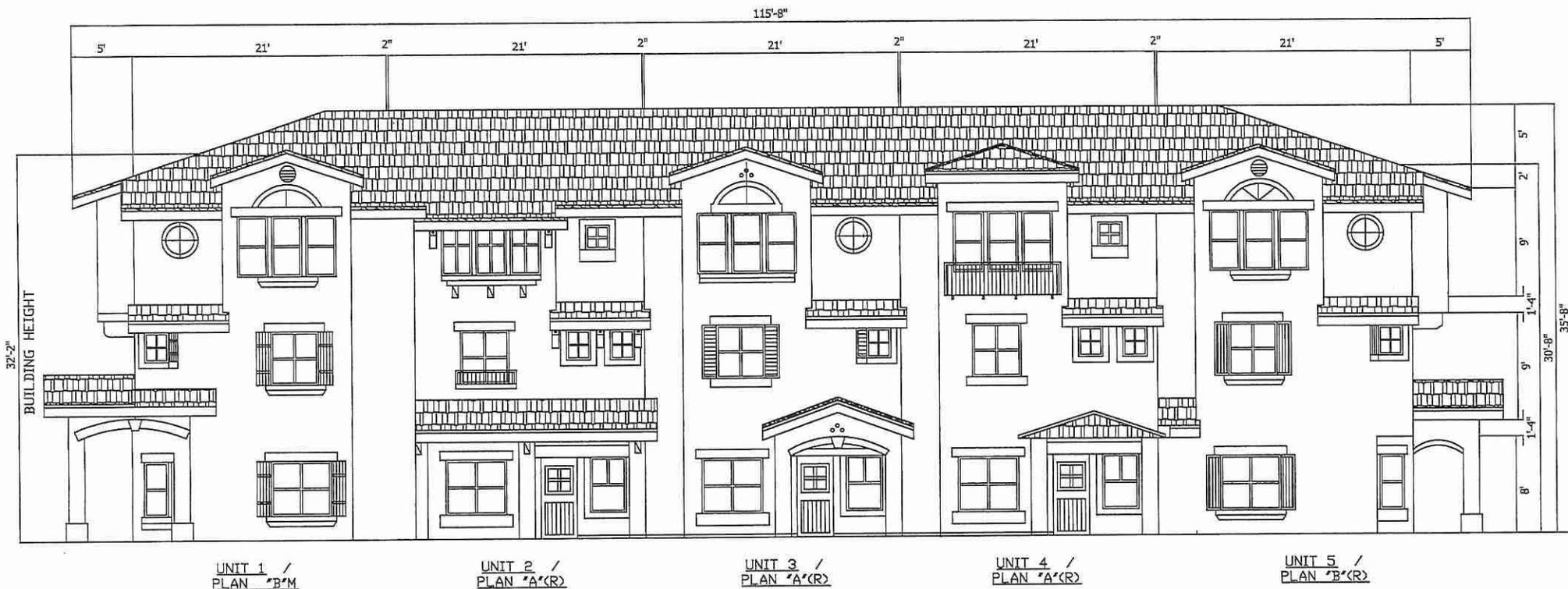
THIRD FLOOR
SCALE: 1/8" = 1'-0"
3RD FLOOR: 897 SQ. FT.

PLAN F: UNIT # 14 ONLY

1ST FLOOR:	419 SQ. FT.
2ND FLOOR:	798 SQ. FT.
3RD FLOOR:	897 SQ. FT.
<hr/>	
TOTAL:	2,114 SQ. FT.
<hr/>	
GARAGE:	428 SQ. FT.
PORCH:	56 SQ. FT.
DECK 1:	92 SQ. FT.
DECK 2:	69 SQ. FT.

EXHIBIT A P19

REVISION	BY
05-30-2016	N.A.
PROJECT	
NEWARK CONDOMINIUM 38731 SYCAMORE BLVD. NEWARK, CA	
PLAN F FLOOR PLANS	
SETON PACIFIC COMPANY THE FLOOR PLAN FOR UNIT #14 ONLY	
DATE	05-30-2016
SCALE	1/8" = 1'-0"
DRAWN	
JOB	
SHEET	10
OF	10 SHEETS



BUILDING # 1 ELEVATION: UNITS 1 - 5

FRONT ELEVATION

SCALE : 1/8" = 1'-0"

EXHIBIT A.20

SHEET 1 OF 12 SHEETS	DATE 07-26-2016	 SETON PACIFIC COMPANY <small>2010 Fortine Drive, San Jose, CA 95131 Tel: (408) 824-8888 Fax: (408) 822-0269/0388</small>	BUILDING 1 ELEVATIONS FRONT VIEW	PROJECT	MERIDA PLACE <hr/> 36731 SYCAMORE BLVD. NEWARK, CA	REVISION	BY
	SCALE 1/8" = 1'-0"					07-26-2016	
	DRAWN						
	JOB						



BUILDING # 1 ELEVATION: UNITS 1 - 5

REAR ELEVATION

SCALE : 1/8" = 1'-0"

EXHIBIT A, R21

SHEET 2 OF 12 SHEETS	DATE	07-26-2016	 SETON PACIFIC COMPANY <small>3091 Fortville Drive, San Jose, CA 95131 Tel: (408) 922-0100, Fax: (408) 922-0100</small>	BUILDING 1 ELEVATIONS REAR VIEW	PROJECT MERIDA PLACE <hr/> 36731 SYCAMORE BLVD. NEWARK, CA	REVISION	BY
	SCALE	1/8" = 1'-0"				07-26-2016	
	DRAWN						
	JOB						



BUILDING # 2 ELEVATION: UNITS 6 - 9
 FRONT ELEVATION
 SCALE : 1/8" = 1'-0"

EXHIBIT A22

SHEET 4 OF 12 SHEETS	DATE 07-26-2016	 SETON PACIFIC COMPANY <small>25800 Porterville Drive, San Jose, CA 95131 Tel: (408) 922-0800 Fax: (408) 922-0700/0808</small>	PROJECT BUILDING 2 ELEVATIONS FRONT VIEW	MERIDA PLACE	REVISION	BY
	SCALE 1/8" = 1'-0"				07-26-2016	
	DRAWN					
	JOB					
36731 SYCAMORE BLVD, NEWARK, CA						



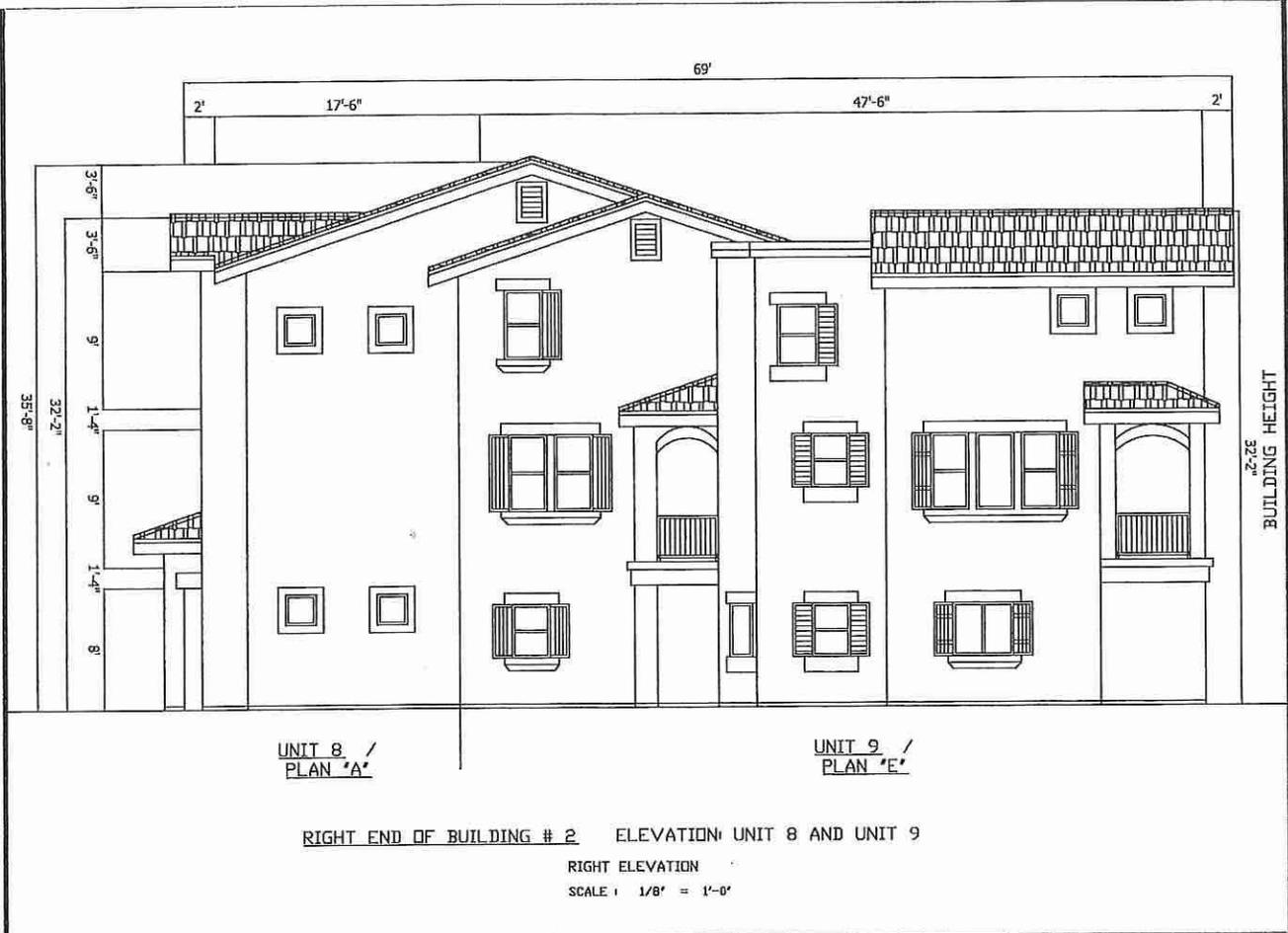
BUILDING # 2 ELEVATION: UNITS 6 - 9

REAR ELEVATION

SCALE : 1/8" = 1'-0"

EXHIBIT A22

SHEET 5 OF 12 SHEETS	DATE 07-26-2016 SCALE 1/8" = 1'-0" DRAWN JCB	 SETON PACIFIC COMPANY <small>20300 Fortuna Drive, San Jose, CA 95131 Tel: (408) 822-6182; Fax: (408) 822-0230/0968</small>	PROJECT BUILDING 2 ELEVATIONS REAR VIEW	PROJECT MERIDA PLACE <hr/> 36731 SYCAMORE BLVD. NEWARK, CA	REVISION 07-26-2016	BY	



SHEET 6 OF 12 SHEETS	DATE: 07-29-2018 SCALE: 1/8" = 1'-0" DRAWN: CHK:	SETON PACIFIC COMPANY <small>ARCHITECTS AND ENGINEERS</small>	BUILDING 2 ELEVATIONS SIDES VIEW	PROJECT:	MERIDA PLACE 38731 SYCAMORE BLVD. NEWARK, CA	REVISION:	BY:
	07-29-2018			07-29-2018			
	07-29-2018			07-29-2018			
	07-29-2018			07-29-2018			

FLYNN ARCHITECTS



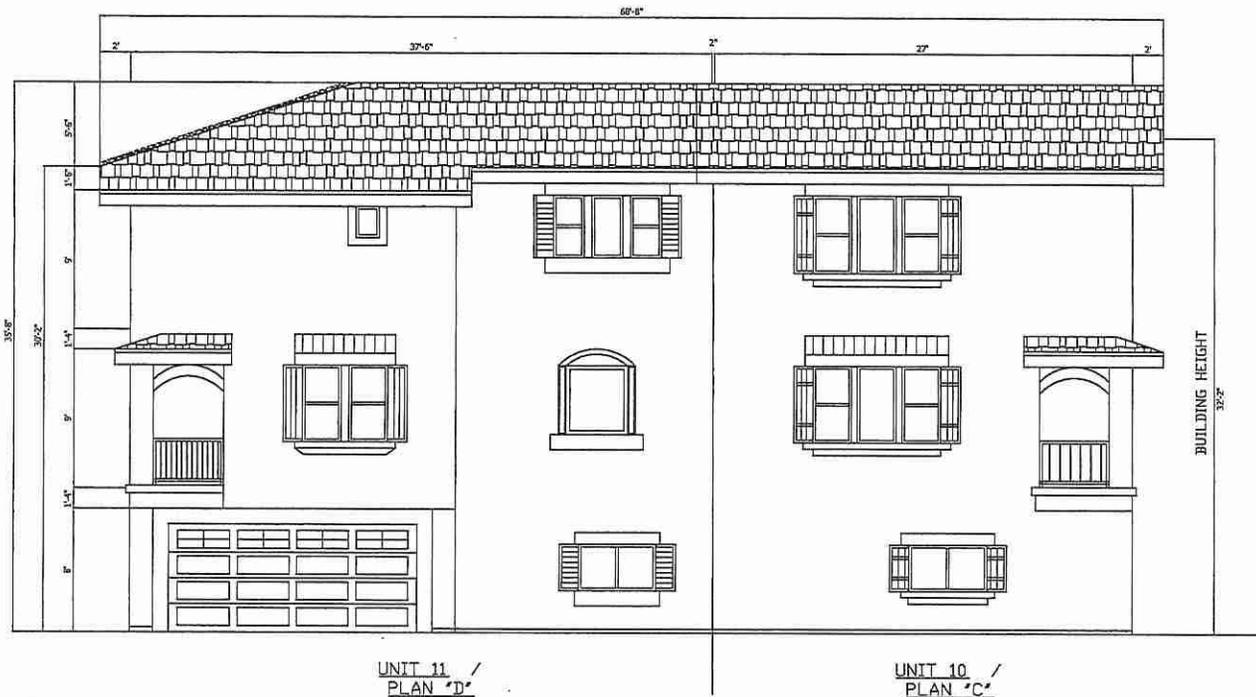
BUILDING # 3 ELEVATION: UNITS 10 - 11

FRONT ELEVATION

SCALE : 1/8" = 1'-0"

EXHIBIT A, P. 26

SHEET 7 OF 12 SHEETS	DATE 07-26-2016	 SETON PACIFIC COMPANY <small>3100 Potomac Dr., San Jose, CA 95131 Tel: (408) 822-8137; Fax: (408) 822-8225/0968</small>	PROJECT BUILDING 3 ELEVATIONS FRONT VIEW	PROJECT MERIDA PLACE <hr/> 38731 SYCAMORE BLVD. NEWARK, CA	REVISION	BY
	SCALE 1/8" = 1'-0"				07-26-2016	
	DRAWN					
	JOB					



BUILDING # 3 ELEVATION: UNITS 10 - 11

REAR ELEVATION

SCALE : 1/8" = 1'-0"

EXHIBIT A.127

SHEET	DATE 07-26-2016
8	SCALE 1/8" = 1'-0"
	DRAWN
	JOB
OF 12 SHEETS	



SETON PACIFIC COMPANY
 3085 Fortune Drive, San Jose, CA 95131
 Tel: (408) 932-6180; Fax: (408) 932-0226

**BUILDING 3
 ELEVATION
 REAR VIEW**

PROJECT

MERIDA PLACE
 36731 SYCAMORE BLVD. NEWARK, CA

REVISION	BY
07-26-2016	

APPROVED
 EXHIBIT A-28



LEFT END OF BUILDING # 3 ELEVATION: UNITS 10 - 11
 LEFT ELEVATION
 SCALE : 1/8" = 1'-0"



RIGHT END OF BUILDING # 3 ELEVATION: UNITS 10 - 11
 RIGHT ELEVATION
 SCALE : 1/8" = 1'-0"

SHEET 9 OF 12 SHEETS	DATE: 07-29-2016 SCALE: 1/8" = 1'-0" DRAWN: JOB:	SETON PACIFIC COMPANY <small>ARCHITECTURAL & ENGINEERING</small>	BUILDING 3 ELEVATIONS SIDES VIEW	PROJECT MERIDA PLACE 38731 SYCAMORE BLVD, NEWARK, CA	REVISION 07-29-2016
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BUILDING # 4 ELEVATION: UNITS 12 - 14
 FRONT ELEVATION
 SCALE : 1/8" = 1'-0"

EXHIBIT A.P29

SHEET 10 OF 12 SHEETS	DATE	07-26-2016	 SETON PACIFIC COMPANY <small>2590 Folsom Drive, San Jose, CA 95131 Tel: (408) 922-8880; Fax: (408) 922-9220/9268</small>	BUILDING 4 ELEVATIONS FRONT VIEW	PROJECT MERIDA PLACE <hr/> 36731 SYCAMORE BLVD. NEWARK, CA	REVISION	BY
	SCALE	1/8" = 1'-0"				07-26-2016	
	DRAWN						
	JOB						



BUILDING # 4 ELEVATION: UNITS 12 - 14

REAR ELEVATION

SCALE : 1/8" = 1'-0"

EXHIBIT A P30

SHEET 11 OF 12 SHEETS	DATE 07-26-2016
	SCALE 1/8" = 1'-0"
	DRAWN
	JOB



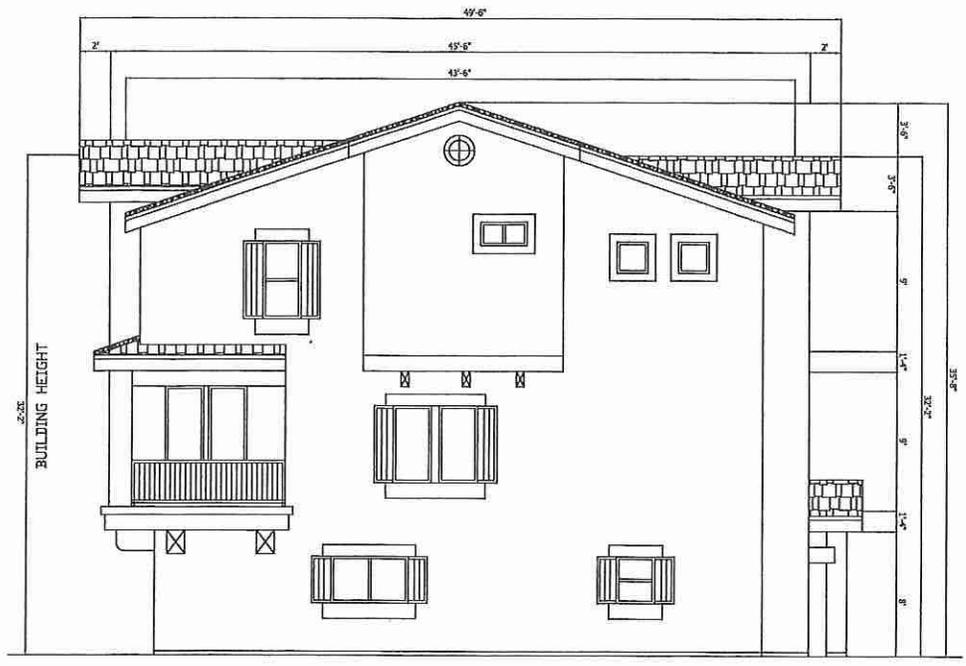
BUILDING 4
ELEVATIONS
REAR VIEW

PROJECT

MERIDA PLACE
36731 SYCAMORE BLVD. NEWARK, CA

REVISION	BY
07-26-2016	

EXHIBIT
 APR 2016



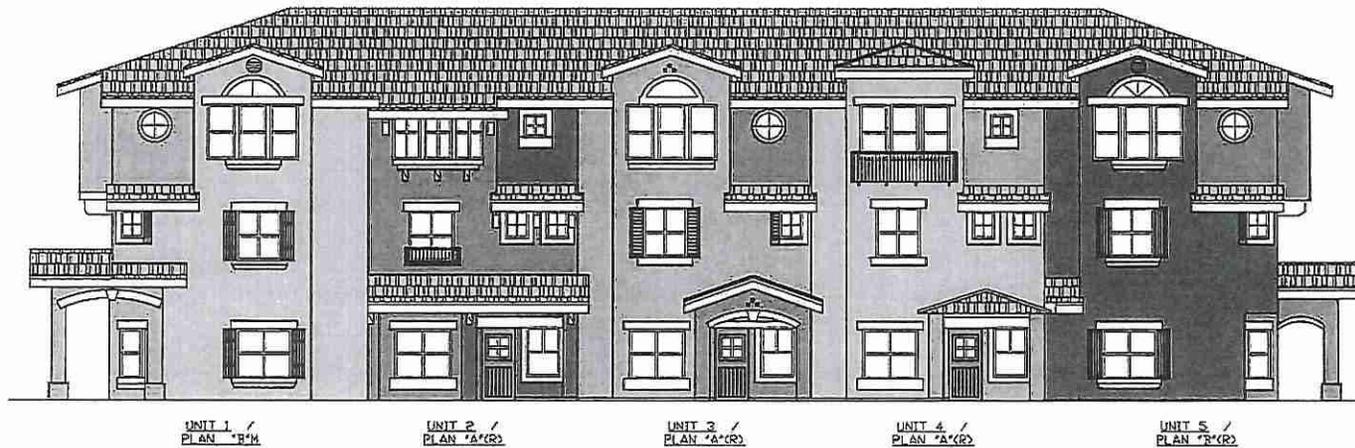
LEFT END OF BUILDING # 4 ELEVATION UNIT 12 / PLAN 'A'
 LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT END OF BUILDING # 4 ELEVATION UNIT 14 / PLAN 'F'
 SYCAMORE STREET
 RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

SHEET 12 OF 12 SHEETS	DATE 07-26-2016	SETON PACIFIC COMPANY <small>1800 CALIFORNIA STREET, SUITE 200 NEWARK, CA 94560-1200</small>	BUILDING 4 ELEVATIONS SIDES VIEW	PROJECT MERIDA PLACE 36731 SYCAMORE BLVD, NEWARK, CA	REVISION 07-26-2016	BY
	SCALE 1/8" = 1'-0"				CHECKED	DATE
	DRAWN				APPROVED	PROJECT NO.

MERIDA PLACE BUILDING 1-PICTURE 1



BUILDING # 1 ELEVATION: UNITS 1 - 5
FRONT ELEVATION

Unit 1/4 Body: KM5714 Dunes Manor; Unit 3 Body/Unit 1/4 Accent: KM5777 Cannery Park;
Unit 2 Body/Unit 3/5 Accent: KM4531 Cantankerous Coyote; Unit 5 Body/Unit 2 Accent: KM4533 Leather Bound;
Fascia/Trim: 23 Swiss Coffee; Roof: KM4529 Brown-Bag-It; Doors: KM4615 Caramel Cupeake; Shutters: KM5035 Princess Kate

Scheme 1

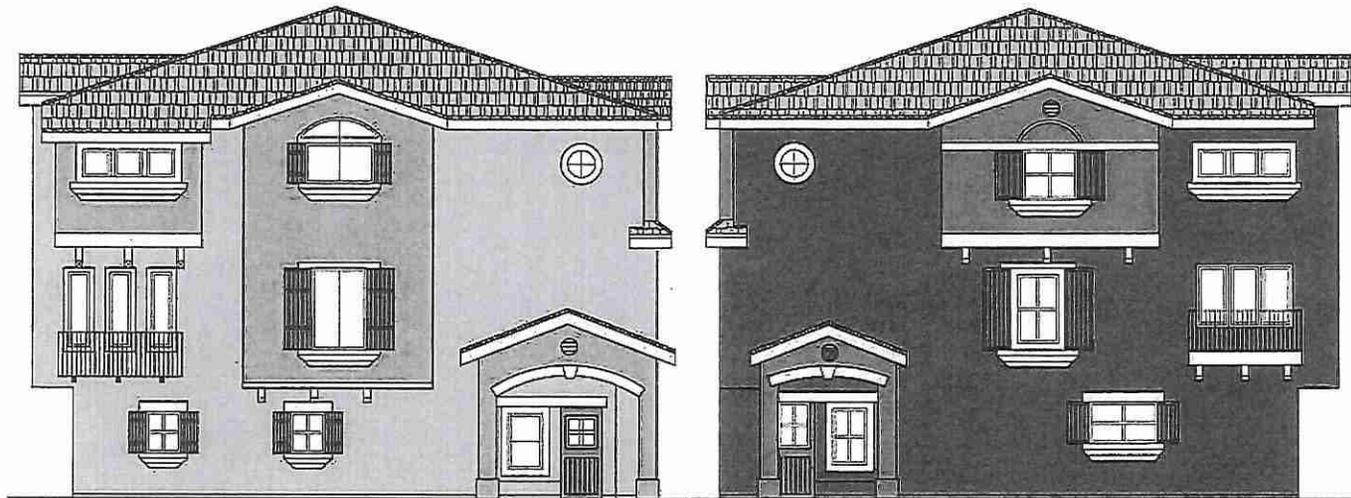


KELLY-MOORE
PAINTS

These color renderings have been matched as closely as possible to the actual color sample; however, lighting conditions can affect the presentation. Please refer to actual color samples. Critical color matches should be applied to the building, allowed to dry, and checked before proceeding with the entire job.

EXHIBIT A22

MERIDA PLACE BUILDING 1-PICTURE 3



LEFT END OF BUILDING # 1
ELEVATION: UNIT 1 / PLAN "B" M
SYCAMORE STREET
LEFT ELEVATION

RIGHT END OF BUILDING # 1
ELEVATION: UNIT 5 / PLAN "B" (R)
SYCAMORE STREET
RIGHT ELEVATION

Unit 1: KM5714 Dunes Manor; Unit 1 Accent: KM5777 Cannery Park;
Unit 5 Body: KM4533 Leather Bound; Unit 5 Accent: KM4531 Cantankerous Coyote;
Fascia/trim: 23 Swiss Coffee; Roof: KM4529 Brown-Bag-It; Doors: KM4615 Caramel Cupcake; Shutters: KM5035 Princess Kate

Scheme 1



KELLY-MOORE
PAINTS

These color renderings have been matched as closely as possible to the actual color sample; however, lighting conditions can affect the presentation. Please refer to actual color samples. Critical color matches should be applied to the building, allowed to dry, and checked before proceeding with the entire job.

EXHIBIT A, P. 33

MERIDA PLACE BUILDING 1-PICTURE 2



BUILDING # 1 ELEVATION: UNITS 1 - 5

Unit 1/4 Body/Lower Body: KM5714 Dunes Manor; Unit 3 Body/Unit 1 Accent: KM5777 Cannery Park;
Unit 2 Body/Unit 5 Accent: KM4531 Cantankerous Coyote; Unit 5 Body/Garage Doors: KM4533 Leather Bound;
Fascia/Trim: 23 Swiss Coffee; Roof: KM4529 Brown-Bag-It; Doors: KM4615 Caramel Cupcake; Shutters: KM5035 Princess Kate

Scheme 1



KELLY-MOORE
PAINTS

These color renderings have been matched as closely as possible to the actual color sample; however, lighting conditions can affect the presentation. Please refer to actual color samples. Critical color matches should be applied to the building, allowed to dry, and checked before proceeding with the entire job.

EXHIBIT A.134

MERIDA PLACE

BUILDING 2-PICTURE 1



BUILDING # 2 ELEVATION: UNITS 6 - 9
FRONT ELEVATION

Unit 6 Body/Unit 8 Accent: KM5714 Dunes Manor; Unit 8 Body/Unit 6 Accent: KM5777 Cannery Park;
Unit 7 Body/Unit 9 Accent: KM4531 Cantankerous Coyote; Unit 9 Body/Unit 7 Accent: KM4533 Leather Bound;
Fascia/Trim: 23 Swiss Coffee; Roof: KM4529 Brown-Bag-It; Doors: KM4615 Caramel Cupcake; Shutters: KM5035 Princess Kate

Scheme 1



KELLY-MOORE
PAINTS

These color renderings have been matched as closely as possible to the actual color sample; however, lighting conditions can affect the presentation. Please refer to actual color samples. Critical color

EXHIBIT A.3

MERIDA PLACE BUILDING 2-PICTURE 2



BUILDING # 2 ELEVATION: UNITS 6 - 9

REAR ELEVATION

Unit 6 Body/Lower Body/Unit 8 Accent: KM5714 Dunes Manor; Unit 8 Body/Unit 6 Accent: KM5777 Cannery Park;
Unit 7 Body/Unit 9 Accent: KM4531 Cantankerous Coyote; Unit 9 Body/Garage Doors/Unit 7 Accent: KM4533 Leather Bound;
Fascia/Trim: 23 Swiss Coffee; Roof: KM4529 Brown-Bag-It; Doors: KM4615 Caramel Cupcake; Shutters: KM5035 Princess Kate

Scheme 1

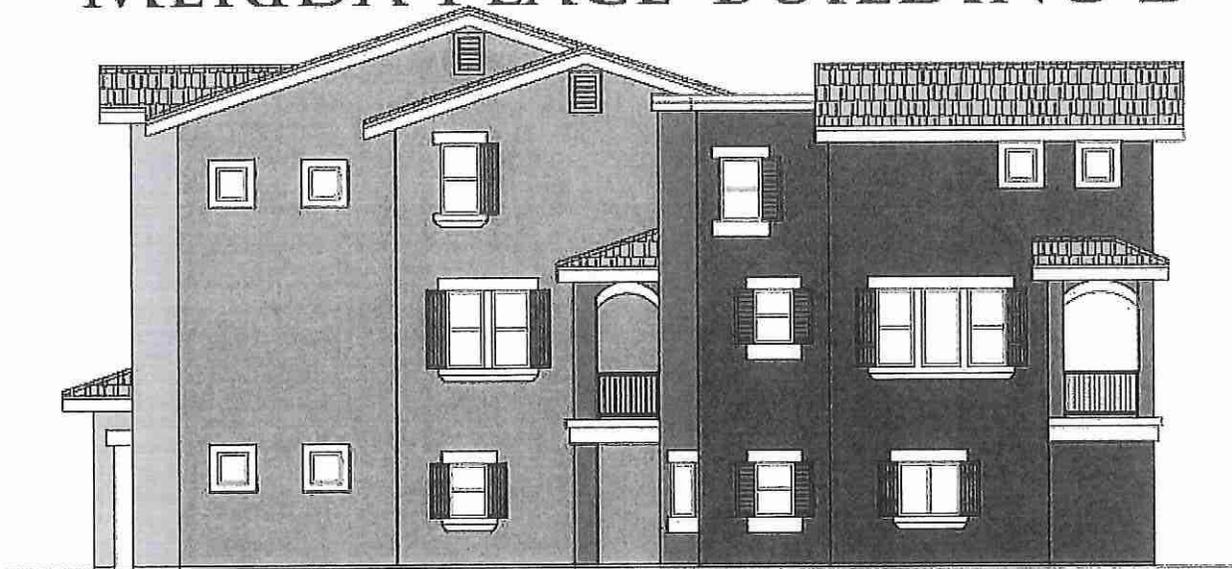


KELLY-MOORE
PAINTS

These color renderings have been matched as closely as possible to the actual color sample; however, lighting conditions can affect the presentation. Please refer to actual color samples. Critical color matches should be verified on the building, allowed to dry, and checked before proceeding with the entire job.

EXHIBIT *AP2*

MERIDA PLACE-BUILDING 2



UNIT 8 / PLAN "A" RIGHT ELEVATION UNIT 9 / PLAN "E"
RIGHT END OF BUILDING # 2
 ELEVATION: UNIT 8 AND UNIT 9



UNIT 9 / PLAN "E" LEFT ELEVATION UNIT 6 / PLAN "B"
LEFT END OF BUILDING # 2
 ELEVATION: UNIT 6 AND UNIT 9

Picture 3-Scheme 1

Unit 6 Body/Unit 8 Accent: KM5714 Dunes Manor; Unit 8 Body/Unit 6 Accent: KM5777 Cannery Park;
 Unit 9 Accent: KM4531 Cantankerous Coyote;
 Unit 9 Body/Garage Doors/Unit 7 Accent: KM4533 Leather Bound;
 Fascia/Trim: 23 Swiss Coffee; Roof: KM4529 Brown-Bag-It;
 Doors: KM4615 Caramel Cupcake; Shutters: KM5035 Princess Kate



KELLY-MOORE
 PAINTS

EXHIBIT A



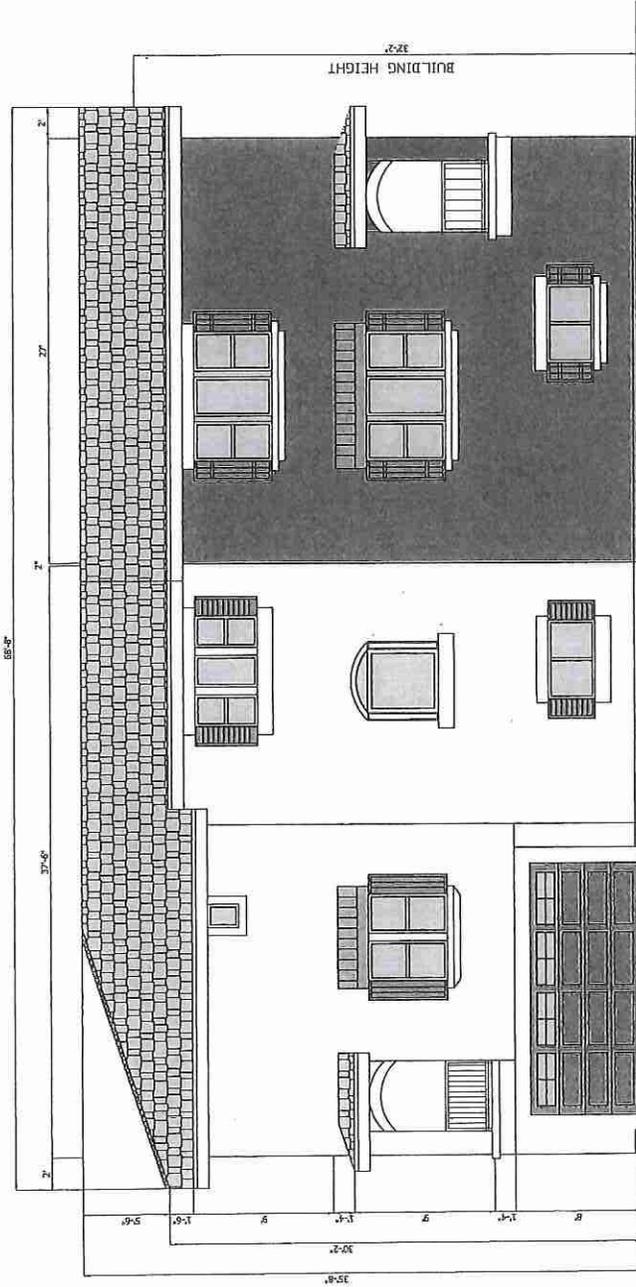
UNIT 11 /
PLAN 'D'

UNIT 10 /
PLAN 'C'

BUILDING # 3 ELEVATION: UNITS 10 - 11

FRONT ELEVATION

SCALE : 1/8" = 1'-0"



UNIT 10 /
PLAN - C

UNIT 11 /
PLAN - D

BUILDING # 3 ELEVATION: UNITS 10 - 11

REAR ELEVATION

SCALE : 1/8" = 1'-0"



UNIT 10 / PLAN "C"

UNIT 11 /
PLAN "D"

LEFT END OF BUILDING # 3 ELEVATION: UNITS 10 - 11

LEFT ELEVATION
SCALE : 1/8" = 1'-0"



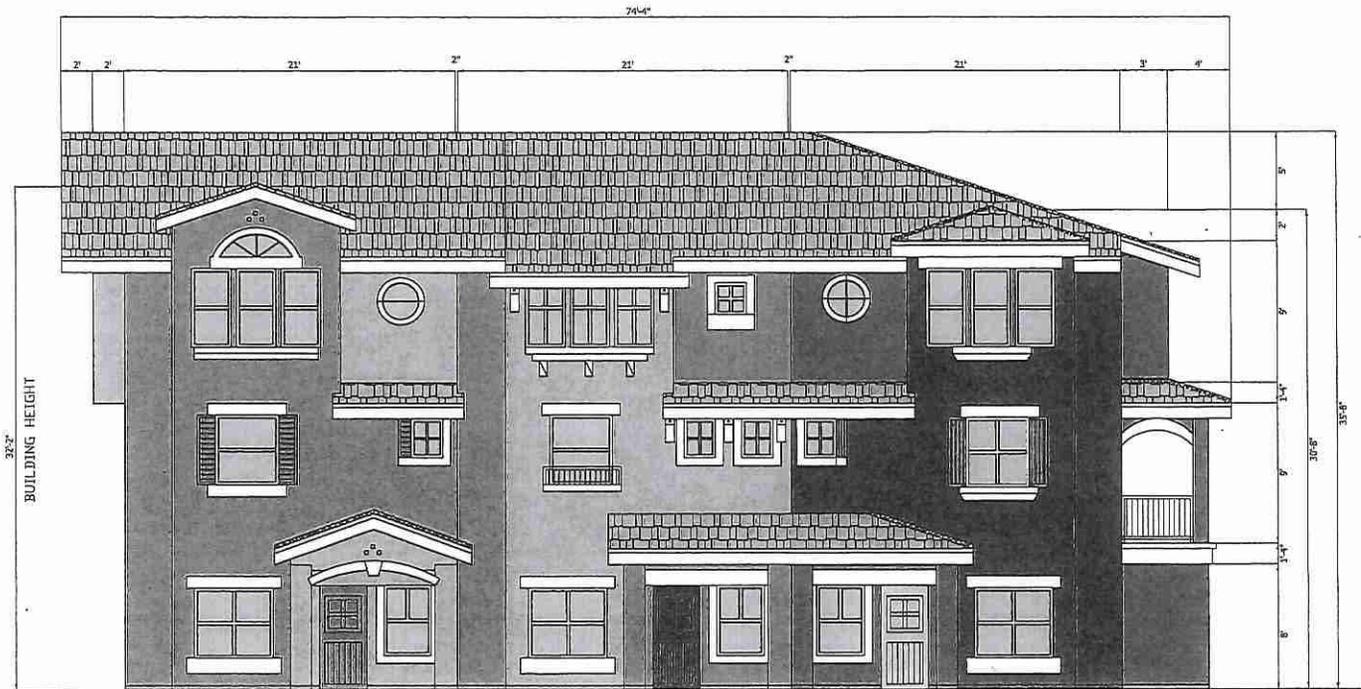
UNIT 11 /
PLAN "D"

UNIT 10 /
PLAN "C"

RIGHT END OF BUILDING # 3 ELEVATION: UNITS 10 - 11

RIGHT ELEVATION
SCALE : 1/8" = 1'-0"

EXHIBIT A-14



UNIT 12 /
PLAN "A" M

UNIT 13 /
PLAN "A" (R)

UNIT 14 /
PLAN "F"

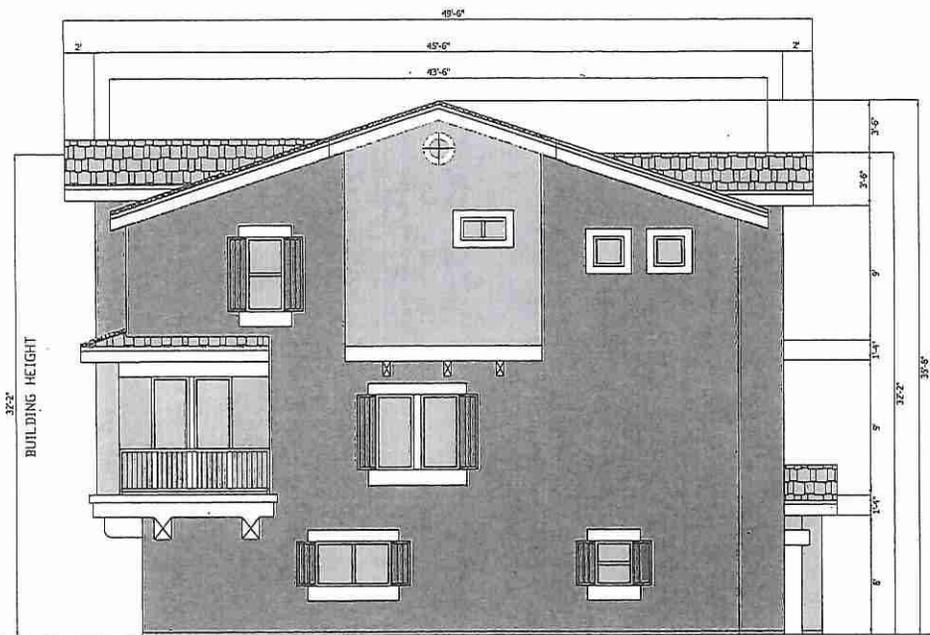
BUILDING # 4 ELEVATION: UNITS 12 - 14

FRONT ELEVATION

SCALE : 1/8" = 1'-0"

EXHIBIT A-14

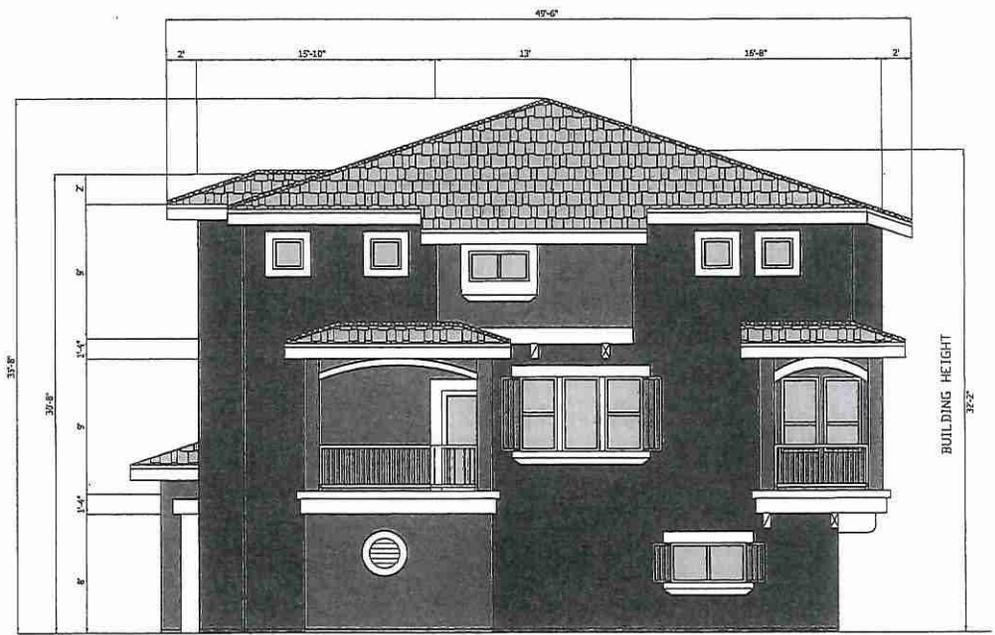




LEFT END OF BUILDING # 4 ELEVATION: UNIT 12 / PLAN "A" M

LEFT ELEVATION

SCALE : 1/8" = 1'-0"



RIGHT END OF BUILDING # 4 ELEVATION: UNIT 14 / PLAN "F"

SYCAMORE STREET

RIGHT ELEVATION

SCALE : 1/8" = 1'-0"

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK APPROVING TENTATIVE TRACT MAP 8340 AND
SUBDIVISION AND ZONING VARIANCES THERETO

WHEREAS, Mr. Joe Wu has submitted TTM-16-10, Tentative Tract Map 8340, to the City Council of the City of Newark with subdivision and zoning variances covered by P-16-11, a planned unit development, and U-16-12, a conditional use permit, for a 14-unit condominium project (Merida Place) at 36731 Sycamore Street (APN: 92-21-15-3);

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark does hereby approve TTM-16-10, Tentative Tract Map 8340 with said subdivision and zoning variances covered by P-16-11 and U-16-12, as shown on Exhibit A, pages 1 through 9 and made a part hereof by reference, subject to the following conditions:

- a. All applicable conditions listed in City Council Resolution No. XXXX, dated September 8, 2016, approving P-16-11 and U-16-12.
- b. The property owner shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the property owner's responsibility.
- c. That if any condition of this vesting tentative map be declared invalid or unenforceable by a court of competent jurisdiction, this vesting tentative map shall terminate and be of no force and effect, at the election of the City Council on motion.

TENTATIVE TRACT MAP 8340 NEWARK CONDOMINIUMS, CALIFORNIA

SUBDIVISION OF PORTIONS OF LOTS 1, 16, 17, 18 AND 19, BLOCK 242,
AND PORTION OF GEORGE AVENUE (80 FEET WIDE), MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878,
MAP BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS, CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA
(APN 092-0021-015-03)

SEAL



ACKLAND INTERNATIONAL, INC.
REGISTERED PROFESSIONAL ENGINEER
No. 2277
Exp. 10-10-19
CIVIL ENGINEERING
STATE OF CALIFORNIA

ai

ACKLAND INTERNATIONAL, INC.
10000 S. DE SOTO AVE., SUITE 204
DUBLIN, CA 94568
PHONE: (916) 833-1331
FAX: (916) 833-1331

LEGEND

- EXISTING WOOD FENCE TO BE REMOVED
- MONUMENT LINE
- STREET RIGHT OF WAY/PROPERTY LINE
- LIMITS OF E.V.A.C. P.U.E. & P.V.A.C.
- LANDSCAPE & FIRE EASEMENT LINE
- PROPOSED STREET ACCENTRATION
- STORMWATER BOUNDARY
- FENCE/PROPERTY LINE
- SUGGESTION BOUNDARY
- STREET CENTER LINE
- EXISTING WOOD FENCE
- EXISTING CYCLONE FENCE
- ASSESSOR'S LOT NO.
- MAILBOX
- FIRE HYDRANT
- JOINT POLE
- SCOUR MANHOLE
- FOUND CITY MONUMENT
- CATCH BASIN
- SUBDIV. LOT NO.
- SIGN
- FIRE TRUCK ACCESS OUTLINE
- EXCEPTION TO COVENANT AREA
- COMMON AREA WITH OPEN SPACE
- EASEMENT AND PRIVATE UTILITY EASEMENT
- MAIL BOXES
- COBBLER AREA
- ACCESSIBLE PATH

ABBREVIATIONS

- PL PROPERTY LINE
- PC PROPERTY CORNER
- LN LINE
- LNH MONUMENT
- EXT EXTENSION
- FOU FOUND
- TC TOP OF CURB
- FLM FLOW LINE
- SS SANITARY SEWER
- SD STORM DRAIN
- HW MANHOLE
- RD RECORD DATA
- MS MEASURED DATA
- RL RAWWATER LEADER
- CB CATCH BASIN
- FG FINISH GRADE
- IRI INVERT
- TP TOP OF PAVEMENT
- FF FINISH FLOOR
- SD STORM DRAIN
- TSW TOP OF SECOND WALL
- E.V.A.C. EMERGENCY VEHICLE ACCESS EASEMENT
- P.V.A.C. PRIVATE VEHICLE ACCESS EASEMENT
- HP HIGH POINT
- R/W RIGHT OF WAY
- RA/AREA STORMWATER MANAGEMENT ASSOCIATION
- NO NEW
- CO EXISTING
- SAH SANITARY



PROJECT LOCATION

VICINITY MAP

TENTATIVE TRACT MAP INFORMATION

1. ALGORE PROPERTY OWNER: 5642 LLC
2274 TRADE TONE BOULEVARD
SAN JOSE, CA 95131
203-640-2733
2. APPLICANT/SUBDIVIDER: SETON PACIFIC COMPANY
2570 TRADE TONE BOULEVARD
SAN JOSE, CA 95131
203-640-2733
3. ENGINEER: ACKLAND INTERNATIONAL, INC.
333 HENDERSON BLVD
SUITE 300
DUBLIN, CALIFORNIA 94568
510-633-1787
4. A.P.U.L.: 092-0021-015-03
5. AREA OF PROPERTY: 30,122 SQ. FT. APPROX.
6. PROPOSED NO. OF UNITS: 14 CONDOMINIUM UNITS
7. EXISTING UTILITIES:
 - WATER: ALAMEDA COUNTY WATER DISTRICT (ACWD)
 - GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC (PG&E)
 - SEWER: SUTTER COUNTY WATER DISTRICT (SCWD)
 - STORM DRAIN: CITY OF NEWARK AND ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT (ALCFWC)
 - ALAMEDA COUNTY FIRE DISTRICT (ACFD)
 - FIRE: ALBERT
 - TELEPHONE: ALBERT
 - CABLE TV: EDGECAST
8. TOPOGRAPHY SURVEY: BASED ON GROUND SURVEY CONDUCTED BY ACKLAND INTERNATIONAL, INC. DATED JUNE 16, 2014.
9. BENCHMARK: PROJECT BENCHMARK = 11.45', CITY OF NEWARK DATUM. TOP OF GRADE OF CURB SILEY ON NORTHEASTERN SIDE OF STEAMBORE STREET, FOR STREET IMPROVEMENT PLANS FOR STEAMBORE STREET.
10. BASIS OF BEARINGS: TERMS CITY OF NEWARK ADJUSTMENTS ALONG STEAMBORE STREET AT ITS INTERSECTION WITH BENTLEY CIRCLE. MONUMENT USE AS STATION TAKEN AS 10056275.9 PER TRACT MAP 1217 (BOOK 11, PAGE 86), ALAMEDA COUNTY RECORDS.
11. EXISTING LAND USE: VACANT.
12. PROPOSED LAND USE: RESIDENTIAL.
13. EXISTING ZONING: R-2500 MEDIUM DENSITY RESIDENTIAL
14. ROAD ACCESS: 25' WIDE PRIVATE ACCESS DRIVEWAY PER CITY OF NEWARK REQUIREMENTS.
15. STORM DRAIN AND SANITARY SEWER: ALL STORM DRAIN AND SANITARY SEWER PIPES SHALL CONFORM TO JURISDICTION AND/OR SPECIFIC REQUIREMENTS PER CITY OF NEWARK AND SUTTER COUNTY WATER DISTRICT, AS APPLICABLE.
16. GROUP OPEN SPACE: 8,442 SQ. FT. APPROX.
17. FLOOD ZONE DESIGNATION: PROPERTY LIES WITHIN AREA OF 0.2% ANNUAL CHANCE FLOOD (ZONE X) PER FEDERAL FLOOD INSURANCE RATE MAP (FIRM) 1718C, PAGE 441 OF 725, DATED 06/02/08, OF 0.2% ANNUAL CHANCE FLOOD (ZONE X).
18. UNDERGROUND UTILITY IMPROVEMENTS: APPLICANT/SUBDIVIDER SHALL REQUEST PACIFIC GAS & ELECTRIC CO. TO CONDUCE WITH THE DESIGN OF THE UNDERGROUND UTILITY IMPROVEMENTS FOR THE PROPOSED DEVELOPMENT IMMEDIATELY FOLLOWING THE APPROVAL OF THE TENTATIVE MAP.

REFERENCE DOCUMENTS

- 1) TRACT 1217 FILED AUGUST 19, 1933 IN BOOK 33 PAGE 50, ALAMEDA COUNTY RECORDS
- 2) MAP OF THE TOWN OF NEWARK, FILED MAY 6, 1878 IN BOOK 17, PAGE 10, ALAMEDA COUNTY RECORDS

1. COVER SHEET
2. PARCELIZATION PLAN
3. SITE PLAN-FIRE ACCESS PLAN
4. GRADING AND DRAINAGE PLAN
5. UTILITY PLAN
6. STORMWATER TREATMENT PLAN
7. MISCELLANEOUS DETAILS
8. LANDSCAPE PLANS (L1 AND L2)

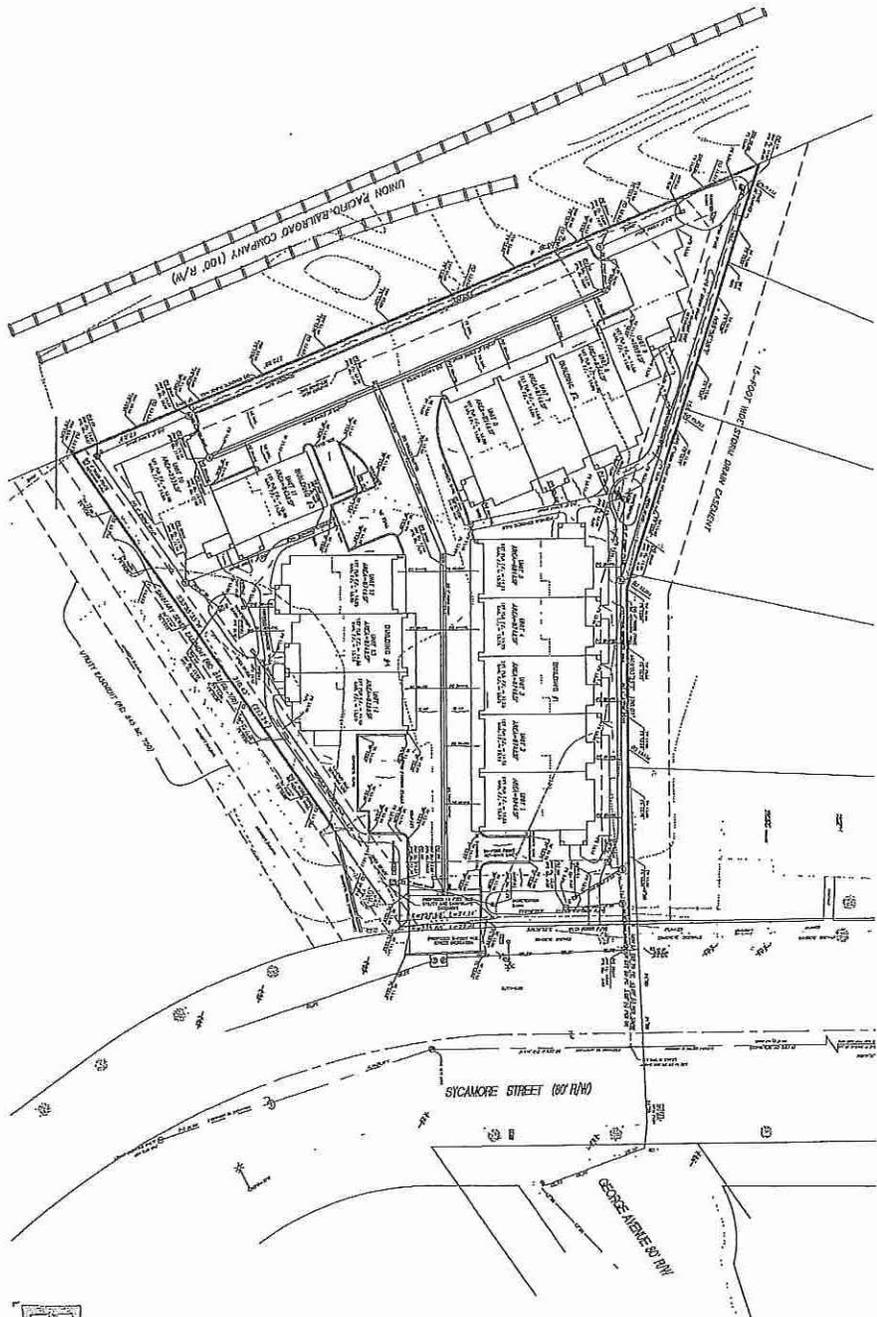
UTILITIES

THE SURFACE UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE OR TYPE. NECESSARY UTILITY INFORMATION SHOULD BE OBTAINED BY EXPOSING THE UTILITY.

PROJECT NO.	DATE	BY
NEWARK CONDOMINIUMS	07/01/18	BS
36731 SYCAMORE STREET	PERMITS APPLICATION	BS
NEWARK, CA 94560	DESCRIPTION	BS
CLUBBING NAME & ADDRESS:	NOI DATE	BS
SETON PACIFIC COMPANY	REVISION	BS

SHEET TITLE	COVER SHEET LEGEND AND ABBREVIATIONS
PROJECT NO.	S14116
DRAWN BY:	DS
CHECKED BY:	BS
SCALE:	AS SHOWN
DATE:	07/01/2018
SHEET NO.	1
	OF 9 SHEETS

EXHIBIT A, P1



GRADING AND DRAINAGE PLAN
SCALE: 1" = 20'-0"

EXHIBIT A-D4



PROJECT NAME: MERIDA CONDOMINIUMS 36731 SYCAMORE STREET NEWARK, CA 94560		CLIENT NAME & ADDRESS:  SEITON PACIFIC COMPANY 2017 Park Road, San Jose, CA 95131 TEL: 415.941.1000, FAX: 415.941.1001	
NO.	DATE	DESCRIPTION	BY
0	07/01/16	PLANNING APPLICATION	DS
1			
2			
3			
4			

 **ACKLAND**
INTERNATIONAL, INC.
333 Hegetsberger Road, Suite 304
Oakland, CA 94621
510.633.1797 (tel)
510.633.2431 (fax)



SCALE

PROJECT NO. S1415
DRAWN BY: DS
CHECKED BY: ES
SCALE: AS SHOWN
DATE: 07/01/2016
SHEET NO. 4
OF 2 SHEETS



ACKLAND INTERNATIONAL, INC.
 3133 Hollister Road, Suite 204
 Oakland, CA 94621
 510.833.2782 (PH)
 510.833.4331 (FX)

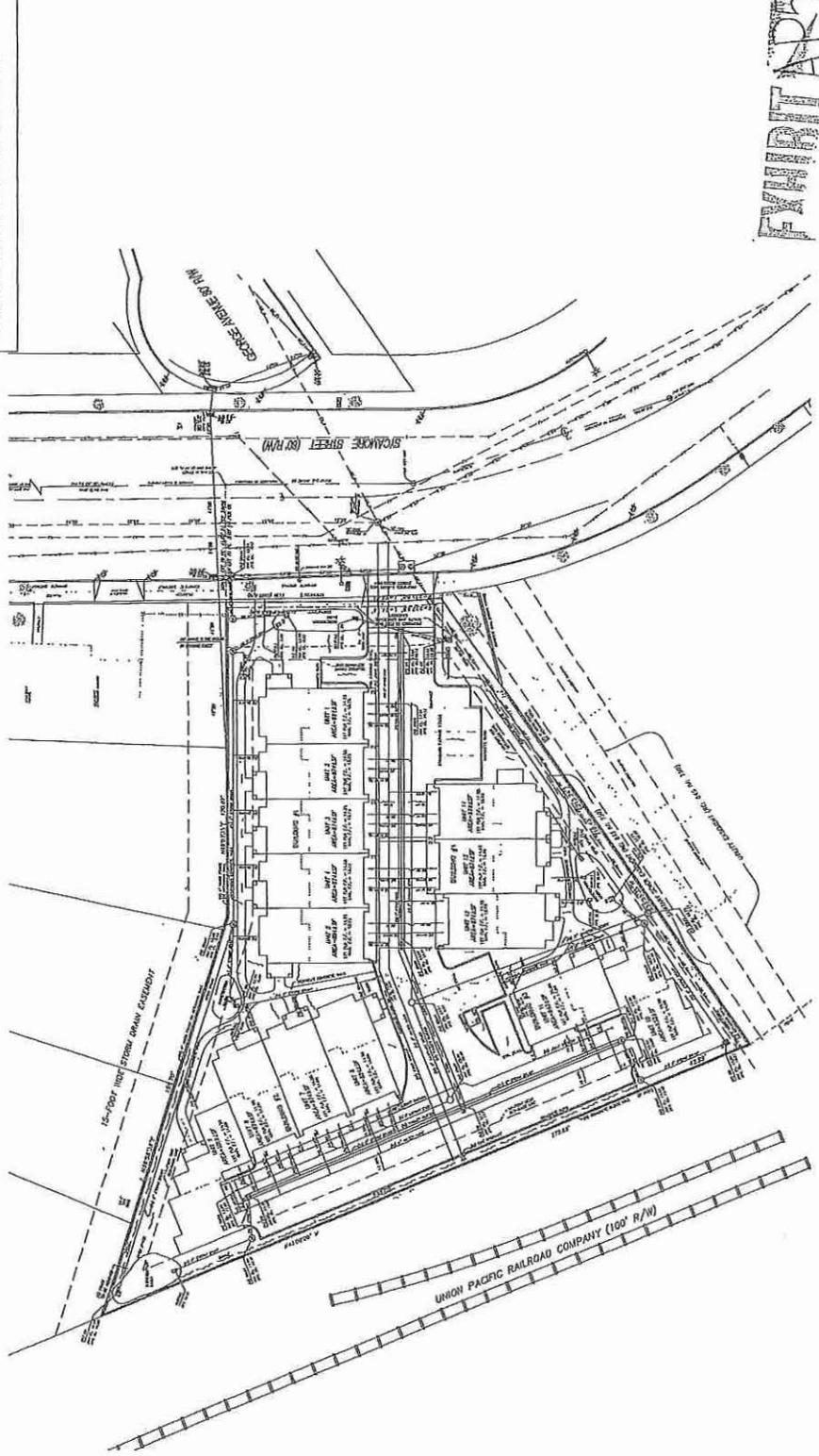
SEION PACIFIC COMPANY
 CLIENT NAME & ADDRESS:
 3671 SYCAMORE STREET
 NEWARK, CA 94560

NO.	DATE	DESCRIPTION
0	07/01/16	PLANNING APPLICATION
1		
2		
3		
4		
5		

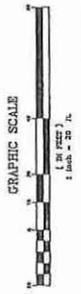
UTILITY PLAN

PROJECT NO. SH4116
 DRAWN BY: DS
 CHECKED BY: ES
 SCALE: AS SHOWN
 DATE: 07/01/2016
 SHEET NO. 5
 OF 6 SHEETS

1. THE WORK OF THESE PLANS SHALL BE SUPERVISED BY THE LICENSED COUNTY WATER SURVEY ENGINEER.
2. THE WORK OF ANY OTHER ENGINEER SHALL BE SUPERVISED BY AN ENGINEER AS AND IT SHALL BE PROVIDED BY THE USER OF THESE PLANS.
3. THESE PLANS ARE PREPARED FOR THE USER TO BE USED TO OBTAIN THE NECESSARY PERMITS AND TO CONDUCT THE WORK TO BE SHOWN ON THESE PLANS.
4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE WORK TO BE SHOWN ON THESE PLANS.
5. A PORTION OF 1 FOOT OF THESE PLANS SHALL BE PROVIDED UNDER THESE PLANS.

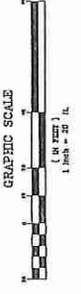


UTILITY PLAN
 SCALE: 1" = 20'-0"

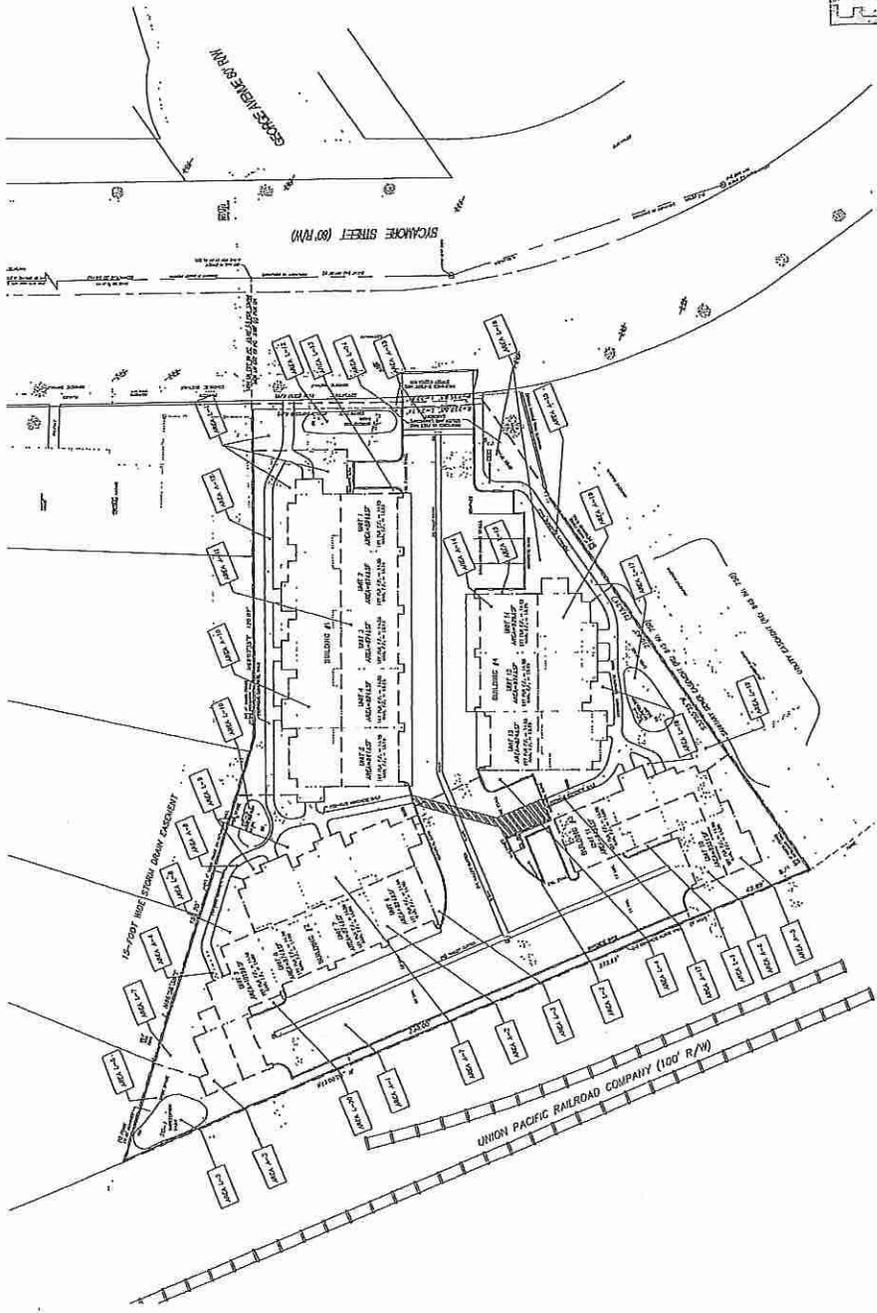


STORMWATER TREATMENT PLAN

EXHIBIT A



STORMWATER TREATMENT PLAN
SCALE: 1" = 20'-0"



NO.	DATE	DESCRIPTION
0	07/01/16	PLANNING APPLICATION

PROJECT NAME:
 MERIDA CONDOMINIUMS
 36731 SYCAMORE STREET
 NEWARK, CA 94560
 CLIENT NAME & ADDRESS:
 SETON PACIFIC COMPANY
 1115 Market Street, Suite 501
 San Francisco, CA 94102



ACKLAND
 INTERNATIONAL, INC.
 222 Montgomery Road, Suite 204
 Oakland, CA 94612
 510.331.1797 (tel)
 510.331.4511 (fax)



SCALE

RESOLUTION NO. 1937

RESOLUTION APPROVING A PLANNED UNIT DEVELOPMENT (P-16-11) AND A CONDITIONAL USE PERMIT (U-16-12) FOR A 14-UNIT CONDOMINIUM PROJECT (MERIDA PLACE) AT 36731 SYCAMORE STREET (APN: 92-21-15-3)

WHEREAS, Mr. Joe Wu, has filed with the Planning Commission of the City of Newark an application for a planned unit development (P-16-11), a conditional use permit (U-16-12), and a Tentative Tract Map (TTM-16-10), for a 14-unit condominium project at 36731 Sycamore Street.

PURSUANT to Municipal Code Section 17.72.060, a public hearing notice was published in The Tri-City Voice on July 26, 2016, and mailed as required, and the Planning Commission held a public hearing on said application at 7:30 p.m. on August 9, 2016 at the City Administration Building, 37101 Newark Boulevard, Newark, California.

WHEREAS, a pursuant to chapter 1740 (Planned Unit Developments), Section 17.40.050 (Permit Procedure) and Chapter 17.72 (Use Permits), Section 17.72.070 (Action by Planning Commission), the Planning Commission hereby makes the following findings:

1. That the proposed location of the planned unit development is in accord with the objectives of the zoning title and the purposes of the district in which the site is located;
2. That the proposed location of the planned unit development and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity;
3. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-street parking and off-street loading facilities and landscaped areas will produce an environment of stable and desirable character consistent with the objectives of the zoning title;
4. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-street parking and off-street loading facilities will be such that the development will not generate more traffic than the streets in the vicinity can carry without congestion and will not overload utilities;

5. That the combination of different dwelling types and/or the variety of land uses in the development will complement each other and will harmonize with existing and proposed land uses in the vicinity;
6. That the proposed location of the conditional use is in accord with the purposes of the zoning title and the purposes of the district in which the site is located;
7. That the proposed location of the conditional use and the conditions under which it is would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity; and
8. That the proposed conditional use will comply with each of the applicable provisions of Chapter 17.22 (Use Permits).

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approves this application as shown on Exhibit A, pages 1 through 43, subject to compliance with the following conditions:

Planning Division

- a. There shall be no roof-mounted equipment.
- b. The property owner shall construct an 8-foot high masonry wall on the north side of the property abutting single family homes.
- c. All lighting shall be directed on-site so as not to create glare off-site, as required by the Community Development Director.
- d. Construction site trailers and buildings located on-site shall be used for office and storage purposes only, and shall not be used for living or sleeping quarters. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- e. Parking lot cleaning with sweeping or vacuum equipment shall not be permitted between 7:00 p.m. and 8:00 a.m.
- f. The site and its improvements shall be maintained in a neat and presentable condition, to the satisfaction of the Community Development Director. This shall include, but not be limited to, repainting surfaces damaged by graffiti and site clean-up. Graffiti removal/repainting and site clean-up shall occur on a continuing, as needed basis. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- g. All exterior utility pipes and meters shall be painted to match and/or complement the color of the adjoining building surface, as approved by the Community Development Director.

- h. Prior to the issuance of a grading permit, the property owner shall hire a qualified biologist to: (1) determine if Burrowing Owl habitat(s) exist on the site, and (2) implement a plan to protect the owls and to excavate the site around any active burrows using hand tools to assure that the owls are not buried during grading in the event Burrowing Owl habitat(s) is found on the site. The Burrowing Owl habitat(s), if found, shall not be disturbed during the nesting season. The Burrowing Owl study shall be conducted not more than 30 days prior to the time site grading activities will commence.
- i. As part of the application, the property owner shall submit elevations of all dissimilar sides of the buildings for the review and approval of the Planning Commission and City Council. The building elevations shall reflect all architectural projections such as roof eaves, bay windows, greenhouse windows, chimneys and porches. A site plan showing the building locations with respect to property lines shall also show the projections. Said elevations shall specify exterior materials. Final color elevations shall be submitted for the review and approval of the Community Development Director.
- j. Prior to the issuance of a building permit, the property owner shall submit the floor plans of all dwelling units for the review and approval of the Planning Commission and City Council.
- k. Prior to the issuance of a building permit, roof material shall be submitted for the review and approval of the Community Development Director. All roof material shall consist of fire retardant shake roof, concrete tile, or a roof of similar noncombustible material. Mansard roofs with the above material may be used to screen tar and gravel roofs. All roofs shall be of Class C fire resistant construction or better. Composition shingles shall be Presidential-style or of comparable quality, subject to the review and approval of the Community Development Director.
- l. Prior to the issuance of a building permit, the location and screening design for garbage, refuse and recycling collection areas for the project shall be submitted for the review and approval of Republic Services, Inc. and the Community Development Director, in that order. The approved garbage, refuse and recycling areas shall be provided prior to the issuance of a Certificate of Occupancy, as required by the Community Development Director. No refuse, garbage or recycling shall be stored outdoors.
- m. During project construction, if historic, archeological or Native American materials or artifacts are identified, work within a 50-foot radius of such find shall cease and the City shall retain the services of a qualified archeologist and/or paleontologist to assess the significance of the find. If such find is determined to be significant by the archeologist and/or paleontologist, a resource protection plan conforming to CEQA Section 15064.5 shall be prepared by the archeologist and/or paleontologist and approved by the Community Development Director. The plan may include, but would not be limited to, removal of resources or similar actions. Project work may be resumed in compliance with such plan. If human remains are encountered, the County Coroner shall be contacted immediately and the provisions of State law carried out.

- n. Prior to their installation, mailbox locations and designs shall be approved by the Community Development Director and Newark Postmaster, in that order. The mailbox compartments of centralized mailboxes shall identify the individual dwelling units with permanent, easily legible lettering.
- o. Prior to the issuance of a Certificate of Occupancy, the parking areas, aisles and access drives shall be installed and striped as shown on the approved site plan. Guest parking spaces shall be clearly marked as reserved for guests, as approved by the Community Development Director.
- p. Prior to the issuance of a sign permit, all signs, other than those referring to construction, sale, or future use of this site, shall be submitted for the review and approval of the Community Development Director.
- q. Approval of this project's conditional use permit and planned unit development is conditioned upon City Council approval of Tentative Tract Map 8340.
- r. The property owner shall pay all impact fees in effect at the time of building permit issuance.

Engineering Division

- s. The development will require approval of tentative and final tract maps filed in accordance with the State Subdivision Map Act and the City of Newark Subdivision Ordinance for the creation of 1 lot, 14 condominium units, and easement dedications. The final map must be approved prior to the issuance of any building permits.
- t. The final map shall designate and/or dedicate emergency vehicle access ways, private vehicle access ways, open space easements, public utility easements, and other easement as may be required over the common area. An additional 2-foot wide (total 42 feet from centerline) roadway easement for street purposes and 15-foot landscape and public utility easement shall be dedicated adjacent to the Sycamore Street right-of-way within the limits of development.
- u. Prior to approval of the final map, the property owner shall guarantee all necessary street improvements adjoining the development and over the common area in accordance with tract improvement plans to be approved by the City Engineer. Improvement plans for on-site common areas in the development shall be included with the tract improvement plans to ensure that such improvements are designed and constructed to City Standards. These plans must be prepared by a qualified person licensed by the State of California to do such work. Street improvements shall include, but may not be limited to driveway access, public sidewalks, curb and gutter removal and replacement, frontage landscaping, pavement removal and replacement, replacement or repair of existing damaged public improvements, street lighting, undergrounding existing overhead utilities, relocation of existing signage, pavement striping, and other related improvements. Common area improvements on-site include, but may not be limited to driveways, drive aisles, parking

facilities, utilities, recreational areas and facilities, storm water treatment measure installations, perimeter screen walls, fencing, and all landscape areas.

- v. Prior to the issuance of the initial grading or any building permits for this project, the property owner shall submit a Storm Water Pollution Prevention Plan for the review and approval of the City Engineer. The plan shall include sufficient details to show how storm water quality will be protected during both: (1) the construction phase of the project and (2) the post-construction, operational phase of the project. The construction phase plan shall include Best Management Practices from the California Storm Water Quality Best Management Practices Handbook for Construction Activities. The specific storm water pollution prevention measures to be maintained by the contractor shall be printed on the plans. The operational phase plan shall include Best Management Practices appropriate to the uses conducted on the site to effectively prohibit the entry of pollutants into storm water runoff from this site including, but not limited to, trash and litter control, pavement sweeping, periodic storm water inlet cleaning, landscape controls for fertilizer and pesticide applications, labeling of storm water inlets with a permanent thermoplastic stencil with the wording “No Dumping - Drains to Bay,” and other applicable practices.

- w. The project must be designed to include appropriate source control, site design, and stormwater treatment measures to prevent stormwater runoff pollutant discharges and increases in runoff flows from the site in accordance with Provision C.3 of the Municipal Regional Stormwater NPDES Permit (MRP), Order R2-2015-0049, revised November 19, 2015, issued to the City of Newark by the Regional Water Quality Control Board, San Francisco Bay Region. Examples of source control and site design requirements include but are not limited to: properly designed trash storage areas, sanitary sewer connections for all non-stormwater discharges, minimization of impervious surfaces, and treatment of all runoff with Low Impact Development (LID) treatment measures. A properly engineered and maintained biotreatment system will only be allowed if it is infeasible to implement other LID measures such as harvesting and re-use, infiltration, or evapotranspiration. The stormwater treatment design shall be completed by a licensed civil engineer with sufficient experience in stormwater quality analysis and design. The design is subject to review by the Regional Water Quality Control Board. The property owner shall modify the site design to satisfy all elements of Provision C.3 of the MRP. The use of treatment controls for runoff requires the submittal of a Stormwater Treatment Measures Maintenance Agreement prior to the issuance of any Certificates of Occupancy.

- x. The project shall be designed to comply with all requirements under Provision C.3.f. of the NPDES permit for limitations on increases of peak storm water runoff discharge rates. The property owner shall be responsible for providing sufficient data and calculations to show that any increase in storm water runoff from the development will not result in increased potential for erosion or other significant adverse impacts of earthen channels downstream of the project site. The required analysis for such findings shall be completed by the property owner to the satisfaction of the City Engineer and the Regional Water Quality Control Board.

- y. The property owner shall submit detailed grading and drainage plans for review and approval by the City Engineer and the Alameda County Flood Control and Water Conservation District. These plans must be based upon a City benchmark and need to include pad and finish floor elevations of each proposed structure, proposed on-site property grades, proposed elevations at property line, and sufficient elevations on all adjacent properties to show existing drainage patterns. All on-site pavement shall drain at a minimum of one percent. The property owner shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. An overland drainage release path to the adjoining public right-of-way shall be provided to ensure there are no drainage impacts to adjoining properties in the event of a storm drain system failure. A sub-drain system shall be installed along the site perimeter wherever a grade differential exists. Any construction necessary to ensure this shall be the property owner's responsibility.

Hydrology and hydraulic calculations shall be submitted for review and approval by the City Engineer and the Alameda County Flood Control District prior to approval of the final map(s). The calculations shall show that the City and County freeboard requirements will be satisfied.

- z. Where a grade differential of more than a 1-foot is created along the boundary lot lines between the proposed development and adjacent property, the property owner shall install a masonry retaining wall unless a slope easement is approved by the City Engineer. Said retaining wall shall be subject to review and approval of the City Engineer. A grading permit is required by the Building Inspection Division prior to starting site grading work.
- aa. The applicant shall submit a detailed soils report prepared by a qualified engineer, registered with the State of California. The report shall address in-situ and import soils in accordance with the City of Newark Grading and Excavation Ordinance, Chapter 15.50. The report shall include recommendations regarding pavement sections for all public and private streets. Grading operations shall be in accordance with recommendations contained in the soils report and shall be completed under the supervision of an engineer registered in the State of California to do such work.
- bb. Prior to approval of the final map, the property owner's engineer shall submit a pavement maintenance program for the drive aisles and parking areas for the review and approval of the City Engineer. The property owner shall incorporate the program into the required Storm Water Pollution Prevention Plan and Storm Water Treatment Measures Maintenance Agreement.
- cc. Prior to issuance of a Certificate of Occupancy or release of utilities for any building, vehicle access ways and parking facilities serving said building shall be paved in accordance with the recommendation of a licensed engineer based on a Traffic Index of 5.0 and striped as shown on the approved site plan.
- dd. Prior to issuance of a Certificate of Occupancy or release of utilities for each dwelling unit, the on-site drive aisles and uncovered parking facilities shall be installed and striped

as shown on the approved site plan. All on-site uncovered parking facilities and drive aisles shall be drained at a minimum slope of 1.0% for asphalt surfaces and 0.3% for Portland cement concrete surfaces.

- ee. The property owner shall incorporate a Homeowner's Association consisting of all property owners of lands in the development at the time of incorporation and in the future for the purpose of maintaining the association's property, common drive aisles, parking facilities, stormwater treatment facilities, and landscaping, including landscaping in adjacent public rights-of-way, and for paying for security lighting, any common garbage collection services, any security patrol services, if provided, and other functions of a Homeowner's Association. All common areas within the development shall be owned and maintained by the Homeowner's Association. Each property owner shall automatically become a member of the association and shall be subject to a proportionate share of the maintenance expenses. The Homeowner's Association shall be incorporated prior to the sale of any individual lots and/or prior to acceptance of tract improvements, whichever occurs first.
- ff. Prior to City Council approval of the final map(s), the bylaws governing the property owners' association(s) and any declaration of covenants, conditions and restrictions (CC&Rs) filed for this development shall be reviewed and approved by the City Council at its discretion after mandatory review and recommendations by the City Attorney. Said covenants, conditions and restrictions shall be prominently displayed in the project sales office at all times. Approval of the covenants, conditions and restrictions shall not make the City a party to enforcement of same. The CC&Rs shall apply equally to both owners and renters. The CC&Rs shall be written to require renters to comply with the regulations of the CC&Rs, and a copy of the CC&Rs shall be given to each renter. The CC&Rs shall be written to allow less than a majority of owners to have pavement or landscape maintenance done and the cost thereof assessed to all owners in the project. The CC&Rs shall include a pavement maintenance program for on-site pavement.
- gg. The Homeowner's Association CC&Rs shall prohibit the on-site parking of non-self-propelled recreational vehicles, including boats, and any self-propelled recreational vehicles not used for transportation unless separate storage facilities are provided. The CC&Rs shall regulate the provision of any on-site parking of self-propelled recreational vehicles used for transportation.
- hh. The property owner shall also assist the Homeowner's Association by having a management consultant firm review the maintenance and operating functions of the association. The management consulting firm shall be responsible to prepare a written report with recommendations to the association for managing the association's obligations and setting initial monthly assessment costs for each lot in the development. Membership and assessment cost shall be mandatory for all property owners of property in the development and shall run with the land. The property owner shall pay all costs of incorporation and initial management review and reports.

- ii. The Homeowner's Association shall be responsible for trash and litter control and sweeping of all private streets within the development. All private storm drain systems and all associated trash capture devices shall be cleaned on a regularly scheduled basis as detailed in the required Stormwater Treatment Measures Maintenance Agreement.
- jj. The Homeowner's Association shall be required to contract with a professional management firm to handle all necessary maintenance operations. Documentation of such contract shall be submitted to the City of Newark. All commonly owned facilities shall be properly maintained in a manner consistent with the CC&Rs and project requirements.
- kk. All new utilities including, but not limited to, electric, telephone and cable television services shall be provided underground for all buildings in the development in accordance with the City of Newark Subdivision Standards. Electrical transformers shall be installed in underground vaults with an appropriate public utility easement or within the public right-of-way.
- ll. The joint trench plan shall be submitted by the applicant with the first tract improvement plan check and approved prior to final map approval.
- mm. Any proposed utility connections and/or underground work within structurally sound street pavement must be bored or jacked. Open street cuts will not be permitted on Sycamore Street unless the affected area is scheduled for a pavement overlay concurrent with site development.
- nn. The property owner shall request Pacific, Gas & Electric Co. to commence with the design of the underground utility improvements for the proposed development immediately following approval of the tentative map.
- oo. The property owner shall repair and/or replace any public improvements along the Sycamore Street right-of-way and private improvements along the exterior boundary of the site damaged as a result of construction activity to the satisfaction of the City Engineer.
- pp. The property owner shall ensure that a water vehicle for dust control operations is kept readily available at all times during construction at the City Engineer's direction. A pick-up or vacuum type street sweeper shall be available at all times at the direction of the City Engineer to removed tracked dirt and debris from adjacent streets.
- qq. The property owner shall implement the following measures for the duration of all construction activity to minimize air quality impacts:
 - 1. Watering should be used to control dust generation during demolition of structures and break-up of pavement.
 - 2. All trucks hauling demolition debris from the site shall be covered.
 - 3. Dust-proof chutes shall be used to load debris into trucks whenever feasible.

Watering should be used to control dust generation during transport and handling of recycled materials.

4. All active construction areas shall be watered at least twice daily and more often during windy periods; active areas adjacent to the existing land uses shall be kept damp at all times or shall be treated with non-toxic stabilizers or dust palliatives.
5. All trucks hauling soil, sand, and other loose materials shall be covered or require all trucks to maintain at least 2 feet of freeboard.
6. All unpaved access roads, parking areas, and staging areas at construction sites shall be paved, watered three times daily, or treated with (non-toxic) soil stabilizers.
7. All paved access roads, parking areas, and staging areas at construction sites shall be swept daily with water sweepers; water sweepers shall vacuum up excess water to avoid runoff-related impacts to water quality.
8. Limit traffic speeds on unpaved roads to 15 mph.
9. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
10. Replant vegetation in disturbed areas as quickly as possible.
11. Minimize idling time (5 minutes maximum).
12. Maintain properly tuned equipment.

These measures shall be incorporated into the grading specifications as well as the best management practices of the storm water pollution prevention plan, and shall be implemented to the satisfaction of the City Engineer.

- rr. The property owner shall provide all required paper and digital submittals of the tentative map, project final map, tract improvement plans, and as-built plans as required by the City Engineer, including, but not necessarily limited to the following: (1) One full-sized reproducible copy and one reduced reproducible copy of the approved tentative map; (2) Two electronic copies of the approved final map and improvement plans in a format approved by the City Engineer; (3) One full-sized mylar copy and one reduced copy of the recorded final map; (4) One reproducible set and four blue-line or photocopied sets of the approved tract improvement plans; (5) Two electronic copies and one mylar set of the as-built tract improvement plans. All digital copies of the final map and improvement plans shall be prepared in accordance with Union Sanitary District digital submittal standards. A deposit of \$5,000 shall be provided by the property owner to the City to ensure submittal of all required documentation.
- ss. The plans submitted for construction must be drawn to an appropriate scale as required by the City Engineer.

Landscape/Parks Division

- uu. The property owner shall dedicate a minimum 15-foot wide landscape and public utility easement along the Sycamore Street frontage adjacent to the new right-of-way limit. This easement shall be dedicated with the final map.

- vv. The property owner shall retain a licensed landscape architect to prepare working drawings for tract improvement landscape plans in accordance to with City of Newark requirements and the State of California Model Water Efficient Landscape Ordinance. The associated Landscape Documentation Package must be approved by the City Engineer prior to approval of any final map.
- ww. Prior to approval of any final map, the property owner shall enter into a Landscape Maintenance Agreement with the City of Newark. Areas Agreement shall include all continuous landscaped areas contiguous to the site's public street frontage and all visible on-site landscaping. All landscape maintenance on-site and along the project frontage shall be the responsibility of the homeowners association. Any project perimeter walls and adjoining landscape areas shall be included in a dedicated landscape easement to guarantee adequate maintenance of the walls. Any work other than routine maintenance, including but not necessarily limited to, tree removal, tree pruning, or changes to the approved planting palette shall be approved in advance by the City Engineer. All tree pruning shall be performed by or under the direction of a certified arborist.
- xx. The property owner shall implement Bay Friendly Landscaping Practices in accordance with Newark Municipal Code, Chapter 15.44.080. Prior to approval of any final map, the property owner shall provide sufficient information to detail the environmentally-conscious landscape practices to be used on the project.
- yy. Prior to installation by the property owner, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. No less than half of the new trees for the project shall be minimum 24-inch box size. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.
- zz. Prior to the release of utilities or issuance of any Certificates of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.
- aaa. Prior to issuance of Certificate of Occupancy or release of utilities, the property owner shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The property owner shall insure that the landscape shall be installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.
- bbb. Landscaping adjacent to the public right-of-way must conform to the City's visibility requirements in accordance with Newark Municipal Code, Chapter 10.36.
- ccc. Prior to the issuance of any Certificates of Occupancy, the property owner shall pay Park Impact Fees in accordance with the City's current Master Fee Schedule and any updates thereto.

- ddd. Any above ground utility structures, including backflow prevention devices, and appurtenances shall be installed within the property owner's property line and a minimum of 10 feet behind street face of curbs. The backflow prevention devices shall have a green painted security cage to protect it from vandalism. These locations shall be screened with landscaping to the satisfaction of the City Engineer. The landscape screen shall not interfere with the utility companies' or Fire Department's access.

Building Division

- eee. Construction for this project, including site work and all structures, can occur only between the hours of 8:00 AM and 6:00 PM, Monday through Friday. The applicant may make a written request to the Building Official for extended working hours and/or days. In granting or denying any request the Building Official will take into consideration the nature of the construction activity which would occur during extended hours/days, the time duration of the request, the proximity to residential neighborhoods and input by affected neighbors. All approvals will be done so in writing.
- fff. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Planning Commission and City Council review and, if so decided, said changes shall be submitted for the Commission's and Council's review and decision. The property owner shall pay the prevailing fee for each additional separate submittal of development exhibits requiring Planning Commission and/or City Council review and approval.
- ggg. This project will require building permits following PUD/Conditional Use Permit approval by the City Council. The applicant will need to make a separate application to the Building Inspection Division for building permits for each separate building. Such applications shall include complete construction drawings prepared by a California licensed architect, structural engineer or civil engineer.

General

- hhh. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Planning Commission and City Council review and, if so decided, said changes shall be submitted for the Commission's and Council's review and decision. The property owner shall pay the prevailing fee for each additional separate submittal of development exhibits requiring Planning Commission and/or City Council review and approval.
- iii. If any condition of this planned unit development and conditional use permit be declared invalid or unenforceable by a court of competent jurisdiction, this planned unit development and conditional use permit shall terminate and be of no force and effect, at the election of the City Council on motion.

- jjj. This planned unit development and conditional use permit shall be given a public hearing before the City Council for the Council's review and approval.
- kkk. The property owner hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including, without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.
- III. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The property owner is hereby further notified that the 90-day approval period in which the property owner may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the property owner fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the property owner will be legally barred from later challenging such exactions.

The Commission makes the findings prescribed in Newark Municipal Code Sections 17.40.050 and 17.72.070, and directs a Notice of Decision be mailed to the applicant and filed with the City Clerk who shall present said Notice to the City Council pursuant to Newark Municipal Code Section 17.72.080.

This Resolution was introduced at the Planning Commission's August 9, 2016 meeting by Vice-Chairperson Nillo, seconded by Commissioner Bridges, and passed as follows:

AYES: Aguilar, Bridges, Fitts, Nillo and Otterstetter.

NOES: None.

ABSENT: None.

s/Terrence Grindall
TERRENCE GRINDALL, Secretary

s/Jeff Aguilar
JEFF AGUILAR, Chairperson

RESOLUTION NO. 1938

RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF NEWARK APPROVING TENTATIVE
TRACK MAP 8340 AND SUBDIVISION AND ZONING
VARIANCES

WHEREAS, Mr. Joe Wu has submitted TTM-16-10, Tentative Map 8340, to the Planning Commission of the City of Newark with subdivision and zoning variances covered by P-16-11, a planned unit development, and U-16-12, a conditional use permit, for a 14-unit condominium project (Merida Place) at 36731 Sycamore Street (APN: 92-21-15-3).

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Newark does hereby approve TTM-16-10, Tentative Tract Map 8340 with said subdivision and zoning variances covered by P-16-11 and U-16-12, as shown on Exhibit A, pages 1 through 9 and made part hereof by reference, subject to the following conditions:

- a. All applicable conditions listed in Planning Commission Resolution No.1937, dated August 9, 2016, recommending approval of P-16-11, a planned unit development, and U-16-12, a conditional use permit, for a 14-unit condominium project at 36731 Sycamore Street (APN: 92-21-15-3).
- b. The developer shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.
- c. That if any condition of this tentative tract map be declared invalid or unenforceable by a court of competent jurisdiction, this tentative tract map shall terminate and be of no force and effect, at the election of the City Council on motion.

This Resolution was introduced at the Planning Commission's August 9, 2016 meeting by Vice-Chairperson Nillo, seconded by Commissioner Bridges, and passed as follows:

AYES: Aguilar, Bridges, Fitts, Nillo and Otterstetter.

NOES: None.

ABSENT: None.

s/Terrence Grindall
TERRENCE GRINDALL, Secretary

s/Jeff Aguilar
JEFF AGUILAR, Chairperson

E.2 Hearing to consider a conditional use permit and a planned unit development for property located at 6826 and 6844 Mayhews Landing Road, to facilitate subdivision of approximately 1.41 acres of land by Parcel Map No. 10261, by allowing 5 foot side setbacks and lots a minimum of 45 feet wide while maintaining 6,000 square foot lot minimums consistent with R-6000 (Low Density Residential – 6000 district) – from Associate Planner Mangalam. (RESOLUTION)

Background/Discussion – The property owner of 6844 Mayhews Landing Road has been working with the City of Newark on a parcel map for APN 092-0005-029-09. In the process of review, staff determined that a planned unit development (PUD) would be appropriate to facilitate the development consistent with the Zoning District.

The property is approximately 66,316 square feet (1.52 +/- acres) and on the south side of Mayhews Landing Road between Sycamore Street and Mulberry Street. There are four (4) existing houses on the site. It is zoned R6000 (Low Density Residential – 6,000) and is bordered by single family homes on all sides. The parcel map would create parcels for the each 4 existing homes and one vacant parcel for future construction of a single family home.

The Zoning Ordinance requires the lots in R-6000, Low Density Residential districts to be a minimum of 60 feet wide with side yards to be ten percent of the width of the site. The proposed planned unit development allows narrower lots of a minimum of 45 feet wide with 5 foot side yards but maintains the requirement that the site area is a minimum of 6,000 square feet. These changes will still meet the Zoning District's purpose and will be consistent with the surrounding neighborhood. A planned unit development (PUD) is a conditional use and hence, both a planned unit development and a conditional use permit are required for this proposal.

Property owners within a 100-foot radius were notified of the project and various queries were received regarding the proposal. None of the property owners were opposed to the proposal.

Attached to the resolution for the conditional use permit and the planned unit development is Exhibit A, pages 1 and 2.

Environmental

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per Section 15303, Class 3b, New Construction or Conversion of Small Structures.

Update – At its meeting of August 9, 2016, the Planning Commission approved Resolution No. 1939, approving U-16-13, a conditional use permit and P-16-14, a planned unit development to APN(s) 092-0005-029-04 AND 092-0005-029-09, located at 6826 and 6844 Mayhews Landing Road with Exhibit A, pages 1 and 2.

Attachments

Action – It is recommended that the City Council, adopt a resolution approving a conditional use permit (U-16-13) and a planned unit development (P-16-14) to APN(s) 092-0005-029-04 AND

092-0005-029-09, located at 6826 and 6844 Mayhews Landing Road, to facilitate subdivision of approximately +/- 1.41 acres of land by Parcel Map No. 10261, by allowing 5 foot side setbacks and lots a minimum of 45 feet wide while maintaining 6,000 square foot lot minimums consistent with R-6000 (Low Density Residential – 6000 District).

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEWARK APPROVING A CONDITIONAL USE PERMIT (U-16-13) AND A PLANNED UNIT DEVELOPMENT (P-16-14) TO APN(S) 092-0005-029-04 AND 092-0005-029-09 LOCATED AT 6826 AND 6844 MAYHEWS LANDING ROAD, TO FACILITATE SUBDIVISION OF APPROXIMATELY +/- 1.41 ACRES OF LAND BY PARCEL MAP NO. 10261 BY ALLOWING 5 FOOT SIDE SETBACKS AND LOTS A MINIMUM OF 45 FEET WIDE WHILE MAINTAINING 6,000 SQUARE FOOT LOT MINIMUMS CONSISTENT WITH R-6000 (LOW DENSITY RESIDENTIAL – 6000 DISTRICT).

WHEREAS, Planning staff has filed for a conditional use permit and a planned unit development to APN(s) 092-0005-04 and 092-0005-029-09 located at 6826 and 6844 Mayhews Landing Road, to facilitate subdivision of approximately +/- 1.41 acres of land by Parcel Map No. 10261 by allowing 5 foot side setbacks and lots a minimum of 45 feet wide while maintaining 6,000 square foot lot minimums consistent with R-6000 (Low Density Residential – 6000 district).

WHEREAS, pursuant to Municipal Code Section 17.72.060, a public hearing notice was published in Tri-City Voice on July 26, 2016 and mailed as required, and the planning Commission held a public hearing on said application at 7:30 p.m. on August 9, 2016 at the City Administration Building, 37101 Newark Boulevard, Newark, California; and

WHEREAS, pursuant to Chapter 17.40 (Planned Unit Developments), Section 17.40.050 (Permit Procedure) and Chapter 17.72 (Use Permits), Section 17.72.070 (Action by Planning Commission), the Planning Commission made the following findings:

1. That the proposed location of the planned unit development is in accord with the objectives of the zoning title and the purposes of the district in which the site is located;
2. That the proposed location of the planned unit development and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity;
3. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-street parking and off-street loading facilities and landscaped areas will produce an environment of stable and desirable character consistent with the objectives of the zoning title;
4. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-street

parking and off-street loading facilities will be such that the development will not generate more traffic than the streets in the vicinity can carry without congestion and will not overload utilities;

5. That the combination of different dwelling types and/or the variety of land uses in the development will complement each other and will harmonize with existing and proposed land uses in the vicinity;

6. That the proposed location of the conditional use is in accord with the purposes of the zoning title and the purposes of the district in which the site is located;

7. That the proposed location of the conditional use and the conditions under which it is would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity;

8. That the proposed conditional use will comply with each of the applicable provisions of Chapter 17.22 (Use Permits).

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark does hereby approve this application as shown on Exhibit A, pages 1 and 2 and made a part hereof by reference, subject to the following conditions:

Planning Division

- a. The minimum site area for the lots within a Planned Unit Development shall not be less than 6,000 square feet.
- b. The lots shall not have a width less than forty-five (45) feet.
- c. The minimum side yard for a permitted use shall be five (5) feet.
- d. Any future lot line adjustment to lot lines shall not be subject to the approval of the Planning Commission and the City Council.

General

- e. If any condition of this planned unit development and conditional use permit be declared invalid or unenforceable by a court of competent jurisdiction, this planned unit development and conditional use permit shall terminate and be of no force and effect, at the election of the City Council on motion.
- f. This planned unit development and conditional use permit shall be given a public hearing before the City Council for the Council's review and approval.
- g. The property owner hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including,

without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.

- h. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The property owner is hereby further notified that the 90-day approval period in which the property owner may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the property owner fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the property owner will be legally barred from later challenging such exactions.

RESOLUTION NO. 1939

RESOLUTION APPROVING A CONDITIONAL USE PERMIT (U-16-13) AND A PLANNED UNIT DEVELOPMENT (P-16-14) TO APN(S) 092-0005-029-04 AND 092-0005-029-09 LOCATED AT 6826 AND 6844 MAYHEWS LANDING ROAD, TO FACILITATE SUBDIVISION OF APPROXIMATELY +/- 1.41 ACRES OF LAND BY PARCEL MAP NO. 10261 BY ALLOWING 5 FOOT SIDE SETBACKS AND LOTS A MINIMUM OF 45 FEET WIDE WHILE MAINTAINING 6,000 SQUARE FOOT LOT MINIMUMS CONSISTENT WITH R-6000 (LOW DENSITY RESIDENTIAL – 6000 DISTRICT).

WHEREAS, Planning Division staff, has proposed that the Planning Commission of the City of Newark grant a conditional use permit (U-16-13) and a planned unit development (P-16-14), to APN(s) 092-0005-04 and 092-0005-029-09 located at 6826 and 6844 Mayhews Landing Road, to facilitate subdivision of approximately +/- 1.41 acres of land by Parcel Map No. 10261 by allowing 5 foot side setbacks and lots a minimum of 45 feet wide while maintaining 6,000 square foot lot minimums consistent with R-6000 (Low Density Residential – 6000 district).

PURSUANT to Municipal Code Section 17.72.060, a public hearing notice was published in The Tri-City Voice on July 26, 2016, and mailed as required, and the Planning Commission held a public hearing on said application at 7:30 p.m. on August 9, 2016 at the City Administration Building, 37101 Newark Boulevard, Newark, California.

WHEREAS, a pursuant to chapter 1740 (Planned Unit Developments), Section 17.40.050 (Permit Procedure) and Chapter 17.72 (Use Permits), Section 17.72.070 (Action by Planning Commission), the Planning Commission hereby makes the following findings:

1. That the proposed location of the planned unit development is in accord with the objectives of the zoning title and the purposes of the district in which the site is located;
2. That the proposed location of the planned unit development and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity;
3. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-street parking and off-street loading facilities and landscaped areas will produce an environment of stable and desirable character consistent with the objectives of the zoning title;
4. That the standards of population density, site areas and dimensions, site coverage, yard spaces, heights of structures, distances between the structures, usable open space, off-

street parking and off-street loading facilities will be such that the development will not generate more traffic than the streets in the vicinity can carry without congestion and will not overload utilities;

5. That the combination of different dwelling types and/or the variety of land uses in the development will complement each other and will harmonize with existing and proposed land uses in the vicinity;
6. That the proposed location of the conditional use is in accord with the purposes of the zoning title and the purposes of the district in which the site is located;
7. That the proposed location of the conditional use and the conditions under which it is would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity; and
8. That the proposed conditional use will comply with each of the applicable provisions of Chapter 17.22 (Use Permits).

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approves this application as shown on Exhibit A, pages 1 and 2, subject to compliance with the following conditions:

- a. The minimum site area for the lots within a Planned Unit Development shall not be less than 6,000 square feet.
- b. The lots shall not have a width less than forty-five (45) feet.
- c. The minimum side yard for a permitted use shall be five (5) feet.
- d. Any future lot line adjustment to lot lines shall not be subject to the approval of the Planning Commission and the City Council.

General

- e. If any condition of this planned unit development and conditional use permit be declared invalid or unenforceable by a court of competent jurisdiction, this planned unit development and conditional use permit shall terminate and be of no force and effect, at the election of the City Council on motion.
- f. This planned unit development and conditional use permit shall be given a public hearing before the City Council for the Council's review and approval.
- g. The property owner hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including, without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by,

the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.

- h. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The property owner is hereby further notified that the 90-day approval period in which the property owner may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the property owner fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the property owner will be legally barred from later challenging such exactions.

The Commission makes the findings prescribed in Newark Municipal Code Sections 17.40.050 and 17.72.070, and directs a Notice of Decision be mailed to the applicant and filed with the City Clerk who shall present said Notice to the City Council pursuant to Newark Municipal Code Section 17.72.080.

This Resolution was introduced at the Planning Commission's August 9, 2016 meeting by Commissioner Fitts, seconded by Vice-Chairperson Nillo, and passed as follows:

AYES: Aguilar, Bridges, Fitts, Nillo and Otterstetter.

NOES: None.

ABSENT: None.

s/Terrence Grindall
TERRENCE GRINDALL, Secretary

s/Jeff Aguilar
JEFF AGUILAR, Chairperson

**F.1 Report on administrative actions during August recess – from City Manager
Becker. (MOTION)**

Background/Discussion – At the May 12, 2016, meeting the City Council adopted Resolution No. 10,498 authorizing the City Manager, or Acting City Manager, to act on certain administrative matters, which should not be deferred until the next regularly scheduled meeting of the City Council. The City Council also directed the City Manager to report to the City Council after the recess on all such actions.

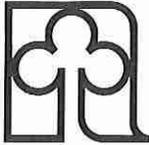
Administrative matters on which action was taken during the recess are noted in Exhibit A.

Attachment

Action - It is recommended that the City Council, by motion, reaffirm the City Manager's, or Acting City Manager's, action on the matters listed in Exhibit A.

EXHIBIT A

Date	Subject	Contract Number (if applicable)
8/08/16	Claim of Ma Belle Ammie Graves-Fisher City Claim No. NE-003 16/17	
8/08/16	Authorization to purchase three (3) public works Vehicles using an intergovernmental procurement process	
8/24/16	Authorize the acceptance of contract with County of Alameda for Additional Library Services	

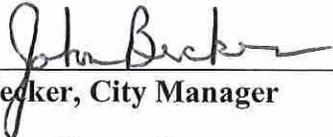


DATE: August 24, 2016
TO: John Becker, City Manager
FROM: Lisa Vera, Legal Assistant
SUBJECT: Library- Agreement for Additional Services (Sunday hours)

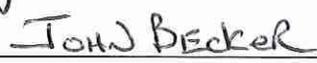
As you are aware, the Newark Library is currently open thirty-nine hours per week. Specifically, Mondays and Tuesdays 12 p.m. - 8 p.m., Wednesdays and Thursdays 10 a.m. - 6 p.m., and Saturdays 10 a.m. - 5 p.m. It is my understanding that the City would like to have the library open more than the County funded hours per week, by adding four hours on Sundays. Pursuant to your request, attached is an agreement in which the City agrees to fund four additional hours of library services on Sundays.

RECOMMENDATION: It is recommended that the agreement be approved. Please sign the attached originals. I will then forward to the Board of Supervisors for their approval.

Pursuant to Newark Resolution No. 10,498, adopted May 12, 2016, authorizing the City Manager or his designee to act upon certain administrative matters on behalf of the City during the City Council summer recess of August 2016, I, John Becker, hereby authorize the acceptance of contract with County of Alameda for Additional Library Services.



John Becker, City Manager



By

8-24-16

Date

**AGREEMENT BETWEEN THE CITY OF NEWARK
AND THE
COUNTY OF ALAMEDA
FOR
ADDITIONAL LIBRARY SERVICES
FISCAL YEAR 2016-17**

The County of Alameda and the City of Newark enter into this Agreement as follows:

WHEREAS, current funding levels for County Library services limit the number of open hours per week at the Newark Branch of the Alameda County Library system; and

WHEREAS, the citizens of Newark wish to have the Newark Branch Library open on Sundays for four hours more than the County funded hours per week, and wish to have additional services; and

The City of Newark and the County of Alameda agree to provide four additional hours on Sundays of library services at the Newark Branch of the Alameda County Library system subject to the following terms and conditions.

TERMS AND CONDITIONS

- 1) Time Period: This Agreement will be in effect from September 1, 2016 to June 30, 2017.
- 2) Services Described: During the time period specified above, the County agrees to provide 4.00 additional open hours on Sunday per week of library service at the Newark Branch Library, excluding County-observed holidays, in order to maintain a total weekly schedule of open hours at the Newark Branch Library at 43 hours per week. The Newark library will be open on Sundays from 1.00 to 5.00PM.
- 3) Payments: The City agrees to pay the County \$83,334 in four (4) quarterly installments as follows:

September 30, 2016	\$8,334
December 31, 2016	\$25,000
March 31, 2017	\$25,000
June 30, 2017	\$25,000

September installment will be adjusted to reflect prorated amount from actual start date. Payments shall be due and payable on the dates stated above. In addition to the amounts stated above interest of 5 percent /

month shall be payable for any payment which is more than 30 days overdue.

- 4) Extension: All terms and conditions of this Agreement may be extended, by mutual written agreement on a year-to-year basis or as otherwise agreed to by the parties, provided the amount paid by the City of Newark to the County of Alameda is adjusted annually to reflect increases/decreases to the costs connected with providing the services.
- 5) Augmentation: The services provided through this Agreement and the amount to be paid by the City of Newark to the County of Alameda may be augmented during the year, by mutual agreement, to reflect additional City of Newark funds and monies donated to the City of Newark by groups, other public agencies, and individuals for this purpose.
- 6) Periodic Activity Reports: Activity Reports will be provided by the County Librarian to the Newark City Council. Newark City Council may request such reports at any time.
- 7) Option to Terminate or Renegotiate Agreement: In the event that either party determines that it no longer has sufficient funding or staffing to meet the obligations of this agreement, that party may terminate or renegotiate this Agreement by giving at least thirty (30) days written notice.
- 8) Liability:
 - a) No persons engaged in the performance of library services and functions under this Agreement shall be considered City employees or gain rights to City pension, Civil Service, or other City employment status or right by way of this Agreement.
 - b) The City shall not be called upon to assume any liability for the direct payment of any salary, wages, or other compensation to any County personnel performing services hereunder for the City, or any liability other than that provided for in this Agreement.

Except as herein otherwise specified, the City shall not be liable for compensation or indemnity to any County employee for injury or sickness arising out of his/her employment.
 - c) The County will assume liability and pay cost of defense and hold the City harmless from loss, costs or expenses caused by the negligent or wrongful act or omission of County officers, agents and employees occurring in the performance of agreements between the parties hereto

to the extent that such liability is imposed on the City by the provisions of Section 895.2 of the Government Code of the State of California.

d) The City will assume liability and pay cost of defense and hold the County harmless from loss, costs or expenses caused by the negligent or wrongful act or omission of City officers, agents and employees occurring in the performance of agreements between the parties hereto to the extent that such liability is imposed on the County by the provisions of Section 895.2 of the Government Code of the State of California.

9) Notices: Notices pertaining to this agreement shall be sent to the following:

CITY:
City Administrator
CITY OF NEWARK
37101 Newark Blvd
Newark CA 94560

COUNTY:
President, Board of Supervisors
COUNTY OF ALAMEDA
Administration Building
1221 Oak Street
Oakland, CA 94612

County Librarian
ALAMEDA COUNTY LIBRARY
2450 Stevenson Blvd.
Fremont, CA 94538-2326

IN WITNESS WHEREOF:

The parties hereto have executed this Agreement the day and year first above written, and the County has hereunto caused its corporate name to be signed by its President of the Board of Supervisors, who is hereunto duly authorized the day and year first above written.

CITY OF NEWARK

COUNTY OF ALAMEDA

By: John Becker
City Manager
City of Newark, County of Alameda
State of California

By: _____
President
Board of Supervisors
State of California

Date: 8-24-16

Date: _____

ATTEST:

By: Sheila Harrington
City Clerk

By: _____
Clerk of the Board of Supervisors

APPROVED AS TO FORM

By: _____
Deputy County Counsel

NEWARK LIBRARY
FY 2016-17 Projected Budget

EXPENSES:

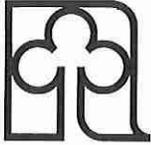
Branch Personnel (11.17 FTE)	\$980,099
Services &Supplies	\$168,306
*All other Direct Cost	\$822,833
Total Direct Costs	\$1,971,238
**Admin. Cost	\$356,201
GRAND TOTAL	\$2,327,439

*Direct Cost include share of Material costs, ITD cost and cost of Learning Group Services (Bookmobile: Literacy: Senior Services and Services to those with Disability)

**Admin. Cost includes the shared cost of Administration.

REVENUE:

County Library Property Tax	\$1,680,743	(39 Base Hours)
City Contract	\$83,334	(4.0 Add. Hours)
Other County Library Funds	\$563,362	
GRAND TOTAL	\$2,327,439	



DATE: August 8, 2016
TO: John Becker, City Manager
FROM: David Benoun, City Attorney 
SUBJECT: Claim of Ma Belle Ammie Graves-Fisher
City Claim No. NE-003 16/17

On August 1, 2016, the City of Newark received a claim from Ma Belle Aimee Graves-Fisher in an unspecified amount alleging “loss of life” of her father, who was shot by Newark Police on January 31, 2016.

The claim and all relevant information were forwarded to ABAG Plan, the City’s insurance administrator, who recommends that it be denied.

RECOMMENDATION: It is recommended that the claim be denied.

Pursuant to Newark Resolution No. 10,498, adopted May 12, 2016, authorizing the City Manager or his designee to act upon certain administrative matters on behalf of the City during the City Council summer recess of August 2016, I, John Becker, hereby deny the claim of Ma Belle Aimee Graves-Fisher, Claim No. NE-003 16/17.



John Becker, City Manager

8-8-16

Date



DATE: August 4, 2016
TO: John Becker, City Manager
VIA: Soren Fajeau, Public Works Director *S*
FROM: Tonya Connolly, Maintenance Supervisor *TC*
SUBJECT: **Authorization to Purchase Three (3) Public Works Vehicles Using an Intergovernmental Procurement Process**

The Fiscal Year 2016/17 budget includes funding for the addition of three vehicles for the Engineering and Building Inspection staff of the Public Works Department as a part of the Capital Improvement Plan.

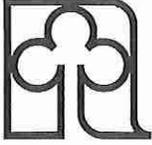
Your authorization is requested to participate in an intergovernmental procurement process for the purchase of three 2017 Ford Escape SE vehicles for Public Works.

An option to a formal bidding process is to enter into an intergovernmental procurement process (also known as a “piggyback”). The City would save the cost and time associated with the formal bid process but be able to be assured of competitive set prices established by another agency’s formal bidding process.

Upon completion of a formal bidding process, the State of California entered into a master contract and a procurement contract with Downtown Ford Sales for the purchase of vehicles. This contract is in effect through February 21, 2018, and includes a provision to allow other agencies to participate.

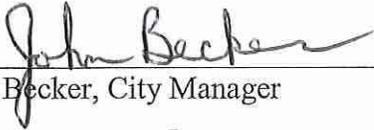
Based upon the State of California contract with Downtown Ford Sales, the vehicles will cost \$26,069.09 for a total of \$78,207.27. The cost does not include the outfitting which is estimated at \$400 for the Engineering vehicle and \$6,000 for the Building Inspection vehicles for a total of \$6,400 to be contracted out through our APA vendor.

The competitive process used by the State of California has been reviewed by the Public Works Department and satisfies the City of Newark’s requirements for the proposed vehicle purchase. I recommend that an intergovernmental procurement process be used for the purchase of three 2017 Ford Escape SE vehicles in lieu of the City’s formal bid process.

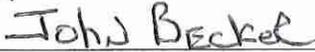


RECOMMENDATION:

Pursuant to Newark Resolution No. 10,498, adopted May 12, 2016, authorizing the City Manager or his designee to act upon certain administrative matters on behalf of the City during the City Council summer recess of August 2016, I, John Becker, as City Manager, hereby authorize the purchase of three 2017 Ford Escape SE vehicles from Downtown Ford Sales using the intergovernmental procurement process.



John Becker, City Manager



By



Date

F.2 Amendment to the Conflict of Interest Code for Nonelected Officials and Designated Employees – from City Clerk Harrington. (RESOLUTION)

Background/Discussion – The Political Reform Act of 1974 requires local government agencies to review its Conflict of Interest Code biennially. The Conflict of Interest Code lists each employee position that makes or participates in the making of governmental decisions. Employees in these positions are identified as “designated employees.” Consultants that make or participate in making governmental decisions on behalf of the City must also file disclosure forms.

The review has been completed and there is a need to amend Appendix A, Designated Positions and Disclosure Categories, because of organizational changes that have occurred since the 2014 review. Appendix A to the Code shows the recommended changes with strikeout formatting for deletions and underscore formatting for additions.

Attachment

Action - It is recommended that the City Council, by resolution, amend the City’s Conflict of Interest Code for Nonelected Officials and Designated Employees.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK AMENDING THE CONFLICT OF INTEREST CODE
OF NONELECTED OFFICIALS AND DESIGNATED
EMPLOYEES OF THE CITY OF NEWARK

WHEREAS, the Political Reform Act, Government Code Section 87306.5, requires local government agencies to review their Conflict of Interest Codes biennially and, if a change in the Conflict of Interest Code is necessitated by changed circumstances, to prepare and submit an amended Conflict of Interest Code to the City Council; and

WHEREAS, the nonelected officials and designated employees of the City of Newark have reviewed their Conflict of Interest Code and find that there is a need to amend Appendix A, Designated Positions and Disclosure Categories;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark does hereby amend the Conflict of Interest Code of the Nonelected Officials and Designated Employees of the City of Newark.

APPENDIX A

DESIGNATED POSITIONS

DISCLOSURE CATEGORY

CITY MANAGER'S OFFICE

Administrative Services Director	1, 2, 3, 4, 5, 6, 7, 8
Assistant City Manager	1, 2, 3, 4, 5, 6, 7, 8
City Clerk	1, 2, 5, 7
Administrative Analyst	1, 2, 5, 7
Executive Assistant	1, 2, 5, 7

DESIGNATED COMMITTEE MEMBERS/EMPLOYEES

Economic Development Corporation	1, 2, 3, 4, 5, 6, 7, 8
Oversight Board of the Successor Agency	1, 2, 3, 4, 5, 6, 7, 8
Successor Agency to Redevelopment Agency	1, 2, 3, 4, 5, 6, 7, 8

COMMUNITY DEVELOPMENT

Planning Manager	1, 2, 3, 4, 5, 6, 7, 8
Assistant Planner	1, 2, <u>3, 4</u> , 5, 7
Associate Planner	1, 2, 3, 4, 5, 7

FINANCE INFORMATION SYSTEMS DIVISIONS

Senior Information Systems Manager	1, 2, 5, <u>6</u>, 7
Senior Accountant	1, 2, 3, 4, 5, 6, 7, 8
Accountant	1, 2, 3, 4, 5, 6, 7, 8

HUMAN RESOURCES DEPARTMENT

Human Resources Director	1, 2, 5, 7
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POLICE DEPARTMENT

Police Chief	1, 2, 3, 4, 5, 6, 7, 8
Police Commander	1, 2, 5, 7
Police Lieutenant	1, 2, 5, 7
Senior Administrative Analyst	1, 2, 5, 7

PUBLIC WORKS

Assistant City Engineer	1, 2, 3, 4, 5, 6, 7, 8
Associate Civil Engineer	1, 2, 4, 5, 7
Bldg. Insp./Zoning Enforcement	1, 2, 3, 4, 5, 7
Chief Building Official/City Architect	1, 2, 3, 4, 5, 7
Assistant Engineer	1, 2, 4, 5, 7
Maintenance Supervisor	1, 2, 5, 7
Maintenance Superintendent	1, 2, 4, 5, 6, 7
Public Works Director	1, 2, 3, 4, 5, 6, 7, 8
Public Works Inspector	1, 2, 4, 5, 7
Administrative Analyst	1, 2, 5, 7

RECREATION AND COMMUNITY SERVICES

Senior Administrative Analyst	1, 2, 5, 7
Child Care Supervisor	1, 2, 5, 7
Recreation & Community Services Dir.	1, 2, 3, 4, 5, 6, 7, 8
Recreation Supervisor	1, 2, 5, 7
Senior Recreation Supervisor	1, 2, 5, 7

CONSULTANTS

Consultants shall be included in the list of designated employees and shall disclose pursuant to the broadest disclosure category in the code subject to the following limitation: The City Manager may determine in writing that a particular consultant, although a "designated position," is hired to perform a range of duties that is limited in scope and thus is not required to fully comply with the disclosure requirements in this section. Such written determination shall include a description of the consultant's duties and, based upon that description, a statement of the extent of disclosure requirements. The City Manager's determination is a public record and shall be retained for public inspection in the same manner and location as this conflict of interest code.

The following positions are not covered by the code because they must file under Government Code Section 87200 and are listed for informational purposes only:

- City Attorney
- City Council Members
- City Manager
- City Treasurer
- Mayor
- Planning Commissioners

City of Newark

Conflict of Interest Code

**CONFLICT OF INTEREST CODE
CITY OF NEWARK**

Table of Contents

Article I	Statutory Provisions
Article II	Provisions of Conflict of Interest Code
Section 1	Definitions
Section 2	Designated Employees
Section 3	Disclosure Categories
Section 4	Statement of Economic Interests: Place of Filing
Section 5	Statement of Economic Interests: Time of Filing
Section 6	Contents of and Period Covered by Statements of Economic Interests
Appendix A	Schedule of Designated Positions and Their Disclosure Categories
Appendix B	General Provisions and List of Disclosure Categories

**CONFLICT OF INTEREST CODE
OF THE CITY OF NEWARK
NON-ELECTED OFFICIALS AND EMPLOYEES**

ARTICLE I. STATUTORY PROVISIONS.

In compliance with the Political Reform Act of 1974, California Government Code Section 81000 et seq., and specifically with Section 87307 et seq., the City of Newark hereby amends its Conflict of Interest Code for non-elected officials and employees of the City. The requirements of this amended Code are in addition to other requirements of the Political Reform Act, such as the general prohibition against conflicts of interest contained in Government Code Section 87100, and are in addition to any other state or local laws pertaining to conflicts of interest.

Incorporation by reference of the terms of 2 California Administration Code Section 18730 along with the designation of employees and the formulation of disclosure categories in the Appendix referred to below constitute the amendment of a Conflict of Interest Code within the meaning of Government Code Section 87307 if the terms of this regulation are substituted for terms of a Conflict of Interest Code already in effect. A code so amended requires the reporting of reportable items in a manner substantially equivalent to the requirement of Article 2 of Chapter 7 of the Political Reform Act, Government Code Section 81000, et seq.

ARTICLE II. PROVISIONS OF CONFLICT OF INTEREST CODE.

Section 1. Definitions. The definitions contained in the Political Reform Act of 1974, regulations of the Fair Political Practices Commission (2Cal.Adm.Code Sections 18100 et seq.), and any amendments to the Act or regulations, are incorporated by reference into this Conflict of Interest Code.

Section 2. Designated Employees. The persons holding positions listed in Appendix A are designated employees. It has been determined that these persons make or participate in the making of decisions which may foreseeably have a material effect on financial interests.

Section 3. Disclosure Categories. This Code does not establish any disclosure obligation for those designated employees who are also specified in Government Code Section 87200 if they are designated in this Code in that same capacity or if the geographical jurisdiction of this City is the same as or is wholly included within the jurisdiction in which those persons must report their financial interests pursuant to Article 2 of Chapter 7 of the Political Reform Act, Government Code Sections 87200 et seq.¹

Such persons are covered by this Code for disqualification purposes only. With respect to all other designated employees, the disclosure categories set forth in Appendix B specify which kinds of financial interests are reportable. Such a designated employee

shall disclose in his or her statement of economic interests those financial interests he or she has which are of the kind described in the disclosure categories to which he or she is assigned in Appendix A. It has been determined that the financial interests set forth in a designated employee's disclosure categories are the kinds of financial interests which he or she foreseeably can affect materially through the conduct of his or her office.

Section 4. Statement of Economic Interests: Place of Filing. All designated employees required to submit a statement of economic interest shall file such statements with the City Clerk, who shall be the filing officer.²

Section 5. Statement of Economic Interests: Time of Filing.

- (a) Initial Statements. All designated employees employed by the City on the effective date of this Code, as originally adopted, promulgated and approved by the City Council, shall file statements within thirty days after the effective date of this Code. Thereafter, each person already in a position when it is designated by an amendment to this Code shall file an initial statement within thirty days after the effective date of the amendment.
- (b) Assuming Office Statements. All persons assuming designated positions after the effective date of this Code shall file statements within thirty days after assuming the designated positions.
- (c) Annual Statements. All designated employees shall file statements no later than April 1.
- (d) Leaving Office Statements. All persons who leave designated positions shall file statements within thirty days after leaving office.

Section 6. Contents of and Period Covered by Statements of Economic Interests.

- (a) Contents of Initial Statements. Initial statements shall disclose any reportable investments, interests in real property and business positions held on the effective date of the Code.
- (b) Contents of Assuming Office Statements. Assuming office statements shall disclose any reportable investments, interests in real property and business positions held on the date of assuming office.
- (c) Contents of Annual Statements. Annual statements shall disclose any reportable investments, interests in real property, income and business positions held or received during the previous calendar year provided, however, that the period covered by an employee's first annual statement shall begin on the effective date of the Code or the date of assuming office whichever is later.

(d) Contents of Leaving Office Statements. Leaving office statements shall disclose any reportable investments, interests in real property, income and business positions held or received during the period between the closing date of the last statement filed and the date of leaving office.

¹Designated employees who are required to file statements of economic interests under any other agency's conflict of interest code, or under Article 2 for a different jurisdiction, may expand their statement of economic interests to cover reportable interests in both jurisdictions, and file copies of this expanded statement with both entities in lieu of filing separate and distinct statements, provided that each copy of such expanded statement filed in place of an original is signed and verified by the designated employee as if it were an original. See Govt. Code Section 81004.

²See Govt. Code Section 81010 and 2 Cal. Admin. Code Section 18115 for the duties of filing officers and persons in agencies who make and return copies of statements and forward the originals to the filing officer.

APPENDIX A

DESIGNATED POSITIONS

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Successor Agency to Redevelopment Agency	1, 2, 3, 4, 5, 6, 7, 8

COMMUNITY DEVELOPMENT

Assistant Planner	1, 2, 3, 4, 5, 7
Associate Planner	1, 2, 3, 4, 5, 7

FINANCE INFORMATION SYSTEMS DIVISIONS

Information Systems Manager	1, 2, 5, 6, 7
Senior Accountant	1, 2, 3, 4, 5, 6, 7, 8

HUMAN RESOURCES DEPARTMENT

Human Resources Director	1, 2, 5, 7
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POLICE DEPARTMENT

Police Chief	1, 2, 3, 4, 5, 6, 7, 8
Police Commander	1, 2, 5, 7
Police Lieutenant	1, 2, 5, 7
Senior Administrative Analyst	1, 2, 5, 7

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Chief Building Official/City Architect	1, 2, 3, 4, 5, 7
Assistant Engineer	1, 2, 4, 5, 7
Maintenance Supervisor	1, 2, 5, 7
Maintenance Superintendent	1, 2, 4, 5, 6, 7
Public Works Director	1, 2, 3, 4, 5, 6, 7, 8
Public Works Inspector	1, 2, 4, 5, 7
Administrative Analyst	1, 2, 5, 7

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Recreation & Community Services Dir.	1, 2, 3, 4, 5, 6, 7, 8
Recreation Supervisor	1, 2, 5, 7
Senior Recreation Supervisor	1, 2, 5, 7

CONSULTANTS

Consultants shall be included in the list of designated employees and shall disclose pursuant to the broadest disclosure category in the code subject to the following limitation: The City Manager may determine in writing that a particular consultant, although a "designated position," is hired to perform a range of duties that is limited in scope and thus is not required to fully comply with the disclosure requirements in this section. Such written determination shall include a description of the consultant's duties and, based upon that description, a statement of the extent of disclosure requirements. The City Manager's determination is a public record and shall be retained for public inspection in the same manner and location as this conflict of interest code.

The following positions are not covered by the code because they must file under Government Code Section 87200 and are listed for informational purposes only:

City Attorney
City Council Members
City Manager
City Treasurer
Mayor
Planning Commissioners

APPENDIX B

GENERAL PROVISIONS

When a designated employee is required to disclose investments and sources of income, he or she need only disclose investments in business entities and sources of income which do business in the jurisdiction, plan to do business in the jurisdiction or have done business in the jurisdiction within the past two years. In addition to other activities, a business entity is doing business within the jurisdiction if it owns real property within the jurisdiction. When a designated employee is required to disclose interests in real property, he or she need only disclose real property which is located in whole or in part within or not more than two miles outside the boundaries of the jurisdiction or within two miles of any land owned or used by the local government agency.

Designated employees shall disclose their financial interests pursuant to the appropriate disclosure category as indicated in Appendix A.

DISCLOSURE CATEGORIES

- Category 1: All investments and sources of income.
- Category 2: All interests in real property.
- Category 3: All investments, interests in real property and sources of income subject to the regulatory, permit or licensing authority of the department.
- Category 4: Positions held and investments in business entities and sources of income which engage in land development, construction or the acquisition or sale of real property.
- Category 5: Positions held and investments in business entities and sources of income of the type which, within the past two years, have contracted with the City of Newark to provide services, supplies, materials, machinery or equipment.
- Category 6: Positions held and investments in business entities and sources of income of the type which, within the past two years, have contracted with the designated employee's department to provide services, supplies, materials, machinery or equipment.
- Category 7: Positions held and investments in business entities located in the City of Newark proper or in any land or facilities used, owned, or operated by the City of Newark.
- Category 8: Positions held and investments in business entities or investments with natural persons that have contractual obligations or privileges with the City of Newark.

2016 Local Agency Biennial Notice

Name of Agency: City of Newark

Mailing Address: 37101 Newark Boulevard

Contact Person: Sheila Harrington Phone No. 510-579-0275

Email: sheila.harrington@newark.org Alternate Email: _____

Accurate disclosure is essential to monitor whether officials have conflicts of interest and to help ensure public trust in government. The biennial review examines current programs to ensure that the agency's code includes disclosure by those agency officials who make or participate in making governmental decisions.

This agency has reviewed its conflict of interest code and has determined that (*check one BOX*):

An amendment is required. The following amendments are necessary:

(*Check all that apply.*)

- Include new positions
- Revise disclosure categories
- Revise the titles of existing positions
- Delete titles of positions that have been abolished and/or positions that no longer make or participate in making governmental decisions
- Other (*describe*) _____

The code is currently under review by the code reviewing body.

No amendment is required. (If your code is over five years old, amendments may be necessary.)

Verification (to be completed if no amendment is required)

This agency's code accurately designates all positions that make or participate in the making of governmental decisions. The disclosure assigned to those positions accurately requires that all investments, business positions, interests in real property, and sources of income that may foreseeably be affected materially by the decisions made by those holding designated positions are reported. The code includes all other provisions required by Government Code Section 87302.

Signature of Chief Executive Officer

Date

All agencies must complete and return this notice regardless of how recently your code was approved or amended. Please return this notice no later than **October 3, 2016**, or by the date specified by your agency, if earlier, to:

(PLACE RETURN ADDRESS OF CODE REVIEWING BODY HERE)

PLEASE DO NOT RETURN THIS FORM TO THE FPPC.

**F.3 Resolution declaring October 1, 2016 as Bay Day – from City Manager Becker.
(RESOLUTION)**

Background/Discussion – Bay Day is a newly dedicated annual celebration of the San Francisco Bay. The Association of Bay Area Governments has requested that all cities and counties in the Bay Area pass resolutions declaring October 1, 2016 as Bay Day in recognition of this valuable resource that defines our region. In future years, Bay Day will be celebrated on the first Saturday of October.

Attachment

Action - It is recommended that the City Council, by resolution, declare October 1, 2106 as Bay Day in the City of Newark.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK DECLARING OCTOBER 1, 2016 AS BAY DAY IN
THE CITY OF NEWARK

WHEREAS, the San Francisco Bay is central to the quality of life of all residents of the City of Newark and the Bay Area and sustains a wide range of recreational and commercial activities that are critical to the local economy;

WHEREAS, the health of San Francisco Bay and therefore of the Bay Area is threatened by pollution and climate change, and restoring Bay wetlands and reducing pollution in the Bay provides multiple benefits for all Bay Area residents and local wildlife; and

WHEREAS, the San Francisco Bay Clean Water, Pollution Prevention and Habitat Restoration Program, approved by voters as Measure AA on June 7, 2016, will protect San Francisco Bay for future generations by reducing trash, pollution and harmful toxins, improving water quality, restoring habitat for fish, birds and wildlife, protecting communities from floods, and increasing shoreline public access; and,

WHEREAS, the people of the Bay Area should celebrate San Francisco Bay together as a region on at least one Bay Day each year to inspire appreciation, conversation, education, and action for the Bay, in order to highlight the work of Save The Bay and other environmental organizations and individuals to improve the health of San Francisco Bay over the past fifty years;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark hereby declares that October 1, 2016, and the first Saturday of October in future years to be

“BAY DAY”

in the City of Newark and commends all Bay Day organizers for their efforts to inspire the entire Bay Area to celebrate, protect, and restore San Francisco Bay.

F.4 Authorization for the purchase of two (2) new 2017 Ford SUV Utility Interceptors as replacement patrol vehicles for the Police Department from Folsom Lake Ford and outfitting by Classic Graphics and Lehr and amend the Biennial Budget and Capital Improvement Plan 2016-2018 for Fiscal Year 2016-2017 – from Maintenance Supervisor Connolly. (RESOLUTION)

Background/Discussion – The Newark Police Department is in need of two (2) new patrol vehicles to replace patrol vehicles that have reached the end of their useful life. Authorization is requested to participate in an intergovernmental procurement process for the purchase of two (2) 2017 Ford SUV Utility Interceptors.

An intergovernmental procurement process (also known as a “piggyback”) is an alternative option to Newark’s formal bidding process. By piggybacking onto another agency’s contract, the City would save the cost and time associated with the formal bid process but be able to be assured of competitive set prices established by another agency’s formal bidding process.

Upon completion of a formal bidding process, the State of California entered into a master contract and a procurement contract with Folsom Lake Ford for the purchase of new vehicles. This contract is in effect through June 29, 2017, and includes a provision to allow other agencies to participate.

The competitive process used by the State of California has been reviewed by the Public Works Department and satisfies the City’s requirements for the proposed vehicle purchases.

Based upon the State of California contract with Folsom Lake Ford, the combined purchase cost for both vehicles will be \$81,000. The vehicle cost does not include outfitting of the replacement patrol vehicles which is estimated not to exceed \$37,500. The outfitting is based on specialized vendor quotes.

These vehicles were originally budgeted in the Equipment Replacement Fund for Fiscal Year 2015-16. The budget lapsed as of June 30, 2016 into the Equipment Replacement fund balance. A budget amendment is necessary to reallocate the \$118,500 from fund balance back to an expenditure account.

Action - It is recommended that the City Council, by resolution, authorize the purchase of two (2) new 2017 Ford SUV Utility Interceptors as replacement patrol vehicles for the Police Department from Folsom Lake Ford and outfitting by Classic Graphics and Lehr and amend the Biennial Budget and Capital Improvement Plan 2016-2018 for Fiscal Year 2016-2017.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEWARK AUTHORIZING THE PURCHASE OF TWO (2) NEW 2017 FORD SUV UTILITY INTERCEPTORS AS REPLACEMENT PATROL VEHICLES FOR THE POLICE DEPARTMENT FROM FOLSOM LAKE FORD AND OUTFITTING BY CLASSIC GRAPHICS AND LEHR AND AMEND THE BIENNIAL BUDGET AND CAPITAL IMPROVEMENT PLAN 2016-2018 FOR FISCAL YEAR 2016-2017

WHEREAS, the City of Newark will be participating in an intergovernmental procurement process (also known as “piggyback”) with Folsom Lake Ford as the holder of the State of California procurement contract to purchase two (2) new 2017 Ford SUV Utility Interceptors at a total combined cost of \$81,000; and

WHEREAS, the two proposed replacement vehicles will require equipment outfitting based on quotes not to exceed a combined total cost of \$37,500; and

WHEREAS, funding was designated for this purchase in Fiscal Year 2015-2016 and is still available in the unallocated fund balance in the Equipment Replacement Fund.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark authorizes the purchase of two (2) new 2017 Ford SUV Utility Interceptors as replacement patrol vehicles for the Police Department from Folsom Lake Ford and outfitting by Classic Graphics and Lehr.

BE IT FURTHER RESOLVED, that the certain document entitled “Biennial Budget and Capital Improvement Plan 2016-2018” is hereby amended for Fiscal Year 2016-2017 as follows:

From:		
Equipment Replacement Unallocated Fund Balance	711-0000-2991	\$118,500
To:		
Equipment Replacement Vehicles	711-9710-7052	\$118,500

F.5 Adoption of a Resolution establishing a policy that the revenues generated by Measure GG shall be directed towards replacement of the Police Operations/Emergency Operations Center, the Library, and the Administration Building – from City Manager Becker. (RESOLUTION)

Background/Discussion – In May, 2015, the City Council directed City staff to study the potential replacement of the existing library, police operations facility, Council chambers, and the City administrative offices. The City retained Group 4 Architecture to study this issue. Numerous stakeholder interviews were held. In addition, two community meetings and three City Council work sessions were held in order to solicit public feedback on this proposed project. These efforts – spanning over the course of a year – culminated with Group 4 Architecture recommending the replacement of these facilities on the existing site.

The final report further recommended that the City proceed with detailed planning for this new Civic Center in order to provide seismically safe, energy efficient, accessible, and cost-effective facilities that would serve the citizens of Newark with needed public safety, administrative, cultural, and educational services.

Group 4 Architecture estimated that the cost to replace these facilities is \$64 million dollars. Several options of funding sources were evaluated, including issuing a General Obligation Bond, issuing a Special Tax Bond, increasing the Transient Occupancy Tax, or adopting a one-half cent sales tax increase. The consultant concluded that a one-half cent local sales tax or a General Obligation Bond could provide the necessary funding for this project.

In response to these conclusions, the Council directed staff to retain a polling consultant to evaluate possible public support for a revenue measure. The City retained Godbe Research to conduct a public opinion poll and the results were presented to the Council in June of this year. In summary, the results indicated considerable support for a sales tax measure to fund a new library building, police operations facility, and City administrative offices. This support was tied to improved public safety service and enhanced library services for all age groups.

In July the Council adopted a resolution placing a local one-half cent sales tax increase on the November 8, 2016, General Election. The Registrar has titled this measure as “Measure GG”.

Currently the sales tax rate in Newark is 9.5%. In 2012, California voters passed Proposition 30, a temporary ¼ cent sales tax increase to fund education. This temporary sales tax increase sunsets in December of this year, which means that, starting January 1, 2017, sales tax in Newark will reduce from 9.5% to 9.25%. If Measure GG passes, then the sales tax rate for most items sold in Newark would be 9.75%.

Measure GG is a general sales tax, which means that if a majority of voters vote in favor of the measure then the City could use the revenue for any legitimate governmental purpose. If adopted, then the revenue will be deposited into the City’s General Fund and the ultimate use of

those monies would be at the discretion of the Council. However, the Council can adopt a policy statement at this time providing a guideline for its use.

Attached is a proposed resolution establishing a policy that revenue generated from Measure GG should fund the Civic Center project, specifically the replacement of the seismically unsafe police operations/emergency operations center with a new center that can provide updated crime-fighting technology, replacement of the aging library building with a new library building that will meet safety codes and provide space for senior and children's programming, and replacement of the administration building that can better serve the public. Staff recommends that the Council adopt this resolution to demonstrate the Council's intention to use the revenue generated by Measure GG to fund this Civic Center project.

Attachment

Action - It is recommended that the City Council, by resolution, establish a policy that revenues generated by Measure GG shall be directed towards replacement of the police operations/emergency operations center, the library, and the administration building.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEWARK
ESTABLISHING A POLICY THAT REVENUES GENERATED BY
MEASURE GG SHALL BE DIRECTED TOWARDS REPLACEMENT
OF THE POLICE OPERATIONS/EMERGENCY OPERATIONS
CENTER, THE LIBRARY, AND THE ADMINISTRATION BUILDING

WHEREAS, on July 14, 2016, the City Council approved Resolution No. 10,535 placing Measure GG on the November 8, 2016 ballot; and

WHEREAS, the City Council placed the measure on the ballot following a lengthy process to gauge public opinion and support for the measure; and

WHEREAS, Measure GG is a general tax and the revenue generated by the tax can be used for any legitimate public purpose; and

WHEREAS, a significant priority of the community, as demonstrated through the outreach and survey process, supports a one-half cent local sales tax to fund the replacement of the seismically unsafe police operations/emergency operations center with a new center that can provide updated crime-fighting technology, replacement of the aging library with a new library that will meet safety codes and provide space for senior and children's programming, and replacement of the administration building that can better serve the public; and

WHEREAS, the City Council desires to memorialize its intent that Measure GG monies should be directed towards the replacement of the police operations/emergency operations center, the library, and the administration building.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Newark that the foregoing recitals are true and correct and made a part of this resolution.

BE IT FURTHER RESOLVED AS FOLLOWS:

- Section 1. With respect to revenues from Measure GG on the November 8, 2016 ballot, it shall be the policy of the Newark City Council that the use of funds will be directed towards the replacement of the seismically unsafe police operations/emergency operations center with a new center that can provide updated crime-fighting technology, replacement of the aging library with a new library that will meet safety codes and provide space for senior and children's programming, and replacement of the administration building that can better serve the public. Any additional funds shall be directed to City facilities and services and any other such permissible governmental purpose.
- Section 2. That the City Clerk shall certify to the passage and adoption of this Resolution and enter it into the book of original Resolutions.



City of Newark

MEMO

DATE: August 29, 2016
TO: City Council
FROM: Sheila Harrington, City Clerk *SH*
SUBJECT: Approval of Audited Demands for the City Council Meeting of September 8, 2016.

REGISTER OF AUDITED DEMANDS

Bank of America General Checking Account

<u>Check Date</u>		<u>Check Numbers</u>	
July 22, 2016	Page 1-2	108456 to 108533	Inclusive
July 28, 2016	Page 1-2	108534 to 108589	Inclusive
August 5, 2016	Page 1-2	108590 to 108667	Inclusive
August 11, 2016	Page 1-2	108668 to 108750	Inclusive
August 19, 2016	Page 1-2	108751 to 108812	Inclusive
August 25, 2016	Page 1-2	108813 to 108876	Inclusive



City of Newark

MEMO

DATE: August 29, 2016

TO: Sheila Harrington, City Clerk

FROM: Susie Woodstock, Administrative Services Director *SW*

SUBJECT: Approval of Audited Demands for the City Council Meeting of September 8, 2016.

The attached list of Audited Demands is accurate and there are sufficient funds for payment.

1

Final Disbursement List. Check Date 07/22/16, Due Date 08/01/16, Discount Date 08/01/16. Computer Checks.

Bank 1001 US BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108456	7922	AARP ATTN ANNETTE PAREDES	07/22/16	100.00	AARP SMART DRIVER SAFETY PROGRAM 07/08/1
108457	3979	DYNIA S SMITH DBA ACCURACY INTERNATIONAL	07/22/16	100.00	FOREIGN LANGUAGE TRANSLATION
108458	10223	ACCURINT	07/22/16	428.40	BACKGROUND CHECKS - JUNE'16
108459	4233	ALAMEDA COUNTY AUDITOR-CONTROLLER C/O ST	07/22/16	2,665.00	LAFCO COST
108460	3853	COUNTY OF ALAMEDA INTERNAL AUDIT UNIT RI	07/22/16	1,237.50	CITATION PROCESSING FEES - JUNE'16
108461	287	ALAMEDA COUNTY SHERIFF'S OFFICE GREGORY	07/22/16	91.25	CRIME LAB FEES - JUNE'16
108462	9369	ASCAP	07/22/16	336.50	LICENSE FEE
108463	9680	BAY CENTRAL PRINTING	07/22/16	133.89	BUSINESS CARDS
108464	10261	CARBONIC SERVICE	07/22/16	308.16	ONGOING CO2 PURCHASES
108465	11254	CENTRAL MEDICAL LAB INC	07/22/16	65.00	BLOOD WITHDRAWAL SERVICE
108466	3751	BRYAN COBB	07/22/16	64.68	EXPENSE REIMBURSEMENT
108467	10970	COCA COLA REFRESHMENTS UNION CITY SALES	07/22/16	1,483.05	COKE BEVERAGES FOR CAFE
108468	5416	CONCEPT 2 CTS INC.	07/22/16	1,264.50	1 CONCEPT 2 MODEL E ROWER
108469	10649	HAI LING HUANG AND HOMER YAU	07/22/16	1,000.00	PERFORMANCE BOND RTN EP# 2014-488 Reinst
108470	10793	MARY CRIS RUIZ	07/22/16	300.00	RENTAL DEPOSIT REFUND
108471	10793	ANTHONY WALLACE	07/22/16	300.00	RENTAL DEPOSIT REFUND
108472	10793	BRIGHT HORIZON CHINESE SCHOOL	07/22/16	50.00	DEPOSIT REFUND
108473	10793	MISSION HILLS MIDDLE SCHOOL	07/22/16	150.00	RENTAL DEPOSIT REFUND
108474	10793	IRMA WYHS	07/22/16	71.00	TRIP CANCELLATION REFUND
108475	10793	KATHLEEN SCHULER	07/22/16	71.00	TRIP CANCELLATION REFUND
108476	10793	CONNIE RIMBEY	07/22/16	65.00	TRIP CANCELLATION REFUND
108477	10793	MURIEL RODRIGUES	07/22/16	65.00	TRIP CANCELLATION REFUND
108478	10793	NEWARK JUNIOR HIGH SCHOOL	07/22/16	300.00	RENTAL DEPOSIT REFUND
108479	10793	STANTON ELEMENTARY SCHOOL	07/22/16	184.00	RENTAL DEPOSIT REFUND PLUS OVERPAYMENT O
108480	10793	POTRERO HILL NEIGHBORHOOD HOUSE	07/22/16	50.00	RENTAL DEPOSIT REFUND
108481	10793	MORELAND SCHOOL DISTRICT CAMP	07/22/16	50.00	RENTAL DEPOSIT RETURN
108482	10793	KENNY THOMAS	07/22/16	50.00	RENTAL DEPOSIT RETURN
108483	10793	CHINESE COMMUNITY UNITED METHODIST CHURC	07/22/16	50.00	RENTAL DEPOSIT RETURN
108484	10677	DAILY JOURNAL CORP CALIFORNIA NEWSPAPER	07/22/16	35.00	LEGAL ADS
108485	41	DALE HARDWARE	07/22/16	255.50	HARDWARE SUPPLIES - JUNE'16
108486	3728	DEPARTMENT OF JUSTICE ACCOUNTING OFFICE	07/22/16	804.00	FINGERPRINTING FEES - JUNE'16
108487	2135	DEPARTMENT OF INDUSTRIAL RELATIONS PAYME	07/22/16	195.00	ANNUAL QSI INSPECTION RECORD
108488	380	DEPARTMENT OF SOCIAL SERVICES	07/22/16	484.00	ANNUAL LICENSE FEE FOR LICENSED CHILD CA
108489	10772	MARVIN RAMIREZ EL REPORTERO	07/22/16	362.96	ELECTION AD
108490	10852	FEHR & PEERS	07/22/16	1,060.50	CONSULTANT WORK FOR NEWARK PEDESTRIAN AN
108491	7351	KARL FREDSTROM	07/22/16	91.10	EXPENSE REIMBURSEMENT Reinstated from cl
108492	5106	CITY OF FREMONT FINANCIAL SERVICES OFFIC	07/22/16	16,929.24	SHELTER LEASE FY 16/17
108493	5106	CITY OF FREMONT REVENUE DIVISION	07/22/16	11,192.16	NEWARK PARATRANSIT SERVICES FOR MAY'16
108494	313	FREMONT URGENT CARE CENTER	07/22/16	60.00	ANNUAL PO FOR PRE-EMPLOYMENT AND DOT PHY
108495	167	HARRIS COMPUTER SYSTEMS	07/22/16	6,156.72	SELECT FINANCIALS ERP MAINTENANCE JULY'1
108496	1591	PHILIP H HOLLAND	07/22/16	300.00	EXPENSE REIMBURSEMENT
108497	7593	BRUCE HOWCROFT	07/22/16	300.00	EXPENSE REIMBURSEMENT
108498	11123	I PIZZA	07/22/16	4,890.30	PIZZA FOR CAFE AND PARTIES - MAY'16
108499	3697	J W ENTERPRISES	07/22/16	169.44	PORTABLE RESTROOM FOR SOFTBALL FIELD
108500	865	JOINT VENTURE-SILICON VALLEY NETWORK	07/22/16	3,350.00	PUBLIC INVESTMENT
108501	6009	JT2 INTEGRATED RESOURCES CORPORATE ACCOU	07/22/16	149,361.40	SPECIAL DEPOSIT REQUEST FOR R. BASWELL
108502	6009	JT2 INTEGRATED RESOURCES ATTN: CLAIMS AC	07/22/16	48,594.87	WORKER'S COMPENSATION CLAIMS - JUNE'16
108503	293	LANGUAGE LINE SERVICES INC	07/22/16	349.55	INTERPRETATION SVCS
108504	3644	RELX INC. DBA LEXISNEXIS	07/22/16	352.00	ONLINE LEGAL RESEARCH SUBSCRIPTION - JUN
108505	11341	LIFE FITNESS	07/22/16	4,473.63	1 SCI FIT PRO 2
108506	11246	LOOMIS ARMORED	07/22/16	262.46	ARMORED CAR SERVICE - JUNE'16

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108507	3518	MAD SCIENCE OF THE BAY AREA ATTN SUSAN F	07/22/16	1,796.40	RECREATION CONTRACT
108508	10298	MANAGED HEALTH NETWORK BANK OF AMERICA	07/22/16	374.48	ANNUAL PO FOR EMPLOYEE ASSISTANCE PROGRA
108509	11360	MIKE DAVIS LANDSCAPE SERVICES	07/22/16	7,544.77	PARK & LANDSCAPE MAINTENANCE SERVICES PR
108510	10490	MILPITAS GOLFLAND	07/22/16	575.00	SUMMDER DAY CARE TRIP 8/18
108511	11357	MISSION UNIFORM SERVICE	07/22/16	2,212.68	UNIFORM SERVICE - JUNE'16
108512	611	KKR AUTOMOTIVE DBA NAPA AUTO PARTS	07/22/16	6,609.76	USED OIL KITS
108513	325	NEWARK UNIFIED SCHOOL DISTRICT BUSINESS	07/22/16	2,600.38	RENTAL FOR NMHS THEATER FOR
108514	327	OCCU-MED, LTD. FEDERAL TAX ID# 52-233351	07/22/16	318.50	ANNUAL PO FOR PRE-EMPLOYMENT PHYSICALS
108515	10683	PITNEY BOWES GLOBAL FINANCIAL SRVCS	07/22/16	566.76	POSTAGE SUPPLIES - JUNE'16
108516	9337	ELIZABETH DANSIE, M.A., M.F.C.C. PSYCHOL	07/22/16	11,100.00	PSYCH SVCS FOR FY 16/17
108517	9811	REDFLEX TRAFFIC SYSTEMS	07/22/16	18,800.00	REDLIGHT CAMERA MONITORING - JUNE'16
108518	7885	RENNE SLOAN HOLTZMAN SAKAI PUBLIC LAW GR	07/22/16	3,670.00	CONSULTING & LITIGATION SVCS - JUNE'16
108519	11375	RESIDENCE INN SAN JOSE SOUTH	07/22/16	3,581.88	OPEN PO RESIDENCE INN SAN JOSE FOR ACADE
108520	1282	EDDA RIVERA	07/22/16	45.40	EXPENSE REIMBURSEMENT
108521	1603	CITY OF SAN LEANDRO FINANCE DEPT. ATTN:	07/22/16	350.00	MEMBERSHIP DUES
108522	11277	SHRED-IT USA	07/22/16	119.32	SHREDDING SVCS (SVC DATE 06/30/16)
108523	11297	SOFT RESOURCES LLC	07/22/16	9,587.78	FINANCE SOFTWARE EVALUATION - JUNE'16
108524	220	SONITROL	07/22/16	1,059.00	FY 2015-16 QUARTERLY MONITORING
108525	2778	STATE OF CALIFORNIA FRANCHISE TAX BOARD	07/22/16	150.00	PAYROLL DEDUCTION - GARNISHMENT
108526	2778	STATE OF CALIFORNIA FRANCHISE TAX BOARD	07/22/16	440.00	PAYROLL DEDUCTION - GARNISHMENT
108527	11306	SUNGARD PUBLIC SECTOR INC	07/22/16	18,500.00	TRAKIT ANNUAL MAINTENANCE FEES AND USER
108528	11396	SWA SERVICES GROUP INC	07/22/16	906.06	FY 2015-16 JANITORIAL SERVICE
108529	1476	THE OAKLAND ZOO SCHOOL PROGRAMS REGISTRA	07/22/16	498.25	ASH STREET TRIP 8/2
108530	2038	U S BANK CM-9690	07/22/16	880.00	LOIB DIST#26 REASSESSMENT
108531	7517	U S FOODS INC SAN FRANCISCO	07/22/16	2,178.43	CAFE PURCHASES
108532	9541	UNITED SITE SERVICES	07/22/16	200.15	PORTABLE RESTROOM FOR FISHING IN THE CIT
108533	11160	VIEVU	07/22/16	340.43	BODY CAMERA REPAIR
Total				356,069.19	

1

Final Disbursement List. Check Date 07/28/16, Due Date 08/08/16, Discount Date 08/08/16. Computer Checks.

Bank 1001 US BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108534	10658	4LEAF INC	07/28/16	10,800.00	FY 2015-16 YE BLDG INSPECTION SERVICES (
108535	10	ABC FIRE PROTECTION INC	07/28/16	178.90	FY15-16 FIRE EXTINGUISHER - 06/30/16
108536	11094	ACME AUTO LEASING, LLC	07/28/16	1,909.44	ARMORED RESCUE VEH LEASE - 07/16
108537	1774	AIRGAS USA, LLC	07/28/16	53.85	FY15-16 WELDING SUPPLIES - JUNE'16
108538	1396	ALAMEDA COUNTY FIRE DEPARTMENT ATTN: ACC	07/28/16	2,525.85	FY 2015-16 YEAR END PO - 05/18/16
108539	344	ALAMEDA COUNTY WATER DISTRICT	07/28/16	61,618.09	FY 2015-16 YEAR END PO
108540	14	ALPINE AWARDS	07/28/16	129.54	COED VOLLYBALL AWARDS
108541	411	ATG BENEFIT SOLUTIONS	07/28/16	680.80	ANNUAL PO FOR EMPLOYEE LIFE INSURANCE -
108542	1130	CRAIG ASHMORE	07/28/16	2,123.50	RECREATION CONTRACT 07/18-07/21/16
108543	348	AT&T	07/28/16	114.84	MONTHLY TELECOM 07/16
108544	10990	BADAWI & ASSOCIATES	07/28/16	26,303.85	AUDITING SERVICES FY15/16
108545	1106	ROBERT SCOTT BASWELL	07/28/16	5,428.33	ADPP - 07/28/16
108546	10791	BAY AREA REPROGRAPHIC & SUPPLY INC	07/28/16	125.12	PAPER SUPPLY FOR PLOTTER 18X24
108547	11419	BRAD HEIMER	07/28/16	931.31	EXPENSE REIMBURSEMENT - 04/25-05/06/16
108548	11286	CAL PERS FISCAL SERVICES DIVISION	07/28/16	229,000.00	ARC PAYMENT INTO OPEB TRUST
108549	9150	CAL-WEST LIGHTING & SIGNAL MAINTENANCE I	07/28/16	16,817.29	FY15-16 TRAFFIC SIGNAL AND STREETLIGHT M
108550	4739	CALIFORNIA MUNICIPAL STATISTICS INC	07/28/16	1,450.00	CAFR STATISTICAL PACKAGE
108551	10060	COMCAST	07/28/16	13.94	CABLE SVC 06/28-07/27/16
108552	10649	SANDEAR SOLAR & ELECTRIC	07/28/16	193.60	PERMIT REFUND (80%) CONV-444-15
108553	10649	PACIFIC CONSTRUCTION & DESIGN	07/28/16	290.40	PERMIT REFUND (80%) SFD2016-0403
108554	10649	JOSE MACHADO	07/28/16	200.00	REFUND FOR OVERPAYMENT
108555	10649	ROUSE PROPERTIES, INC. / NEWPARK MALL AT	07/28/16	656.38	REFUND FOR OVERPAYMENT
108556	10677	DAILY JOURNAL CORPORATION CALIFORNIA NEW	07/28/16	577.50	TRI-CITY VOICE NOTICE TO CONTRACTORS (PO
108557	10794	DUKE DE LEON	07/28/16	150.00	VIDEO RECORDING SERVICES 06/09, 06/14, 0
108558	11081	DIVISION OF THE STATE ARCHITECT ATTN: SB	07/28/16	115.56	CA STATE CASP FEES
108559	9511	DWYS LLC DBA RENAISSANCE TOTS, LLC ATTN	07/28/16	509.00	RECREATION CONTRACT
108560	10642	FASTENAL COMPANY	07/28/16	724.60	FY15-16 MISC BLDG SUPPLIES
108561	5106	CITY OF FREMONT FINANCIAL SERVICES OFFIC	07/28/16	11,118.93	APA FOR NEWARK PARATRANSIT SERVICES FOR
108562	4441	FREMONT UNIFIED SCHOOL DISTRICT	07/28/16	736.00	BUS TRANSPORT 07/19/16
108563	7714	CHRISTINA GENDREAU	07/28/16	30.00	WATER ACCT CLOSURE REFUND
108564	2540	DEOL OIL JARVIS SHELL	07/28/16	460.73	FUEL/CAR WASHES - 02/16-05/16
108565	10486	SHAKATI KHALSA	07/28/16	60.00	RECREATION CONTRACT
108566	5069	KIDZ LOVE SOCCER	07/28/16	1,106.40	RECREATION CONTRACT 07/11-07/15/16
108567	7964	KNORR SYSTEMS INC	07/28/16	3,320.56	FY15-16 YE POOL REPAIR - 06/15/16
108568	3518	MAD SCIENCE OF THE BAY AREA ATTN SUSAN F	07/28/16	1,728.00	RECREATION CONTRACT
108569	10298	MANAGED HEALTH NETWORK BANK OF AMERICA	07/28/16	379.44	ANNUAL PO FOR EMPLOYEE ASSISTANCE PROGRA
108570	11378	MNS ENGINEERS INC	07/28/16	45,272.41	ENGINEERING ON-CALL SERVICES FOR PLAN RE
108571	10886	MUNISERVICES	07/28/16	31.50	BUSINESS LICENSE DISCOVERY - PERIOD ENDI
108572	349	PACIFIC GAS & ELECTRIC	07/28/16	79,642.26	FY 2015-16 YEAR END PO - 07/12/16
108573	10580	PEELLE TECHNOLOGIES INC	07/28/16	6,192.74	SCANNING OF LARGE PLANS - 6/30/16
108574	78	PERFORMANCE PEST MANAGEMENT LPC SERVICES	07/28/16	252.00	FY 2015-16 YEAR END PO
108575	11235	PHILIPPINE NEWS	07/28/16	225.00	LEGAL AD 07/08/16
108576	11021	PRO-FIT	07/28/16	587.50	QUARTERLY PREVENTIVE MAINT - 07-09/16
108577	7885	RENNE SLOAN HOLTZMAN SAKAI PUBLIC LAW GR	07/28/16	1,482.50	YEAR END PO FOR LABOR ADVICE - 06/30/16
108578	11375	RESIDENCE INN SAN JOSE SOUTH	07/28/16	3,582.72	OPEN PO RESIDENCE INN SAN JOSE FOR ACADE
108579	11373	RRM DESIGN GROUP	07/28/16	27,999.07	NEWARK ZONING CODE UPDATE 06/16
108580	279	S & S WORLDWIDE INC ACCOUNTS RECEIVABLE	07/28/16	49.16	SUPPLIES FOR LIC. CHILD CARE
108581	654	SFPUC-WATER DEPARTMENT CUSTOMER SERVICE	07/28/16	7,237.36	FY 2015-16 RENT-WATER 06/01/16 & 06/05/1
108582	40	STAPLES ADVANTAGE DEPT LA	07/28/16	1,596.00	OFFICE SUPPLIES
108583	11390	TRUE FITNESS	07/28/16	9,995.20	2 CS 900 UPRIGHT BIKES
108584	7517	U S FOODS INC SAN FRANCISCO	07/28/16	875.11	FOOD FOR CAFE

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MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108585	10968	UTILITY TELEPHONE	07/28/16	26,867.14	YEAR END TELECOM - JUNE'16
108586	7011	VALLEY YELLOW PAGES	07/28/16	2,437.50	YELLOW PAGES AD FOR USED OIL GRANT
108587	5623	VERIZON WIRELESS	07/28/16	418.11	FY15-16 YE IPAD SERVICE SVC DATES 07/11-
108588	5050	WEST COAST ARBORISTS INC	07/28/16	12,561.25	FY15-16 TREE WORK - 06/01-06/15/16
108589	11228	WORLD JOURNAL SF LLC	07/28/16	195.00	LEGAL AD 07/11/16
Total				610,061.28	

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MICF Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108590	10	ABC FIRE PROTECTION INC	08/05/16	2,316.55	FY 2016-17 FIRE EXTINGUISHER MAINTENANCE
108591	1774	AIRGAS USA, LLC	08/05/16	114.94	FY 2016-17 WELDING SUPPLIES
108592	8895	ALAMEDA COUNTY ENVIRONMENTAL HEALTH	08/05/16	634.00	FY 2015-16 CUPA FEES
108593	1396	ALAMEDA COUNTY FIRE DEPARTMENT ATTN: ACC	08/05/16	534.93	06/23-06/24/16
108594	9144	MICHAEL ALLUM	08/05/16	1,065.94	ARPOC RESERVE CONFERENCE ADVANCE
108595	8414	ANDRE'S MECHANICAL & GENERAL ENGINEERING	08/05/16	945.00	ENGINEERING SERVICES 06/15/16
108596	1085	AT&T	08/05/16	39.49	ATT LONG DISTANCE JULY 2016
108597	147	AT&T MOBILITY	08/05/16	1,985.06	CELL SVC FOR MDT'S 06/14-07/13/16
108598	5122	JEREMY BECK	08/05/16	200.00	EXPENSE RIEMBURSMENT
108599	1816	CA SURVEYING & DRAFTING SUPPLY	08/05/16	360.36	PAPER SUPPLY FOR PLOTTER
108600	458	CHEVRON AND TEXACO BUSINESS CARD SERVICE	08/05/16	743.48	GASOLINE
108601	6304	CLASSIC GRAPHICS T & J LEWIS INC	08/05/16	547.50	FY 2016-17 AUTO BODY REPAIRS/DECALS
108602	10060	COMCAST	08/05/16	223.89	CABLE TV
108603	10649	FERGUS MCHUGH UNDERGROUND	08/05/16	1,000.00	PERFORMANCE BOND RTN EP# 2016-0090
108604	10649	DEVINDER MADHOK	08/05/16	193.60	80% REFUND OF BUILDING PERMIT#SFD2016-02
108605	10793	RENALDA GALLARDO	08/05/16	300.00	RENTAL DEPOSIT REFUND
108606	10793	BAY AREA EAGLES	08/05/16	15.00	RENTAL DEPOSIT REFUND
108607	10793	HISAKO SAVORY	08/05/16	48.00	TRIP CANCELLATION REFUND
108608	10793	BERNADETTE TUTTLE	08/05/16	48.00	TRIP CANCELLATION REFUND
108609	10793	MARTY KIJIMA	08/05/16	24.00	TRIP CANCELLATION REFUND
108610	10793	KASSIE HOLLAND	08/05/16	24.00	TRIP CANCELLATION REFUND
108611	10793	MARY ANN GIOVANNIS	08/05/16	24.00	TRIP CANCELLATION REFUND
108612	10793	HANANO ELSON	08/05/16	26.00	TRIP CANCELLATION REFUND
108613	10793	JOY ORTIZ	08/05/16	52.00	TRIP CANCELLATION REFUND
108614	10793	NEWARK BETTERMENT CORPORATION	08/05/16	90.75	REFUND FOR CANCELLED CLASS
108615	10793	PIRU YU	08/05/16	300.00	MEETING ROOM RENTAL DEPOSIT REFUND
108616	10793	MAHESH MOLAKALAPALLI	08/05/16	300.00	MEETING ROOM RENTAL DEPOSIT REFUND
108617	10793	CITY OF MILPITAS	08/05/16	50.00	DEPOSIT REFUND
108618	10793	CITY OF OAKLAND - DIMOND RECREATION CENT	08/05/16	89.00	RENTAL DEPOSIT REFUND PLUS OVERPAYMENT F
108619	10793	VALENTINA LEDESMA	08/05/16	43.00	CANCELLED CLASS REFUND
108620	10793	TAMARA RAHIMI	08/05/16	19.50	CLASS WAS ACCIDENTLY BOOKED TWICE
108621	10677	DAILY JOURNAL CORP CALIFORNIA NEWSPAPER	08/05/16	18.75	LEGAL ADS
108622	41	DALE HARDWARE	08/05/16	248.43	FY 2016-17 MISC. MAINTENANCE PARTS/SUPPL
108623	11400	DANIEL FRANKE	08/05/16	549.94	EXPENSE REIMBURSEMENT
108624	10794	DUKE DE LEON	08/05/16	420.00	VIDEO RECORDING SERVICES
108625	184	DEPARTMENT OF TRANSPORTATION CASHIER HQ	08/05/16	591.13	FY15-16 SHARED COSTS FOR TRAFFIC SIGNALS
108626	10575	ALHAMBRA	08/05/16	65.55	WATER SERVICE FOR SDC FISCAL YR 15/16
108627	11100	DU-ALL SAFETY	08/05/16	540.00	WRITTEN SAFETY PROGRAMS/TRAINING
108628	10642	FASTENAL COMPANY	08/05/16	12.04	FY 2016-17 HARDWARE & FASTENERS
108629	10852	FEHR & PEERS	08/05/16	9,795.82	BICYCLE AND PEDESTRIAN MASTER PLAN CONSU
108630	5106	CITY OF FREMONT REVENUE DIVISION	08/05/16	1,250.00	Case Mgmt 04/16-06/16
108631	10999	GURUS EDUCATIONAL SERVICES RITA KHURANA	08/05/16	920.50	RECREATION CONTRACT
108632	10910	TG MOTOR CO DBA HARLEY-DAVIDSON SJ	08/05/16	1,879.27	MOTORCYCLE PARTS/REPAIR 06/29/16
108633	167	HARRIS COMPUTER SYSTEMS	08/05/16	3,078.36	SELECT FINANCIALS ERP MAINTENANCE FY2016
108634	3635	RAYMOND HOPPE	08/05/16	83.22	EXPENSE REIMBURSEMENT
108635	7311	INTERNATIONAL CODE COUNCIL INC	08/05/16	1,145.30	2016 CA BLDG CODE BOOKS
108636	10749	JACK JAMES TOW INC	08/05/16	40.00	TOW SERVICES 06/29/16
108637	11402	JESSICA RIVAS	08/05/16	661.75	EXPENSE REIMBURSEMENT
108638	6009	JT2 INTEGRATED RESOURCES CORPORATE ACCOU	08/05/16	3,573.03	ANNUAL PO FOR WORKER'S COMP ADMINISTRATI
108639	6786	STACEY KENISON	08/05/16	96.57	EXPENSE REIMBURSEMENT
108640	11170	KEYSER MARSTON ASSOC, INC	08/05/16	1,300.00	PROFESSIONAL SERVICES - 06/16

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MICF# Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108641	277	LAKESHORE LEARNING MATERIALS	08/05/16	831.93	SUPPLIES FOR LIC. CHILD CARE
108642	11391	LIBOW AND WELLMAN MUNICIPAL LAW	08/05/16	273.00	LEGAL SERVICES 06/16
108643	80	LYNN PEAVEY COMPANY	08/05/16	383.22	EVIDENCE SUPPLIES
108644	9029	MEYERS NAVE RIBACK SILVER & WILSON	08/05/16	7,909.34	CONSULTING SVCS
108645	6	KAREN MORALDA	08/05/16	66.63	EXPENSE REIMBURSEMENT
108646	5046	MOTOROLA SOLUTIONS, INC	08/05/16	1,971.00	PORTABLE RADIO BATTERIES
108647	10920	MOUNTAIN MIKE'S PIZZA	08/05/16	324.31	SPECIAL EVENT FOOD CASE#16-2105
108648	10710	MUNICIPAL CODE CORPORATION	08/05/16	500.00	ANNUAL WEB HOSTING
108649	615	NATIONAL RECREATION & PARK ASSOC NRPA ME	08/05/16	165.00	NRPA Membership
108650	1738	NEWARK BETTERMENT CORPORATION	08/05/16	1,348.00	TRANSFER OF FUNDS - BANK ERROR
108651	1077	NEWARK EXPLORER POST #467 ATTN: SAL SAND	08/05/16	8,709.62	EXPLORER ACADEMY EXPENSES
108652	10961	BRETT OEVERNDIEK	08/05/16	44.32	EXPENSE REIMBURSEMENT
108653	172	ORIENTAL TRADING COMPANY, INC	08/05/16	231.74	SUPPLIES FOR LIC. CHILD CARE
108654	349	PACIFIC GAS & ELECTRIC	08/05/16	53.97	FY16-17 PG&E COSTS FOR STREETLIGHTS AND
108655	78	PERFORMANCE PEST MANAGEMENT LPC SERVICES	08/05/16	1,326.00	FY 2015-16 PEST CONTROL
108656	329	PHOENIX GROUP INFORMATION SYSTEMS	08/05/16	417.65	PARKING CITATION PROGRAM 06/16
108657	4176	MICHAEL QUEBEC	08/05/16	762.00	RECREATION CONTRACT
108658	11382	R&R PACIFIC CONSTRUCTION	08/05/16	912.75	RETENTION PAYMENT FOR PRJ 1125
108659	11403	ROYSTON HANAMOTO ALLEY & ABEY DBA RHAA	08/05/16	9,401.88	NEWARK PARKS MASTER PLAN - 06/16
108660	279	S & S WORLDWIDE INC ACCOUNTS RECEIVABLE	08/05/16	33.12	SUPPLIES FOR PRESCHOOL
108661	654	SFPUC-WATER DEPARTMENT CUSTOMER SERVICE	08/05/16	1,457.80	FY 2016-17 WATER/RENT
108662	112	WILLE ELECTRICAL SUPPLY CO INC	08/05/16	131.48	ELECTRICAL SUPPLIES
108663	5164	SAN MATEO REGIONAL NETWORK INC SMRN.COM	08/05/16	170.00	WEB HOSTING, EMAIL FILTERING, & NETWORK
108664	11296	SIGNATURE CARPET ONE	08/05/16	2,854.00	FY 2016-17 PROJECT 1097
108665	11396	SWA SERVICES GROUP INC	08/05/16	248.84	WORK PERFORMED IN 05/16 & 06/16
108666	1765	TEMPERATURE TECHNOLOGY INC	08/05/16	520.00	FY 2016-17 HVAC CONTRACTOR
108667	2038	U.S. BANK ST. PAUL CM-9705	08/05/16	851,800.24	AID 26 RFND 2013 ACCT# 204275000
Total				931,475.49	

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MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108668	10736	ABACUS PRODUCTS INC	08/11/16	706.28	PRINTING SVCS
108669	332	ADAMSON POLICE PRODUCTS PROFESSIONAL POL	08/11/16	9,730.11	SWAT SUPPLIES
108670	332	ADAMSON POLICE PRODUCTS	08/11/16	306.55	SWAT SUPPLIES
108671	10449	AFLAC ATTN: REMITTANCE PROCESSING SERVIC	08/11/16	1,627.46	PAYROLL - SHORT TERM DISABILITY PREM JUL
108672	413	AIR EXCHANGE INC	08/11/16	665.75	SERVICE/MAINTENANCE
108673	177	ALAMEDA COUNTY TRANSPORTATION COMMISSION	08/11/16	21,299.00	FY2016-2017 MEMBER AGENCY FEES
108674	344	ALAMEDA COUNTY WATER DISTRICT	08/11/16	2,106.06	WATER/UTILITIES 07/16
108675	284	INFORMATION TECHNOLOGY DEPARTMENT ATTN:	08/11/16	2,858.19	AWS ACCESS FEES 06/16
108676	12	ALLIED AUTO STORES INC	08/11/16	386.86	AUTO SUPPLIES
108677	11362	ANNETTE PAREDES	08/11/16	46.88	EXPENSE REIMBURSEMENT
108678	11227	GUSTAVO ARROYO	08/11/16	510.00	EXPENSE REIMBURSEMENT
108679	134	BATTERY SYSTEMS INC ATTN: ACCOUNTS RECEI	08/11/16	572.64	FY 2016-17 BATTERIES
108680	4534	BAY AREA BARRICADE SERVICE INC	08/11/16	289.91	PROJECT 1135 - FY 2016-17 REGULATORY & S
108681	9680	BAY CENTRAL PRINTING	08/11/16	63.66	BUSINESS CARD IMPRINTING
108682	23	FRANK BONETTI PLUMBING INC	08/11/16	989.95	SERVICE PERFORMED 04/26/16
108683	6630	BOUNDTREE MEDICAL LLC	08/11/16	2,144.66	GLOVES
108684	11419	BRAD HEIMER	08/11/16	1,079.41	EXPENSE REIMBURSEMENT 06/06-06/17/16
108685	33	CENTRAL TOWING & TRANSPORT LLC	08/11/16	668.00	TOWING SERVICES 06/16
108686	3751	BRYAN COBB	08/11/16	69.36	EXPENSE REIMBURSEMENT
108687	11415	GARY CRAIG	08/11/16	200.00	ENTERTAINMENT FOR SENIOR CENTER
108688	242	CROP PRODUCTION SERVICES	08/11/16	2,311.55	PESTICICE/CHEMICALS
108689	10649	PFSA CO#16 NEWARK HOLY GHOST	08/11/16	2,766.23	PERFORMANCE BOND RTN EP# 2016-0139
108690	10793	MARK SALINAS	08/11/16	300.00	REFUND FOR SUMMER SOFTBALL LEAGUE
108691	10793	LAPORSHA MERRITT	08/11/16	100.00	DEPOSIT REFUND
108692	10793	FAMILY BIBLE FELLOWSHIP	08/11/16	300.00	RENTAL DEPOSIT REFUND
108693	10677	DAILY JOURNAL CORPORATION CALIFORNIA NEW	08/11/16	70.00	LEGAL ADS
108694	7631	DELTA DENTAL	08/11/16	6,901.34	PAYROLL - DENTAL PREMIUM AUG'16
108695	7641	DELTA DENTAL INSURANCE COMPANY ATTN: ACC	08/11/16	407.56	PAYROLL - DENTAL PREMIUM AUG'16
108696	11030	E POLY STAR INC	08/11/16	770.88	TRASH CAN LINERS
108697	10725	CONRAD RODGERS	08/11/16	1,700.00	EE COMPUTER LOAN PROGRAM
108698	7663	FIDELITY SECURITY LIFE INSURANCE/EYEMED	08/11/16	606.35	VISION PREMIUM
108699	522	FEDEX	08/11/16	314.26	PACKAGE DELIVERY
108700	11314	FH DAILEY CHEVROLET	08/11/16	1,020.49	FY 2016-17 AUTO PARTS/REPAIR/SERVICE
108701	1733	FIRST BAPTIST CHURCH	08/11/16	80.00	PAYROLL DEDUCTION - DONATION JULY'16
108702	5106	CITY OF FREMONT REVENUE DIVISION	08/11/16	10,701.47	APA FOR NEWARK PARATRANSIT SERVICES FOR
108703	11112	FREMONT CHRYSLER DODGE JEEP RAM	08/11/16	485.54	AUTO PARTS/REPAIR/SVC
108704	4441	FREMONT UNIFIED SCHOOL DISTRICT TRANSPOR	08/11/16	604.00	ASH STREET BUS TRANSPORT 08/16
108705	11418	FRIENDS OF CHILDREN WITH SPECIAL NEEDS	08/11/16	100.00	ENTERTAINMENT FOR SENIOR CENTER
108706	11157	JASON GERMANO	08/11/16	200.00	RESERVE UNIF ALLOWANCE 07/16
108707	11380	GOVERNMENT STAFFING SERVICES, INC.	08/11/16	19,305.00	TEMP EMPLOYMENT PPE ENDING 05/01/16
108708	6889	GRANT & DANS TRANSMISSIONS	08/11/16	404.05	TRANSMISSION REPAIR/SERVICE
108709	7563	HILLYARD OF SAN FRANCISCO	08/11/16	401.35	CLEANING PRODUCTS
108710	1591	PHILIP H HOLLAND	08/11/16	200.00	RESERVE UNIF ALLOWANCE 07/16
108711	1457	HOME DEPOT CREDIT SERVICES DEPT. 32 - 25	08/11/16	1,163.16	PARTS/SUPPLIES
108712	10663	HOSE & FITTING ETC	08/11/16	22.36	HYDRAULIC HOSES, PARTS & REPAIRS
108713	7593	BRUCE HOWCROFT	08/11/16	200.00	RESERVE UNIF ALLOWANCE 07/16
108714	11123	I PIZZA	08/11/16	1,131.10	PIZZA FOR CAFE AND PARTIES
108715	3866	JAM SERVICES INC	08/11/16	1,773.90	TRAFFIC SIGNAL PARTS
108716	867	LAWCX	08/11/16	183,585.00	EXCESS WORKERS COMPENSATION PREMIUM
108717	7496	LEXIPOL LLC	08/11/16	4,000.00	UB POLICY MANUAL
108718	7189	LINCOLN EQUIPMENT INC	08/11/16	873.25	POOL CHEMICALS AND EQUIPMENT

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108719	7618	METLIFE SBC	08/11/16	1,765.28	PAYROLL - LONG TERM DISABIITY PREM AUG'1
108720	11360	MIKE DAVIS LANDSCAPE SERVICES	08/11/16	1,125.00	PARK & LANDSCAPE MAINTENANCE SERVICES PR
108721	5046	MOTOROLA SOLUTIONS, INC	08/11/16	211.97	SPEAKER MICS FOR RAVEN
108722	10750	NATIONAL AQUATICS SERVICES	08/11/16	916.29	POOL MTC. REPAIRS
108723	3803	ONE WORKPLACE L FERRARI	08/11/16	3,534.66	TASK CHAIRS FOR SILLIMAN CENTER
108724	349	PACIFIC GAS & ELECTRIC	08/11/16	14.56	UTILITIES 06/23-07/26/16
108725	78	PERFORMANCE PEST MANAGEMENT LPC SERVICES	08/11/16	352.00	PEST CONTROL
108726	10932	PETERSON HOLDING COMPANY	08/11/16	416.03	HEAVY EQUIPMENT REPAIR/SERVICE
108727	10729	PETTY CASH CUSTODIAN-RECREATION CHERYL G	08/11/16	431.28	PETTY CASH REPLENISHMENT
108728	11412	PROSHRED SFBA	08/11/16	90.00	SHREDDING SVCS 07/16
108729	10927	PUBLIC SAFETY TRAINING INSTITUTE	08/11/16	185.00	PATROL NON-POST TRAINING 11/09-11/10/16
108730	11376	QUINCY ENGINEERING INC	08/11/16	98,830.39	PROFESSIONAL ENGINEERING SERVICES FOR CE
108731	11234	RAY MORGAN COMPANY	08/11/16	9,069.81	COPIER LEASE AGREEMENT
108732	11369	REBECCA HIBBS	08/11/16	50.11	EXPENSE REIMBURSEMENT
108733	1282	EDDA RIVERA	08/11/16	75.99	EXPENSE REIMBURSEMENT
108734	112	WILLE ELECTRICAL SUPPLY CO INC	08/11/16	573.52	ELECTRICAL SUPPLIES/PARTS
108735	9381	SCHINDLER ELEVATOR CORPORATION	08/11/16	1,373.61	ELEVATOR REPAIR/SERVICE 07/01-09/30/16
108736	11098	SILVER & WRIGHT LLP	08/11/16	3,937.20	LEGAL SERVICES
108737	40	STAPLES ADVANTAGE DEPT LA	08/11/16	985.15	OFFICE SUPPLIES
108738	2778	STATE OF CALIFORNIA FRANCHISE TAX BOARD	08/11/16	440.00	PAYROLL DEDUCTION - GARNISHMENT
108739	2778	STATE OF CALIFORNIA FRANCHISE TAX BOARD	08/11/16	150.00	PAYROLL DEDUCTION - GARNISHMENT
108740	11414	SWIM SUIT STATION	08/11/16	3,295.45	SHORTS AND RASHGUARDS FOR RETAIL SALES
108741	1765	TEMPERATURE TECHNOLOGY INC	08/11/16	967.98	HVAC SERVICE
108742	11324	TRIDENT PROFESSIONALS	08/11/16	4,000.00	TEAM BUILDING WORKSHOP 05/09-05/10/16
108743	7517	U S FOODS INC SAN FRANCISCO	08/11/16	871.13	FOOD FOR CAFE
108744	928	UNDERGROUND SERVICE ALERT	08/11/16	1,043.90	UNDERGROUND SERVICE ALERT (USA NORTH) AN
108745	3930	UNION BANK OF CALIFORNIA N.A.	08/11/16	25,470.00	AID#34 BOND PAYMENT
108746	363	UNITED STATES POSTAL SERVICE DEBORAH WIL	08/11/16	4,301.16	UT REFUND
108747	3446	UNIVERSAL SPECIALTIES INC	08/11/16	253.82	PARTS 06/16
108748	8751	PROVIDENT LIFE & ACCIDENT INSURANCE COMP	08/11/16	312.04	PAYROLL PREMIUMS E0246926
108749	10998	GARY M SHELDON VBS SERVICES	08/11/16	150.00	BLOOD WITHDRAWAL SVC 06/16
108750	5623	VERIZON WIRELESS	08/11/16	3,988.52	GPS TRACKER/IPHONE SVC SVC DATES 06/19-0
Total				458,301.42	

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MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108751	10658	4LEAF INC	08/19/16	601.68	BLDG INSPECTION SERVICES
108752	332	ADAMSON POLICE PRODUCTS PROFESSIONAL POL	08/19/16	153.08	MISCELLANEOUS PURCHASES
108753	803	ACCOPSA JANE MANZO/ALAMEDA COUNTY SHERIF	08/19/16	500.00	ALCO POLICE & SHERIFFS ASSOC DUES
108754	1396	ALAMEDA COUNTY FIRE DEPARTMENT ATTN: ACC	08/19/16	821,492.00	FIRE SERVICES 06/16
108755	344	ALAMEDA COUNTY WATER DISTRICT	08/19/16	53.60	WATER/UTILITIES 04/01-06/30/16
108756	1078	AMERICAN STAGE TOURS ATTN CHARTER SALES	08/19/16	3,570.00	SUISUN MARSH TRIP 08/09/16
108757	11294	AMERICAN TECHNOLOGIES, INC CORPORATE OFF	08/19/16	2,498.20	FY 2016-17 CITYWIDE BUILDING FLOOR COVER
108758	134	BATTERY SYSTEMS INC ATTN: ACCOUNTS RECEI	08/19/16	294.74	BATTERIES
108759	4534	BAY AREA BARRICADE SERVICE INC	08/19/16	60.23	SIGNS & SIGN HARDWARE
108760	1131	BAY ISLAND OFFICIALS ASSOCIATION ATTN FR	08/19/16	1,497.00	OFFICIATING FOR BASKETBALL, VOLLEYBALL A
108761	882	C.L.E.A.R.S., INC. KEVIN ADAMS-CARTER /	08/19/16	400.00	CLEARNS CONF 11/14-11/18/16
108762	920	CAL SAFETY INC	08/19/16	350.00	SIGN/BARRICADE RENTALS
108763	9150	CAL-WEST LIGHTING & SIGNAL MAINTENANCE I	08/19/16	45,781.46	YEAR END REQUISITION FOR STREETLIGHT/TRA
108765	214	CENTRAL VETERINARY HOSPITAL	08/19/16	858.87	VET SVCS
108766	10970	COCA COLA REFRESHMENTS UNION CITY SALES	08/19/16	450.86	CAFE PURCHASES
108767	10649	PFSA CO#16 NEWARK HOLY GHOST	08/19/16	82.75	PERFORMANCE BOND RTN EP# 2016-0139
108768	10793	ALEXANDER CHAN	08/19/16	150.00	LIFEGUARD TRAINING COURSE REFUND
108769	10793	MYIESHA EDGERLY	08/19/16	50.00	DEPOSIT REFUND
108770	10793	YMCA DOWNTOWN BERKELEY	08/19/16	9.05	RENTAL DEPOSIT REFUND MIND ADDT'L GUESTS
108771	10793	ACHIEVER INSTITUTE	08/19/16	50.00	RENTAL DEPOSIT REFUND
108772	10793	JAPANESE COMMUNITY YOUTH COUNCIL	08/19/16	50.00	RENTAL DEPOSIT REFUND
108773	10793	ANNA LIM	08/19/16	100.00	RENTAL DEPOSIT REFUND
108774	10793	PATRICIA DURAN	08/19/16	245.50	REFUND FOR DIFFERENT CLASS COST
108775	3728	DEPARTMENT OF JUSTICE ACCOUNTING OFFICE	08/19/16	226.00	FINGERPRINTING FEES
108776	2135	DEPARTMENT OF INDUSTRIAL RELATIONS PAYME	08/19/16	511.25	ANNUAL QSI INSPECTION RECORD
108777	1778	DISCOUNT SCHOOL SUPPLY	08/19/16	1,013.98	SUPPLIES FOR LIC. CHILD CARE
108778	904	EMPLOYMENT DEVELOPMENT DEPT.	08/19/16	2,101.00	ANNUAL PO FOR UNEMPLOYMENT INSURANCE
108779	4731	EWING IRRIGATION PRODUCTS INC	08/19/16	93.50	IRRIGATION SUPPLIES
108780	10642	FASTENAL COMPANY	08/19/16	15.78	HARDWARE & FASTENERS
108781	11421	JOEL FAY	08/19/16	4,500.00	PATROL NON-POST TRAINING
108782	153	FOLGERGRAPHICS, INC	08/19/16	8,311.73	PRINTING OF REC & CS ACT. GUIDES
108783	1120	FORENSIC ANALYTICAL SCIENCES, INC	08/19/16	49.00	LAB TESTS
108784	5106	CITY OF FREMONT REVENUE DIVISION	08/19/16	2,892.85	SHELTER OPERATING EXPS 06/16
108785	313	FREMONT URGENT CARE CENTER	08/19/16	564.00	PRE-EMPLOYMENT/DOT PHYSICALS
108786	10819	FTF TACTICS LLC	08/19/16	395.00	SWAT TRAINING 08/16-08/17/16
108787	11307	GROUP 4 ARCHITECTURE, RESEARCH & PLANNIN	08/19/16	15,144.63	CONTRACT COSTS
108788	167	HARRIS COMPUTER SYSTEMS	08/19/16	3,078.36	SELECT FINANCIALS ERP MAINTENANCE FY2016
108789	6009	JT2 INTEGRATED RESOURCES CORPORATE ACCOU	08/19/16	17,365.00	WORKER'S COMP CLAIMS
108790	9904	CYNTHIA M KIRBY	08/19/16	900.00	PRE-EMPLOYMENT POLYGRAPH EXAMS
108791	3518	MAD SCIENCE OF THE BAY AREA ATTN SUSAN F	08/19/16	1,071.00	RECREATION CONTRACT
108792	11271	MASAKOS MUSIC STUDIO MASAKO YAMAMOTO	08/19/16	1,009.20	RECREATION CONTRACT
108793	11344	MEDCOM	08/19/16	2,425.00	2016 ACA Employer Reporting
108794	611	KKR AUTOMOTIVE DBA NAPA AUTO PARTS	08/19/16	3,155.27	AUTO PARTS
108795	11272	NICHOLAS CUEVAS	08/19/16	1,329.00	EDUCATIONAL REIMBURSEMENT FOR NAME EMPLOY
108796	2027	PACHECO BROTHERS GARDENING, INC.	08/19/16	1,394.00	LANDSCAPE REPAIRS
108797	349	PACIFIC GAS & ELECTRIC	08/19/16	2,075.39	PG&E COSTS FOR STREETLIGHTS AND TRAFFIC
108798	10932	PETERSON HOLDING COMPANY	08/19/16	597.76	EQUIPMENT PARTS/REPAIR
108799	11376	QUINCY ENGINEERING INC	08/19/16	58,823.85	PROFESSIONAL ENGINEERING SERVICES FOR CE
108800	11420	SAFEGUARD BUSINESS SYSTEMS	08/19/16	77.35	ENDORSEMENT STAMPER
108801	654	SFPUC-WATER DEPARTMENT CUSTOMER SERVICE	08/19/16	4,613.60	RENT/WATER
108802	112	WILLE ELECTRICAL SUPPLY CO INC	08/19/16	820.75	ELECTRICAL SUPPLIES

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108803	377	SIMON & COMPANY INC	08/19/16	1,761.50	LEGISLATIVE SERVICES
108804	5384	SOUTHWEST INTERIORS INC	08/19/16	895.00	RE-CABLE BACKSTOP AT SILLIMAN
108805	2778	STATE OF CALIFORNIA FRANCHISE TAX BOARD	08/19/16	150.00	PAYROLL DEDUCTION - GARNISHMENT
108806	2778	STATE OF CALIFORNIA FRANCHISE TAX BOARD	08/19/16	440.00	PAYROLL DEDUCTION - GARNISHMENT
108807	10804	STONERIDGE CJD	08/19/16	268.89	AUTO PARTS/SERVICE/REPAIR
108808	146	THYSSENKRUPP ELEVATOR CORPORATION	08/19/16	3,553.07	ELEVATOR SERVICE REPAIR
108809	6797	US BANK CORPORATE PAYMENT	08/19/16	17,259.40	US BANK CC PAYMENT 07/22/16
108810	10968	UTILITY TELEPHONE	08/19/16	16,492.98	MONTHLY TELECOM AUG16
108811	339	WASHINGTON HOSPITAL GENERAL ACCOUNTING	08/19/16	100.00	LAB TESTS
108812	10822	WEE HOOP INC C/O DINAH SHAH	08/19/16	720.00	RECREATION CONTRACT
Total				1,055,494.11	

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MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
108813	7922	AARP ATTN ANNETTE PAREDES	08/25/16	145.00	AARP SMART DRIVER SAFETY PROGRAM 08/19/1
108814	10736	ABACUS PRODUCTS INC	08/25/16	336.15	PRINTING SVCS
108815	10223	LEXISNEXIS RISK SOLUTIONS ACCT# 1415640	08/25/16	428.40	BACKGROUND CHECKS
108816	11094	ACME AUTO LEASING, LLC	08/25/16	1,909.44	ARMORED RESCUE VEH LEASE 08/16
108817	1774	AIRGAS USA, LLC	08/25/16	55.43	WELDING SUPPLIES
108818	3853	COUNTY OF ALAMEDA INTERNAL AUDIT UNIT RI	08/25/16	1,518.00	CITATION PROCESSING FEES - JULY'16
108819	14	ALPINE AWARDS	08/25/16	1,104.73	TRIATHLON PARTICIPANT TSHIRTS
108820	411	AIG BENEFIT SOLUTIONS	08/25/16	671.60	EMPLOYEE LIFE INSURANCE 09/16
108821	1106	ROBERT SCOTT BASWELL	08/25/16	5,428.33	ADPP - 08/24/16
108822	134	BATTERY SYSTEMS INC ATTN: ACCOUNTS RECEI	08/25/16	782.88	BATTERIES
108823	4534	BAY AREA BARRICADE SERVICE INC	08/25/16	1,746.53	SIGNS & SIGN HARDWARE
108824	9680	BAY CENTRAL PRINTING	08/25/16	70.23	BUSINESS CARDS - RAY COLLIER
108825	9207	BUCHANAN AUTO ELECTRIC	08/25/16	51.18	AUTOMOTIVE ELECTRIC PARTS
108826	9888	BUREAU VERITAS NORTH AMERICA INC.	08/25/16	8,620.65	BLDG PLAN REVIEW SERVICES
108827	1513	BURTON'S FIRE INC	08/25/16	553.62	FIRE ENGINE SERVICE/REPAIR
108828	33	CENTRAL TOWING & TRANSPORT LLC	08/25/16	70.00	TOWING SERVICES 07/16
108829	6304	CLASSIC GRAPHICS T & J LEWIS INC	08/25/16	1,136.53	AUTO BODY REPAIRS/DECALS
108830	10970	COCA COLA REFRESHMENTS UNION CITY SALES	08/25/16	382.69	COKE PRODUCTS FOR CAFE
108831	11032	CUBE SOLUTIONS	08/25/16	1,395.26	POLICE DEPARTMENT OFFICE CHAIRS
108832	10650	RICARDO OLIVARES	08/25/16	1,000.00	EVENT DEPOSIT REFUND
108833	10649	RESCUE RESPONSE GROUP	08/25/16	1,000.00	PERFORMANCE BOND RTN EP# 2015-278
108834	10649	INIL NARAYAN	08/25/16	3,000.00	PERFORMANCE BOND RTN EP# 2015-208
108835	10793	SCRIBBLES MONTESSORI SCHOOL	08/25/16	50.00	DEPOSIT REFUND
108836	10793	SUNSHINE KIDS	08/25/16	50.00	DEPOSIT REFUND
108837	10793	VANESSA CHAN	08/25/16	219.00	CANCELLED CLASS REFUND
108838	10793	PRINCE OF PEACE LUTHERAN SCHOOL	08/25/16	62.35	RENTAL DEPOSIT REFUND
108839	10793	JACKIE FETTY	08/25/16	145.00	FIELD RENTAL DEPOSIT REFUND
108840	10793	LA'SHONTE LANDRY	08/25/16	100.00	DEPOSIT REFUND
108841	7183	DEMARAY'S GYMNASTICS ACADEMY	08/25/16	963.30	RECREATION CONTRACT
108842	10575	ALHAMBRA	08/25/16	46.85	WATER SERVICE FOR SUMMER DAY CARE
108843	9511	DWYS LLC DBA RENAISSANCE TOTS, LLC ATTN	08/25/16	1,463.50	RECREATION CONTRACT
108844	10478	EUGENE'S HOME APPLIANCE SERVICE	08/25/16	105.00	APPLIANCE REPAIR
108845	10642	FASTENAL COMPANY	08/25/16	564.20	HARDWARE & FASTENERS
108846	4441	FREMONT UNIFIED SCHOOL DISTRICT TRANSPOR	08/25/16	1,420.00	JELLY BELLY TRIP 08/04/16
108847	1591	PHILIP H HOLLAND	08/25/16	899.41	NON-POST PATROL TRAINING 08/10-08/13/16
108848	11123	I PIZZA	08/25/16	304.90	CITYWIDE PARKS MASTER PLAN
108849	6009	JT2 INTEGRATED RESOURCES ATTN: CLAIMS AC	08/25/16	26,545.59	WORKER'S COMP CLAIMS 07/16
108850	293	LANGUAGE LINE SERVICES INC	08/25/16	242.17	INTERPRETATION SVCS
108851	7697	THE LIFEGUARD STORE INC	08/25/16	1,367.40	POOL EQUIPMENT AND UNIFORMS
108852	11246	LOOMIS ARMORED	08/25/16	279.27	ARMORED CAR SERVICE
108853	10298	MANAGED HEALTH NETWORK BANK OF AMERICA	08/25/16	374.48	EMPLOYEE ASSISTANCE PROGRAM
108854	11407	MELISSA VARGAS	08/25/16	18.79	EXPENSE REIMBURSEMENT
108855	1409	LAWRENCE E MURPHY PHD CONSULTING PSYCHOL	08/25/16	700.00	PSYCHOLOGICAL EVALUATIONS
108856	1803	NATIONAL NOTARY ASSOCIATION	08/25/16	59.00	MEMBERSHIP
108857	324	NEWARK CHAMBER OF COMMERCE	08/25/16	336.00	CELEBRATING BUSINESS LUNCHEON
108858	327	OCCU-MED LTD	08/25/16	60.00	PRE-EMPLOYMENT PHYSICALS
108859	349	PACIFIC GAS & ELECTRIC	08/25/16	63,352.99	ELECTRIC AND GAS CHARGES
108860	78	PERFORMANCE PEST MANAGEMENT LPC SERVICES	08/25/16	529.00	PEST CONTROL ACCT# 102701
108861	3674	PRIORITY 1 PUBLIC SAFETY EQUIPMENT INSTA	08/25/16	4,822.16	PROJECT #2016-13 EQUIPMENT REPLACEMENT
108862	11376	QUINCY ENGINEERING INC	08/25/16	51,689.83	PROFESSIONAL ENGINEERING SERVICES FOR CE
108863	11373	RRM DESIGN GROUP	08/25/16	26,676.81	NEWARK ZONING CODE UPDATE

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108864	112	WILLE ELECTRICAL SUPPLY CO INC	08/25/16	214.73	ELECTRICAL SUPPLIES
108865	11428	GARY SENN	08/25/16	79.98	EXPENSE REIMBURSEMENT
108866	40	STAPLES ADVANTAGE DEPT LA	08/25/16	1,535.85	OFFICE SUPPLIES
108867	11396	SWA SERVICES GROUP INC	08/25/16	55,200.15	JANITORIAL SERVICES
108868	11426	TACTICAL K9 LLC	08/25/16	705.00	PATROL NON-POST TRAINING
108869	4639	TREASURER OF ALAMEDA COUNTY PUBLIC WORKS	08/25/16	1,000.00	CALCULATION SERVICES FOR STORMWATER FEE
108870	7517	U S FOODS INC SAN FRANCISCO	08/25/16	2,316.43	FOOD FOR CAFE
108871	3446	UNIVERSAL SPECIALTIES INC	08/25/16	157.42	PLUMBING SUPPLIES
108872	853	VALLEY OIL COMPANY DEPT# 35101	08/25/16	14,358.95	OIL/FUEL
108873	5623	VERIZON WIRELESS	08/25/16	96.26	GPS TRACKERS
108874	11160	VIEVU	08/25/16	340.43	BODY CAMERA REPAIR
108875	11416	VISION TECHNOLOGY SOLUTIONS LLC DBA VISI	08/25/16	21,806.00	WEBSITE PROJECT
108876	11417	WHOLESALE DISTRIBUTION ALLIANCE	08/25/16	855.00	RETAIL MERCHANDISE
Total				313,519.85	