

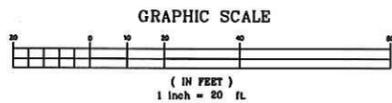
UTILITY NOTE:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE SIZES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

FLOOD ZONE:
"X", PER COMMUNITY PANEL NO. 06 001C 0441G, DATED AUGUST 3, 2009.

SITE ZONING:
CC - COMMUNITY COMMERCIAL

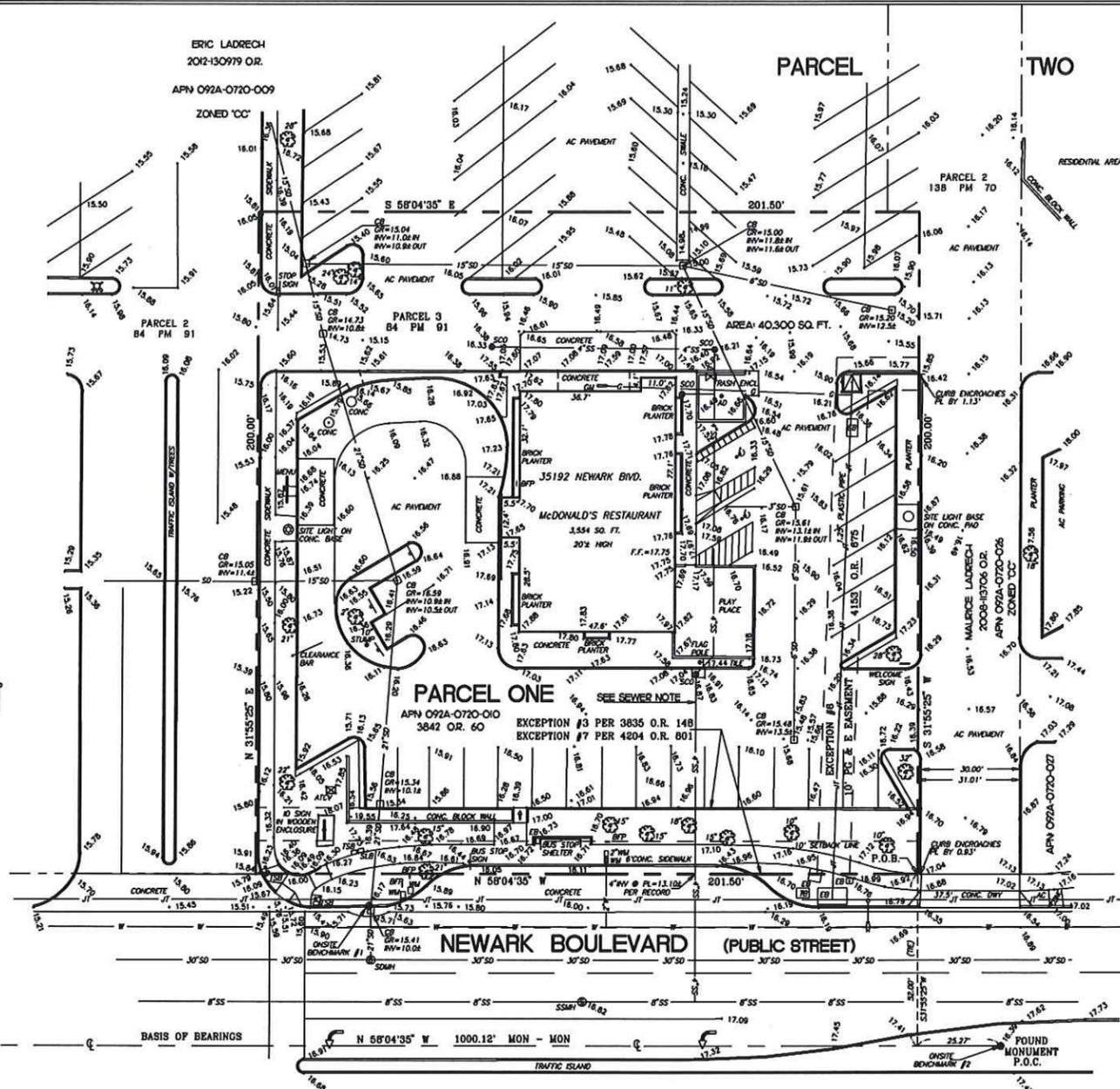
SETBACKS:
FRONT: 10 FEET
SIDE: NONE
REAR: NONE

SITE PARKING:
33 TOTAL SPACES, INCLUDING 2 ACCESSIBLE STALLS



JARVIS AVENUE
(PUBLIC STREET)

FOUND MONUMENT



LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE CITY OF NEWARK, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

COMMENCING AT A STANDARD CITY MONUMENT IN NEWARK BOULEVARD, DISTANT SOUTH 58°04'35" EAST, 1000.12 FEET FROM A STANDARD CITY MONUMENT LOCATED AT THE INTERSECTION OF SAID NEWARK BOULEVARD WITH JARVIS AVENUE, AS SHOWN ON SAID MAP; THENCE ALONG THE MONUMENT LINE NORTH 58°04'35" WEST, 25.27 FEET; THENCE NORTH 31°55'25" EAST, 52.00 FEET TO THE SOUTHERLY CORNER OF SAID PARCEL 1 AND THE POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE NORTH 58°04'35" WEST, 201.50 FEET; THENCE NORTH 31°55'25" EAST, 200.00 FEET; THENCE SOUTH 58°04'35" EAST, 201.50 FEET; THENCE SOUTH 31°55'25" WEST, 200.00 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:

NON-EXCLUSIVE EASEMENT(S), AS AN APPURTENANCE TO PARCEL ONE HEREINABOVE DESCRIBED, FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, VEHICULAR PARKING, UTILITY LINES, SIGNS, CANOPIES AND EAVES AS SAID NON-EXCLUSIVE EASEMENTS ARE FURTHER DEFINED IN THAT CERTAIN DOCUMENT ENTITLED, "DECLARATION OF RESTRICTIONS, CONDITIONS, EASEMENTS AND AGREEMENTS", DATED DECEMBER 4, 1974, AND RECORDED IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER ON DECEMBER 17, 1974, IN REEL 3835, IMAGE 528, AS INSTRUMENT NUMBER 74-158562, OFFICIAL RECORDS.

EXCEPTIONS PER CHICAGO TITLE COMPANY COMMITMENT FOR TITLE INSURANCE ORDER NO. 14-59024368-D-DE, AVOIDED SEPTEMBER 28, 2014.

1. PROPERTY TAXES
NOT A SURVEY MATTER
2. LIEN OF SUPPLEMENTAL TAXES, IF ANY
NOT A SURVEY MATTER
3. BUS LOADING, PEDESTRIAN AND PLANTING EASEMENT GRANTED TO CITY OF NEWARK, A MUNICIPAL CORPORATION, BY DOCUMENT RECORDED IN REEL 3835, IMAGE 148 OF OFFICIAL RECORDS.
AFFECTS THE SURVEYED PROPERTY.
4. COVENANTS, CONDITIONS AND RESTRICTIONS AS DESCRIBED IN DOCUMENT NO. 1974-158562, IN REEL 3835, IMAGE 528 OF OFFICIAL RECORDS.
AFFECTS ENTIRE PROPERTY
5. MEMORANDUM OF DEVELOPMENT AGREEMENT, RECORDED DECEMBER 17, 1974, IN REEL 3835, IMAGE 569, INSTRUMENT NO. 74-158565 OF OFFICIAL RECORDS.
NOT A SURVEY MATTER
6. UNDERGROUND UTILITIES EASEMENT GRANTED TO PACIFIC GAS AND ELECTRIC COMPANY, BY DOCUMENT RECORDED IN REEL 4153, IMAGE 675 OF OFFICIAL RECORDS.
AFFECTS THE SURVEYED PROPERTY.
7. COMMUNICATION FACILITY EASEMENT GRANTED TO PACIFIC TELEPHONE AND TELEGRAPH COMPANY, RECORDED IN REEL 4204, IMAGE 801 OF OFFICIAL RECORDS.
AFFECTS THE SOUTHWESTERLY 20.00 FEET OF SURVEYED PROPERTY.
8. MATTERS IN DOCUMENT ENTITLED AGREEMENT FOR CONSTRUCTION OF BARRIER AND TO BEAR COSTS, RECORDED AS DOCUMENT NO. 93-122076, OFFICIAL RECORDS.
NOT A SURVEY MATTER
9. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.
NOT A SURVEY MATTER

BASIS OF BEARINGS:

THE MONUMENT LINE IN NEWARK BOULEVARD, AS SHOWN ON PARCEL MAP 1564, FILED IN BOOK 84 OF PARCEL MAPS, PAGE 91, ALAMEDA COUNTY RECORDS, TAKEN AS NORTH 58°04'35" WEST, WAS USED AS BASIS OF BEARINGS.

BENCHMARK:

CHISELED SQUARE, TOP OF CURB, LOCATED AT THE NORTHERLY RETURN OF THE NORTHWESTERLY CORNER OF THE INTERSECTION OF NEWARK BOULEVARD WITH CEDAR BOULEVARD.
ELEVATION = 18.793 FEET, NVD 29 (CITY) DATUM.
ADD 2.71 TO OBTAIN NAVD 88 (FEMA) DATUM

ONSITE BENCHMARK #1:

TOP OF CURB, AT CATCH BASIN, ALONG NEWARK BOULEVARD, LOCATED 18 FEET SOUTHEASTERLY FROM SOUTHERN RETURN OF MAIN DRIVEWAY INTO SHOPPING CENTER, AND AS SHOWN HEREON.
ELEVATION = 16.17 FEET, NVD 29 DATUM.

ONSITE BENCHMARK #2:

STANDARD CITY MONUMENT IN WELL, LOCATED IN NEWARK BOULEVARD, 1000.12 FEET SOUTHEASTERLY FROM ITS INTERSECTION WITH JARVIS AVENUE, AS SHOWN HEREON.
ELEVATION = 16.39 FEET, NVD 29 DATUM.

ABBREVIATIONS

AC	ASPHALT CONCRETE	MC	METAL COVER
ATCV	AUTOMATIC TRAFFIC CONTROL VAULT	PL	PLANTER
BFP	BACKFLOW PREVENTER	SCO	SANITARY CLEAN OUT
CB	CATCH BASIN	SD	STORM DRAIN PIPE
DRY	DRIVEWAY	SS	SANITARY SEWER PIPE
EB	ELECTRIC BOX	SSMH	STORM DRAIN MANHOLE
FL	FLOWLINE	SSMH	SANITARY SEWER MANHOLE
GM	GAS METER	TB	TELEPHONE BOX
GR	GRATE	TSB	TRAFFIC SIGNAL BOX
HCR	HANDICAP RAMP	W	WATER PIPE
KOV	IRRIGATION CONTROL VALVE	WM	WATER METER
RY	RYVERT	W/S	TREE W/ SIZE
JT	JOINT TRENCH		

SYMBOLS

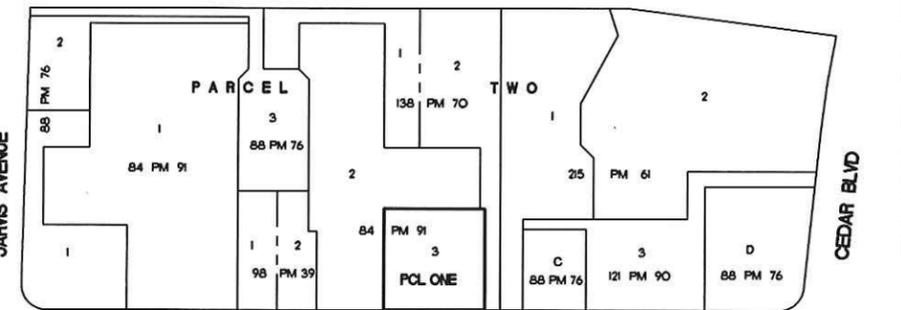
⊙	ONSITE BENCH MARK
⊕	FIRE HYDRANT
⊗	SANITARY SEWER MANHOLE
⊘	STORM DRAIN MANHOLE
—	STREET SIGN
⊠	TRAFFIC SIGNAL
⊡	WATER VALVE
⊢	YARD LIGHT
⊣	ELECTRIC TRANSFORMER
---	SURVEYED PROPERTY LINE
---	ADJACENT PARCEL LINE
---	EASEMENT LINE

SURVEYOR'S CERTIFICATE:
TO MCDONALD'S CORPORATION, MCDONALD'S U.S.A. LLC, MCDONALD'S REAL ESTATE COMPANY AND CHICAGO TITLE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALA AND HSPS, AND THAT IT COMPLIES WITH THE REQUIREMENTS PROVIDED BY MCDONALD'S CORPORATION.
ORIGINAL FIELD WORK WAS COMPLETED ON JUNE 23, 2014.
SITE INSPECTION WAS PERFORMED OCTOBER 21, 2016.
DATE OF PLAN OR MAP JANUARY 11, 2017.



SIGNED: *Piotr Zieba*
PIOTR ZIEBA, LS 8248

2	01/11/17	ADDED EXCEPTION # 9	PMZ
1	10/25/16	REVISED PER UPDATED RULE REPORT	PMZ
NO.	DATE	DESCRIPTION	BY

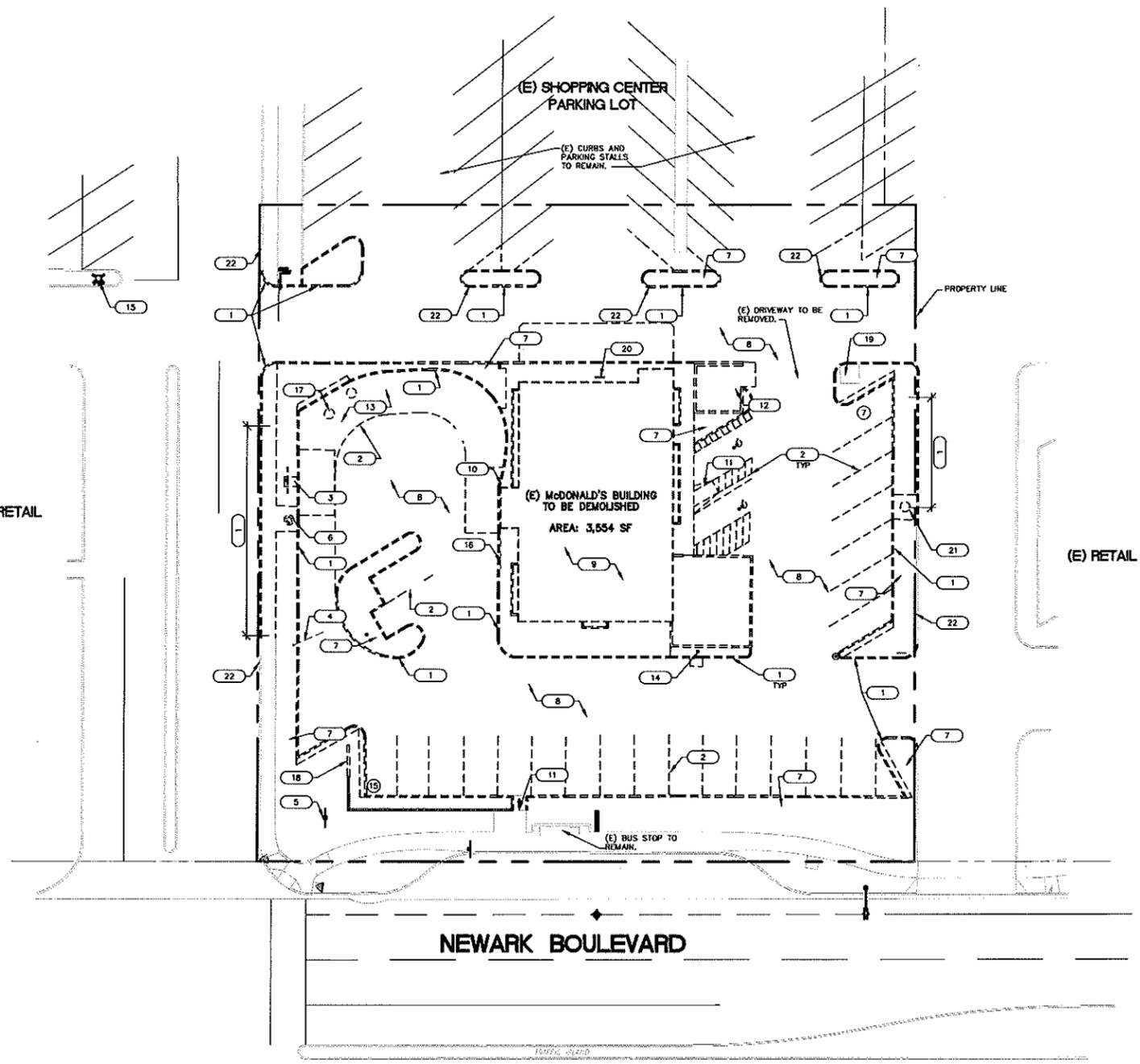


NEWARK BOULEVARD
KEY MAP
SCALE: 1"=50'

A.L.T.A. SURVEY		SHEET 1 OF 1 SHEETS
35192 NEWARK BOULEVARD		
NEWARK	ALAMEDA COUNTY	CALIFORNIA
Prepared for Stantec Consulting Inc.		
ZIEBATECH LAND SURVEYING		JOB NO. 14 - 0620
9025 WINDSOR WAY SAN RAMON, CALIFORNIA 94583		L/C: 004-0456
PHONE: (925) 551-0028 E-MAIL: EZIEBA@AOL.COM		

EXHIBIT A p2

\\net1278-101\workgroup\3007\active\300704030\working\00_A-SP\Long Dimascale 240 LTScale 1 Plot:[Time: Mon 08/20/2017 - 01:45pm Login: mcdosk]
 Pre-plot[AUG 08, 2017 08:50:45] Xref: "xref" Site Imprint



DEMOLITION NOTES		R.P.	R.P.	HI	HI	HI	HI	HI	HI	BY
1.	GC TO COORDINATE WITH McDONALD'S PROJECT MANAGER THE REMOVAL AND SALVAGE OF KITCHEN EQUIPMENT, SIGNAGE, AND MEMORABILIA.									
2.	GC TO LOCATE AND CAP EXISTING UTILITY LATERALS - SEE CIVIL FOR ADDITIONAL INFORMATION.									
3.	ENSURE THAT PROJECT DEMOLITION DEBRIS IS PROPERLY RECYCLED OR DISPOSED OF. DETAILS ON RECYCLING CONSTRUCTION WASTE ARE AVAILABLE THROUGH THE CONSTRUCTION & DEMOLITION DIVERSION DEPOSIT (CDD) INCENTIVE PROGRAM. INFORMATION AVAILABLE AT CITY OF MILLBRAE BUILDING DEPARTMENT									

KEYNOTES		REV	DATE
1	(E) CONCRETE CURB & SIDEWALK (WHERE PRESENT) TO BE REMOVED.		
2	(E) PAVEMENT MARKINGS & PARKING STALLS (TYP.)		
3	REMOVE EXISTING MENU BOARD, SPEAKER POST AND CONCRETE BASE.		
4	(E) VEHICLE CLEARANCE BAR TO BE REMOVED.		
5	(E) McDONALD'S I.D. SIGN TO REMAIN, PROTECT DURING CONSTRUCTION.		
6	(E) AREA LIGHT TO BE REMOVED.		
7	(E) LANDSCAPING TO BE REMOVED OR REFRESHED (TYP.). SEE CIVIL AND LANDSCAPE DRAWINGS FOR EXTENT OF SCOPE.		
8	(E) AC PAVING TO BE REMOVED (TYP.).		
9	(E) McDONALD'S BUILDING WITH BASEMENT TO BE DEMOLISHED. REFER TO CIVIL DRAWINGS AND SOILS REPORT FOR BASEMENT INFILL NOTES.		
10	REMOVE (E) GUARD POST (TYP.).		
11	(E) CONCRETE CURB RAMP TO BE REMOVED.		
12	(E) BLOCK TRASH ENCLOSURE & CONCRETE PAD TO BE REMOVED.		
13	(E) CONCRETE DRIVE THRU PAVING TO BE REMOVED.		
14	(E) FLAG POLES AND BASES TO BE RELOCATED. (TYP.)		
15	(E) FIRE HYDRANT AND SUPPLY LINE TO REMAIN, PROTECT DURING CONSTRUCTION.		
16	(E) HAND / GUARD RAILS TO BE REMOVED (TYP.).		
17	(E) GREASE INTERCEPTOR TO BE REMOVED.		
18	PORTION OF EXISTING RETAINING WALL TO BE REMOVED.		
19	(E) TRANSFORMER TO BE RELOCATED.		
20	(E) GAS METER TO BE REMOVED.		
21	(E) CONCRETE BASE TO BE REMOVED.		
22	(E) CURB TO REMAIN, PROTECT DURING CONSTRUCTION.		

Stantec
 Stantec Architecture Inc. | Tel: 707.755.1660
 1383 N. McDonnell Blvd. | Fax: 707.755.9908
 Petaluma, CA U.S.A. 94954 | www.stantec.com

PREPARED FOR:
M. McDonald's USA, LLC
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced for use on this specific site in conjunction with the lease sale and are not suitable for use on a different site or at a later time. Use of the drawings on any other project without the written consent of McDonald's USA, LLC is strictly prohibited. Reproduction of these drawings for use on another project is not authorized.

- 1 (E) CONCRETE CURB & SIDEWALK (WHERE PRESENT) TO BE REMOVED.
- 2 (E) PAVEMENT MARKINGS & PARKING STALLS (TYP.)
- 3 REMOVE EXISTING MENU BOARD, SPEAKER POST AND CONCRETE BASE.
- 4 (E) VEHICLE CLEARANCE BAR TO BE REMOVED.
- 5 (E) McDONALD'S I.D. SIGN TO REMAIN, PROTECT DURING CONSTRUCTION.
- 6 (E) AREA LIGHT TO BE REMOVED.
- 7 (E) LANDSCAPING TO BE REMOVED OR REFRESHED (TYP.). SEE CIVIL AND LANDSCAPE DRAWINGS FOR EXTENT OF SCOPE.
- 8 (E) AC PAVING TO BE REMOVED (TYP.).
- 9 (E) McDONALD'S BUILDING WITH BASEMENT TO BE DEMOLISHED. REFER TO CIVIL DRAWINGS AND SOILS REPORT FOR BASEMENT INFILL NOTES.
- 10 REMOVE (E) GUARD POST (TYP.).
- 11 (E) CONCRETE CURB RAMP TO BE REMOVED.
- 12 (E) BLOCK TRASH ENCLOSURE & CONCRETE PAD TO BE REMOVED.
- 13 (E) CONCRETE DRIVE THRU PAVING TO BE REMOVED.
- 14 (E) FLAG POLES AND BASES TO BE RELOCATED. (TYP.)
- 15 (E) FIRE HYDRANT AND SUPPLY LINE TO REMAIN, PROTECT DURING CONSTRUCTION.
- 16 (E) HAND / GUARD RAILS TO BE REMOVED (TYP.).
- 17 (E) GREASE INTERCEPTOR TO BE REMOVED.
- 18 PORTION OF EXISTING RETAINING WALL TO BE REMOVED.
- 19 (E) TRANSFORMER TO BE RELOCATED.
- 20 (E) GAS METER TO BE REMOVED.
- 21 (E) CONCRETE BASE TO BE REMOVED.
- 22 (E) CURB TO REMAIN, PROTECT DURING CONSTRUCTION.

PLAN LEGEND			
CL	= CENTER LINE	P.O.C.	= POINT OF CURVATURE
COL.	= COLUMN	R	= RADIUS
EX.	= EXISTING	R.O.W.	= RIGHT OF WAY
EQ.	= EQUAL	SHT.	= SHEET
F.O.C.	= FACE OF CURB	SIM.	= SIMILAR
F.O.S.	= FACE OF STUD	TYP.	= TYPICAL
F.O.F.	= FACE OF FOUNDATION	F.S.E.	= FINISH SLAB ELEVATION

DEMOLITION SITE PLAN	
BRAND REVIEW	05/22/13
PLANNING	-
PERMIT	-
BD	-
CONSTRUCTION	-
PROJECT ADDRESS:	35192 NEWARK BLVD NEWARK, CA 94560
STATE SITE CODE:	004-0498
DRAWN BY:	HI
PROJECT CAD FILE:	200704030

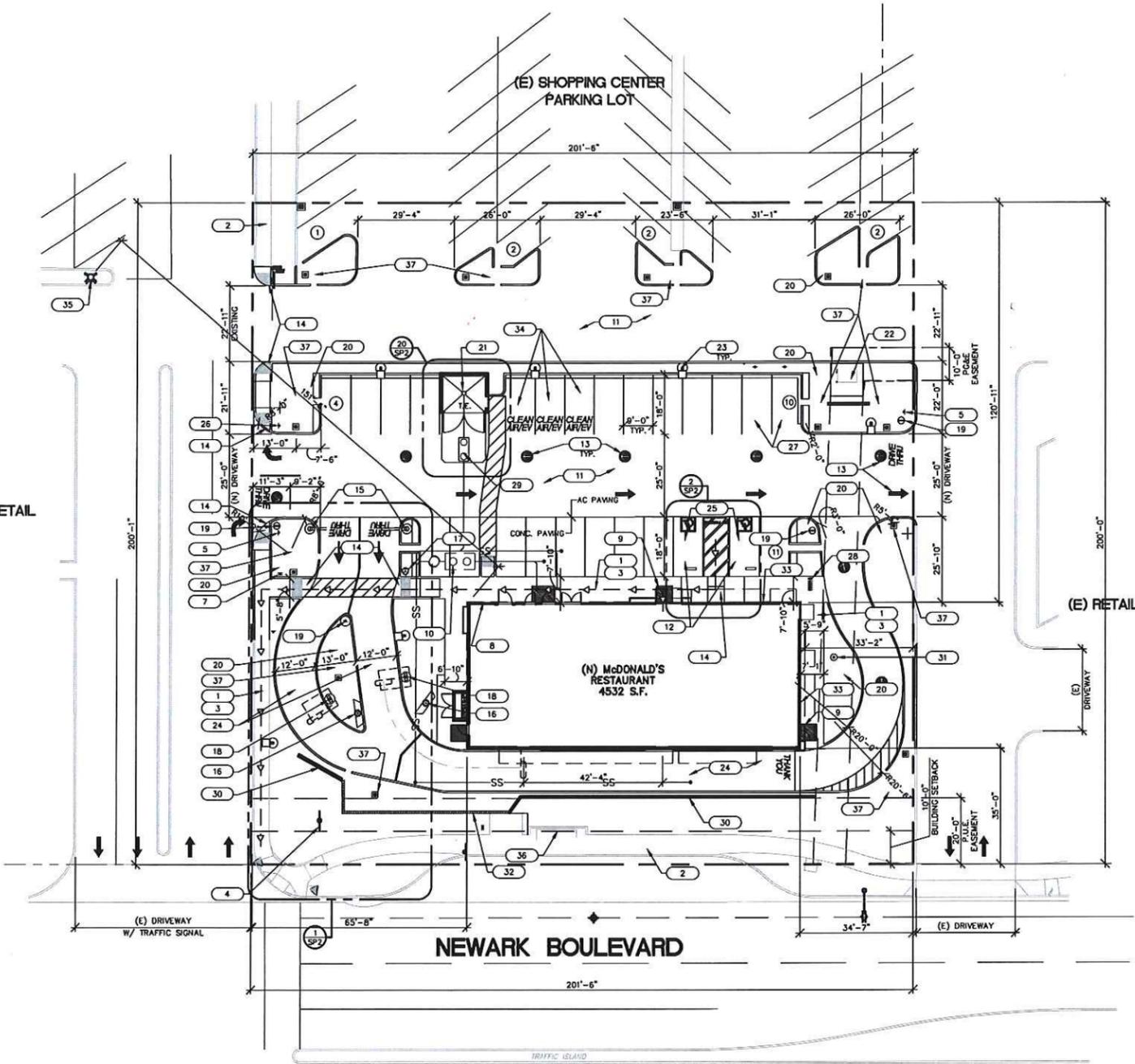
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 PROJECT TITLE: DEMOLITION SITE PLAN
 PROJECT ADDRESS: 35192 NEWARK BLVD, NEWARK, CA 94560
 STATE SITE CODE: 004-0498
 DRAWN BY: HI
 PROJECT CAD FILE: 200704030

20
 SPO
 DEMOLITION SITE PLAN
 1" = 20'-0"



EXHIBIT Ap3

\s1279-01\working\2017\civil\200704030\working\00_A-SPI.dwg Dimscale:240 L1Scale:1 Plot[Time: Mar06,2017-01:45pm Log:icr.maddox]
 Pre-plot(Jun 27, 2016 12:00-18:00) Xrefs: "s_bdr" "s_site"



TRASH ENCLOSURE SHALL PROVIDE SIGNAGE THAT STATE THAT THE ENCLOSURE DOORS SHALL BE CLOSED IMMEDIATELY AFTER USE. ENCLOSURE DOORS SHALL NOT ENCRoACH INTO REQUIRED DRIVE-ABLES OR PARKING SPACES WHEN IT IS OPEN. NO REFUSE, GARBAGE OR RECYCLE SHALL BE STORED OUTDOORS EXCEPT WITHIN THE APPROVED TRASH AND RECYCLING ENCLOSURE.

KEYNOTE	DESCRIPTION	REV	DATE	BY
1	(N) ACCESSIBLE PATH TO PUBLIC RIGHT-OF-WAY WALK TO BE FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL & 2% CROSS SLOPE			
2	(E) PUBLIC SIDEWALK			
3	(N) CONCRETE SIDEWALK, SEE CIVIL DRAWINGS			
4	(E) McDONALD'S MONUMENT SIGN			
5	(N) FREE STANDING ENTRANCE SIGN WITH ACCESSIBLE PARKING AND TOW AWAY INFO. (TYP. AT ALL VEHICULAR ACCESSES.)			
6	(N) FORREST PERMA ACCESSIBLE INFORMATIONAL SIGN			
7	(N) DOUBLE FACED FORREST PERMA ACCESSIBLE SIGN			
8	(N) ACCESSIBLE DIRECTIONAL SIGN			
9	(N) FORREST PERMA ACCESSIBLE ENTRANCE SIGN			
10	(N) GREASE TRAP LOCATION, SEE CIVIL AND PLUMBING DRAWINGS			
11	(N) A.C. PAVEMENT ENTIRE PARKING LOT (SLURRY SEAL)			
12	(N) ACCESSIBLE PARKING STALLS			
13	(N) STREET GRAPHICS TO BE APPLIED AS SHOWN BY OTHERS (TYP.)			
14	(N) ACCESSIBLE CONC. CURB RAMP, SEE CIVIL DRAWINGS.			
15	(N) VEHICLE CLEARANCE BAR BY OTHERS, UNDER SEPARATE PERMIT			
16	(N) MENU BOARD BY OTHERS, UNDER SEPARATE PERMIT			
17	(N) PRE-SALE SIGN BY OTHERS, UNDER SEPARATE PERMIT			
18	(N) CUSTOMER ORDER DISPLAY CANOPY BY OTHERS UNDER SEPARATE PERMIT			
19	(N) McDONALD'S DIRECTIONAL SIGN BY OTHERS, UNDER SEPARATE PERMIT			
20	(N) LANDSCAPING (TYP.)			
21	(N) TRASH ENCLOSURE w/ RECYCLING BINS / AREA			
22	(N) LOCATION FOR TRANSFORMER WITH GUARD POSTS			
23	(N) YARD LIGHTS (TYP. OF 8)			
24	(N) CONCRETE PAVING AT DRIVE THRU AREA			
25	(N) CONCRETE PAVING AT ACCESSIBLE STALL AREA. (2% MAX. SLOPE IN ANY DIRECTION)			
26	(N) "RIGHT TURN ONLY" SIGN			
27	(N) "PULL FORWARD" STALLS & SIGNAGE			
28	(N) BIKE RACK			
29	(N) SAND-OIL SEPARATOR, SEE CIVIL DRAWINGS.			
30	(N) SCREEN WALL SEE DETAIL 3/A2.2			
31	(N) McDONALD'S FLAG			
32	(E) RETAINING WALL TO RECEIVE STUCCO FINISH PAINTED TO MATCH BASE BUILDING COLOR. GC TO VERIFY (E) RETAINING WALL HEIGHT TO MATCH (N) SCREEN WALL HEIGHT			
33	(N) NO SMOKING WITHIN 25 FEET FROM BUILDING ENTRY, OUTDOOR AIR INTAKE AND OPERABLE WINDOWS PER CAL GREEN SECTION 5.504.7			
34	(N) PARKING STALLS FOR FUEL EFFICIENT VEHICLES (TYP. OF 3). PER CAL GREEN TABLE 5.106.52			
35	(E) FIRE HYDRANT TO REMAIN			
36	(E) BUS STOP TO REMAIN			
37	(N) CATCH BASIN AND BIOTENTION AREA, SEE CIVIL DRAWINGS			

PROJECT INFORMATION

ZONING:	CC - COMMUNITY COMMERCIAL
SITE AREA:	40,300 S.F.
BUILDING AREA:	4,532 S.F.
LANDSCAPING REQUIRED:	2% OF PROPERTY AREA.
LANDSCAPING PROVIDED:	1,612.2 S.F.
LANDSCAPING PROVIDED:	7,672 S.F.

PARKING INFORMATION (PROPOSED)

TOTAL SPACES	ACCESSIBLE	STANDARD	SPACES	9' x 20' @ 90°	9' x 20' @ 90°
32	2	30			

TOTAL NUMBER OF EXISTING PARKING STALLS = 33
 PARKING REQUIRED 6/1000 SF. = 28 STALLS

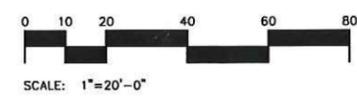
SITE ACCESSIBILITY ENTRANCE SIGNS

AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL, THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDINGS ENTRANCES AND FACILITIES.

PLAN LEGEND

CL	= CENTER LINE	P.O.C.	= POINT OF CURVATURE
COL	= COLUMN	R	= RADIUS
(E)	= EXISTING	R.O.W.	= RIGHT OF WAY
E.O.	= EQUAL	SHT.	= SHEET
F.O.C.	= FACE OF CURB	SM	= SUIRER
F.O.S.	= FACE OF STUD	TYP.	= TYPICAL
F.F.F.	= FACE OF FOUNDATION	FSE	= FINISH SLAB ELEVATION
(N)	= NEW		
---	---	(E)	CONCRETE CURB
---	---	---	PROPERTY LINE
---	---	---	ACCESSIBLE PATH OF TRAVEL
---	---	(N)	CONCRETE CURB WALK
---	---	(N)	CONCRETE PAVING
---	---	(N)	PAVEMENT ARROWS PER DETAIL 18/S01 (PAINTED WHITE)
---	---	(N)	DRIVE THRU STRIPING PER DETAIL 17/S01 (PAINTED YELLOW)

20 PROPOSED SITE PLAN
 SPI 1" = 20'-0"



PREPARED FOR:
M. McDonald's USA, LLC
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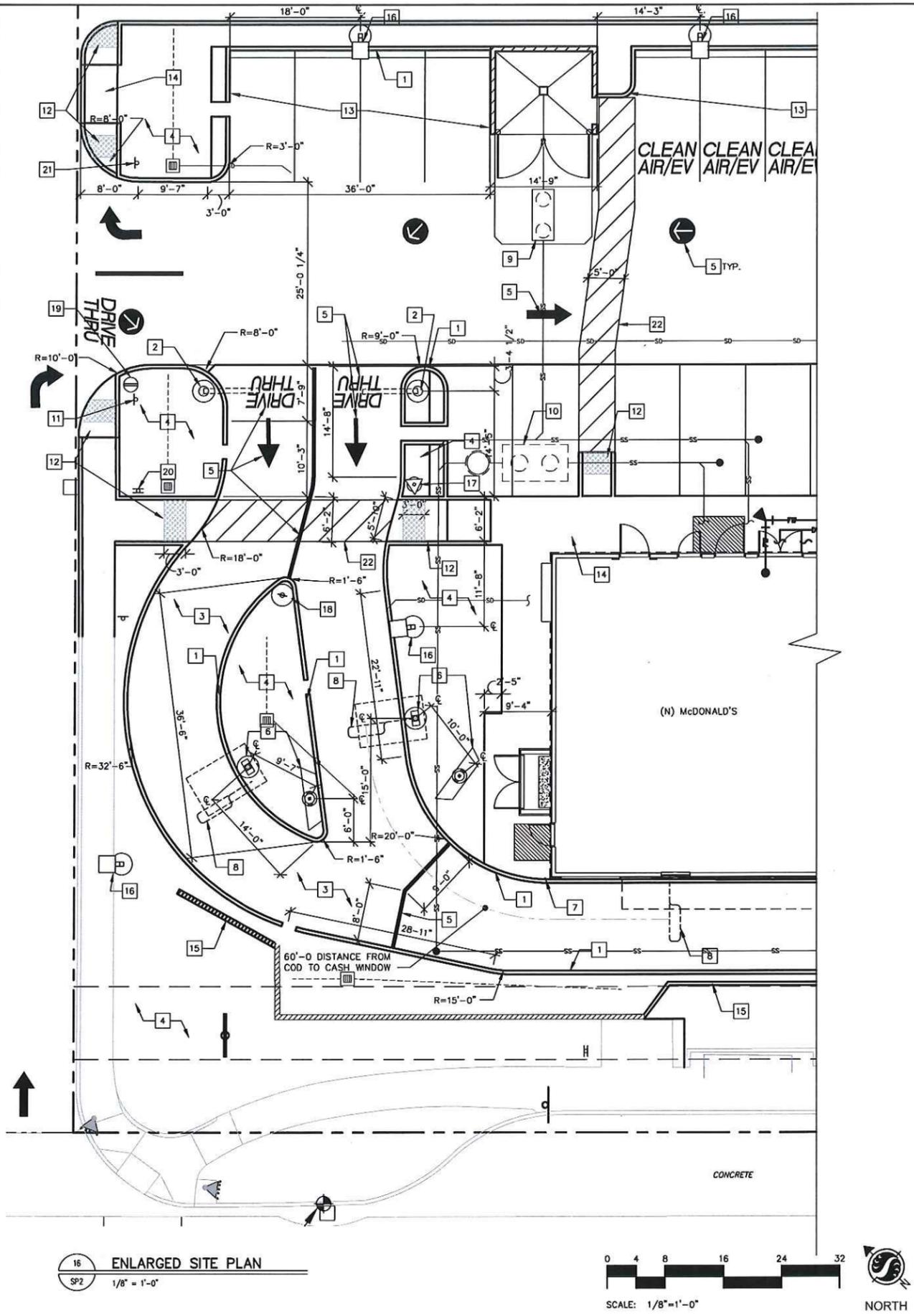
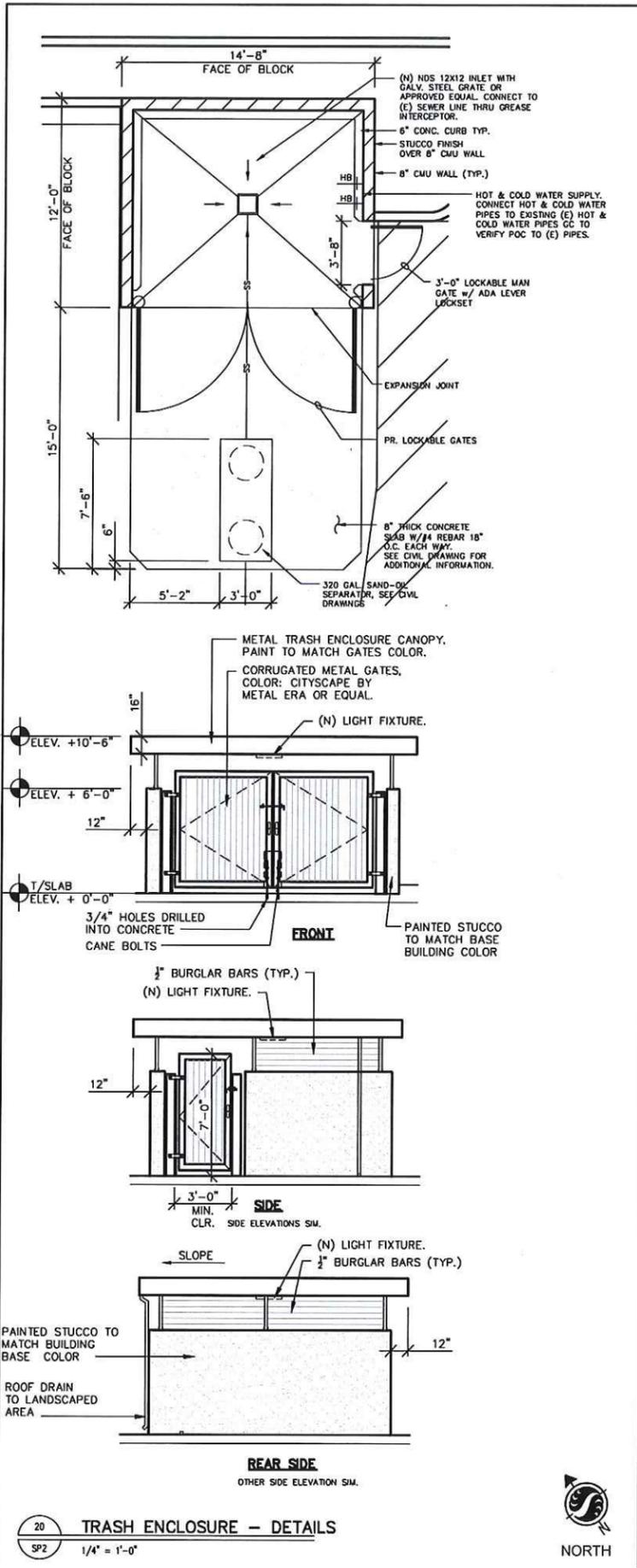


REV	DATE	BY	DESCRIPTION
03/09/17	REVISED FOR PLANNING	RJP	
02/14/17	REVISED FOR PLANNING	RJP	
01/20/17	REVISED FOR PLANNING	HI	
11/20/16	REVISED FOR PLANNING	HI	
09/19/16	REVISED FOR PLANNING	HI	
07/11/16	REVISED FOR PLANNING	HI	
06/24/16	REVISED FOR PLANNING	HI	
06/24/16	SUBMITTED FOR PLANNING	HI	
05/23/16	SUBMIT FOR PRELIM CITY REVIEW	HI	

DRAWING TITLE:
PROPOSED SITE PLAN
 PROJECT ADDRESS:
 35192 NEWARK BLVD
 NEWARK, CA 94560
 PROJECT CAD FILE:
 200704030
 STATE SITE CODE:
 00A-0455
 SHEET NO.
SP1
 PLOT SCALE: 1"=20'

EXHIBIT A04

\\net278-01\workgroup\2007\active\20070404\3D\drawing\00_A-SP2.dwg Dimension: 120 L1Scale: 0.7 Plot: [Time: Mar 06, 2017 - 01:46pm] Login: maddock
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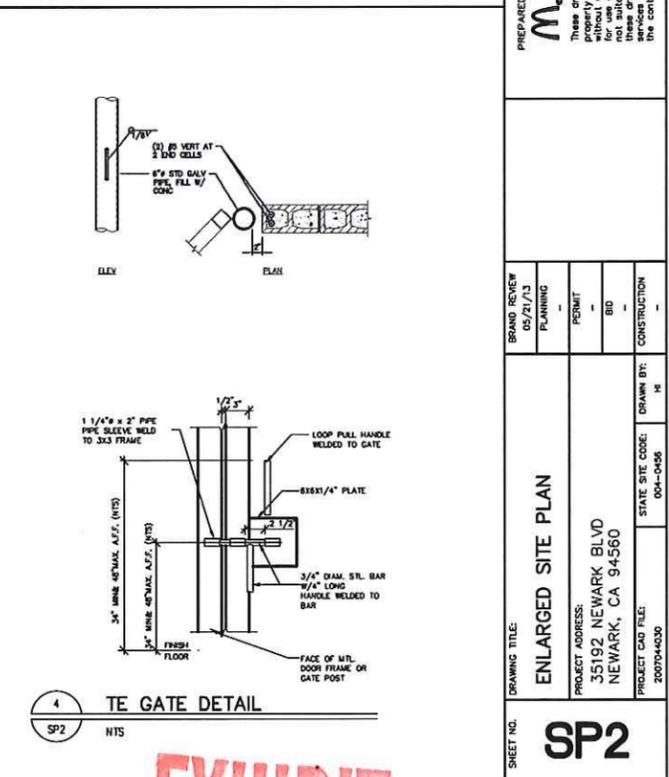


GENERAL NOTES

- SURFACE OF RAMP AND FLARES SHALL BE SLIP RESISTANT AND CONTRASTING FINISH FROM SIDEWALK.
- RAMP SHALL LIE IN SINGLE SLOPE PLANE W/ MIN. SURFACE WARPING AND CROSS SLOPE.
- RAMP LANDING SHALL HAVE A CROSS SLOPE OF 2% MAX. IN ALL DIRECTIONS.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING STALLS & ACCESSIBLE AISLE TO BE 2% IN ANY DIRECTION.
- ALL PARKING LOT IMPROVEMENTS SHALL MATCH SURROUNDING EXISTING GRADES.
- FOR ADDITIONAL INFORMATION REGARDING DRAINAGE & GRADING, CONCRETE CURB, SIDEWALKS & GUTTER DETAILS, SEE CIVIL DRAWINGS.

DRIVE THRU SIGNAGE KEYNOTES

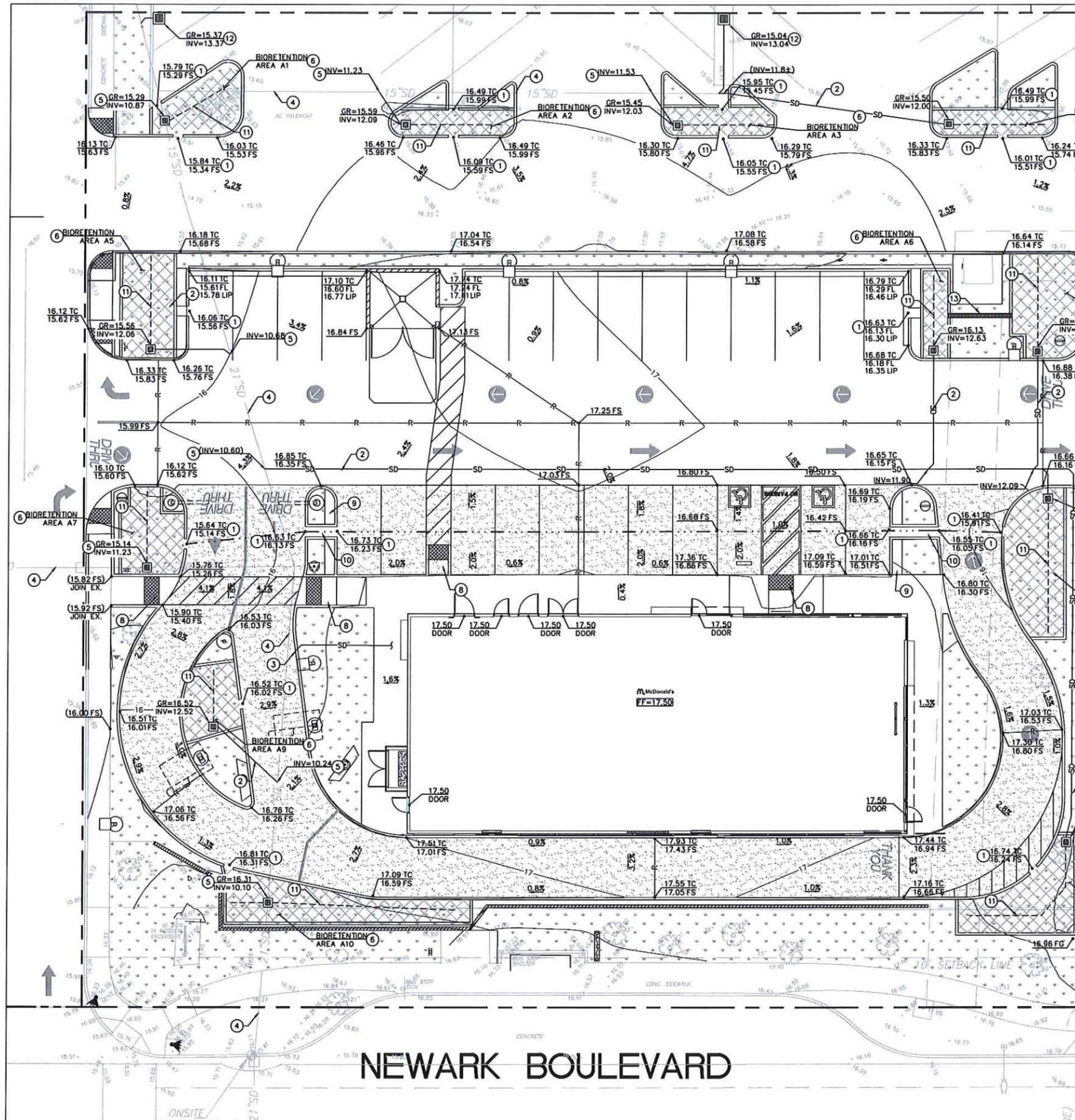
KEYNOTE	DESCRIPTION	REVISED FOR PLANNING	REVISED FOR PERMIT	REVISED FOR CONSTRUCTION
1	(N) CONCRETE CURB. SEE DETAIL B/SD1	01/20/17	02/14/17	
2	(N) DRIVE THRU GATE WAY W/CLEARANCE BAR BY OTHERS UNDER SEPARATE PERMIT. PROVIDE FOOTING AND CONDUIT AS REQUIRED. SEE SIGN DWGS.	01/20/17	02/14/17	
3	(N) CONCRETE PAVING AT DRIVE THRU, SEE DETAIL 6/SD1	01/20/17	02/14/17	
4	(N) LANDSCAPING TO MATCH EXISTING. MCD IS RESPONSIBLE FOR NEW LANDSCAPING (TOPSOIL, PLANTINGS, AND IRRIGATION). SUBCONTRACTOR TO BRING FILL/ROUGH GRADE AS NECESSARY AT NEW ISLANDS AND/OR BACK OF BUILDING TO WITHIN 4" OF TOP OF CURB	01/20/17	02/14/17	
5	(N) PAYMENT MARKINGS TO BE APPLIED AS SHOWN.	01/20/17	02/14/17	
6	(N) COMBINED COO AND MENU BOARD BY OTHERS UNDER SEPARATE PERMIT. PROVIDE FOOTING AND CONDUIT. SEE DETAIL 10/SD2 AND 20/SD4 (SM.) AND ELECTRICAL DRAWINGS. POSITION FOOTING AGAINST BACK OF CURB W/ EXPANSION JOINT	01/20/17	02/14/17	
7	(N) DR (E) BOLLARD TO REMAIN. RE-PAINT SAFETY YELLOW.	01/20/17	02/14/17	
8	(N) LOOP DETECTORS, IF NOT ALREADY PRESENT.	01/20/17	02/14/17	
9	(N) SAND-OIL SEPARATOR, SEE CIVIL DWGS	01/20/17	02/14/17	
10	(N) GREASE INTERCEPTOR, SEE CIVIL AND PLUMBING DWGS	01/20/17	02/14/17	
11	(N) FREE STANDING ENTRANCE SIGN W/ ACCESSIBLE PARKING AND TOW-AWAY INFO. (TYP AT ALL VEHICLE ACCESSES)	01/20/17	02/14/17	
12	(N) RAMP	01/20/17	02/14/17	
13	(N) PARKING STALLS	01/20/17	02/14/17	
14	(N) ACCESSIBLE CONCRETE SIDEWALK. TO BE FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL & 2% CROSS SLOPE.	01/20/17	02/14/17	
15	(N) SCREEN WALL	01/20/17	02/14/17	
16	(N) YARD LIGHT, BY OTHERS	01/20/17	02/14/17	
17	(N) PRE-SELL SIGN, BY OTHERS	01/20/17	02/14/17	
18	(N) ANYTIME ANYWHERE SIGN, BY OTHER	01/20/17	02/14/17	
19	(N) McDONALD'S DIRECTIONAL SIGN BY OTHERS, UNDER SEPARATE PERMIT.	01/20/17	02/14/17	
20	(N) DOUBLE FACED FORREST PERMA ACCESSIBLE SIGN.	01/20/17	02/14/17	
21	(N) "RIGHT TURN ONLY" SIGN	01/20/17	02/14/17	
22	(N) STRIPING DESIGNATING ACCESSIBLE PATH FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL & 2% CROSS SLOPE.	01/20/17	02/14/17	



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McDonald's USA, LLC
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BRAND REVIEW	05/21/13	PLANNING	PERMIT	BID	CONSTRUCTION
DRAWING TITLE:	ENLARGED SITE PLAN				
PROJECT ADDRESS:	35192 NEWARK BLVD NEWARK, CA 94560				
PROJECT CAD FILE:	STATE SITE CODE:	DRAWN BY:			
200704030	004-0485	HE			
SHEET NO.	SP2				

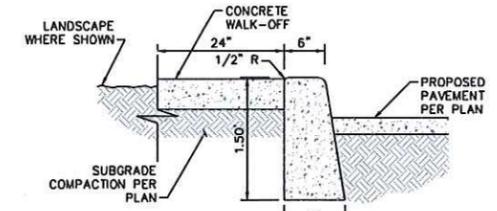
EXHIBIT Ap5



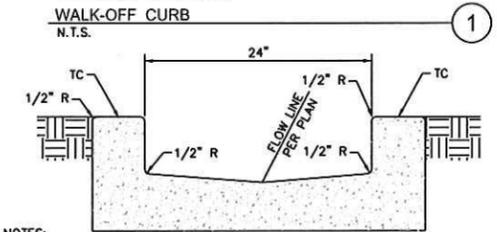
LEGEND

	PROPERTY LINE
	CIVIL LIMIT OF WORK LINE
	GRADE BREAK LINE
	RIDGE LINE
	FLOW LINE
	STORM DRAIN LINE
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	PROPOSED FLOW (DIRECTION AND SLOPE)
	SITE WALL (SEE ARCHITECTURAL PLANS FOR INFORMATION)

- GRADING AND DRAINAGE NOTES**
- 2.0' WIDE CURB CUT
 - 6" PVC STORM DRAIN LINE, SLOPE PER PLANS
 - ROOF DRAIN DISCHARGE THROUGH CURB FACE
 - EXISTING STORM DRAIN LINE, SIZE PER PLANS
 - CONNECT TO EXISTING STORM DRAIN LINE
 - PROPOSED LINED BIORETENTION AREA PER DETAIL 3 THIS SHEET
 - CONNECT TO EXISTING STORM DRAIN STRUCTURE
 - PROPOSED CURB RAMP
 - 2.0' WIDE WALK-OFF CURB PER DETAIL 1 THIS SHEET
 - 2.0' WIDE CONCRETE CHANNEL GUTTER PER DETAIL 2 THIS SHEET
 - 4" PERFORATED PIPE UNDERDRAIN
 - RELOCATED CATCH BASIN
 - CHANNEL DRAIN WITH GRATE

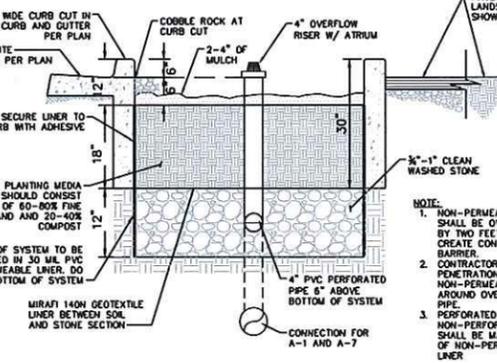


- NOTES:**
- CONCRETE SHALL BE 2500 PSI.
 - ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED
 - CONTRACTION JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 15' INTERVALS O.C.
 - WHERE A WALK IS ADJACENT TO THE CURB THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.

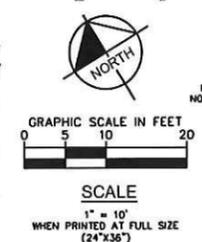


- NOTES:**
- CONCRETE SHALL BE 2500 PSI.
 - ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED
 - CONTRACTION JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 15' INTERVALS O.C.

CONCRETE CHANNEL GUTTER
N.T.S.



BIORETENTION SYSTEM
N.T.S.



DATE	02/10/17	REV	
DESCRIPTION	ENTIREMENT PACKAGE	HI	
DATE	03/09/17	REV	
DESCRIPTION	REVISED FOR PLANNING	TS	

Kimley-Horn

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PREPARED FOR: **M. McDonald's USA, LLC**

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STATE OF CALIFORNIA
REGISTERED PROFESSIONAL ENGINEER
TYLER HAYES
No. 50822
CIVIL
EXPIRES 12/31/2018

BRAND REVIEW	PLANNING	PERMIT	CONSTRUCTION

DRAWING TITLE: **PRELIMINARY GRADING PLAN**

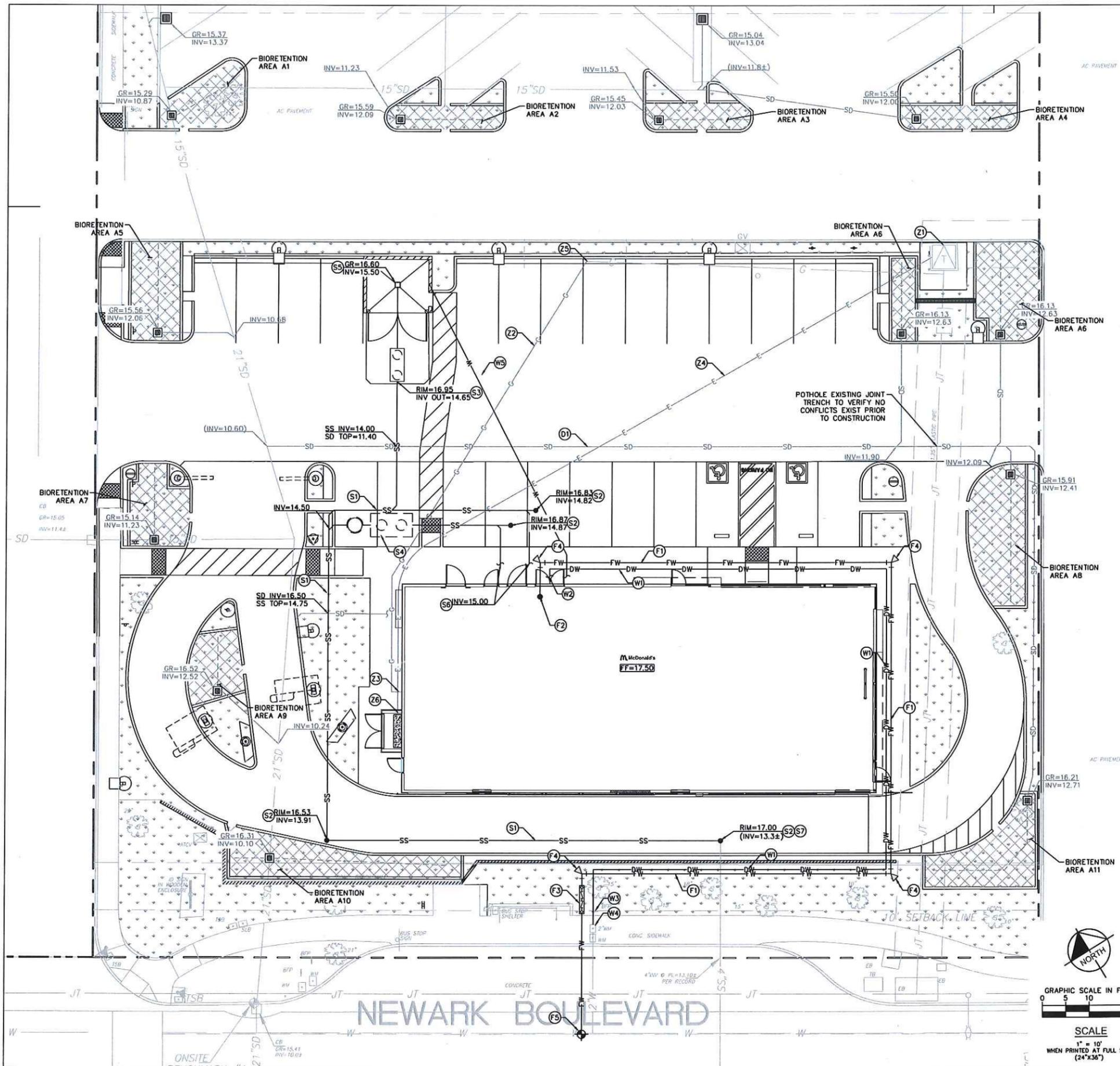
PROJECT ADDRESS: **35192 NEWARK BLVD
NEWARK, CA 94560**

STATE SITE CODE: **004-0406**

PROJECT CAD FILE: **200704030**

SHEET NO.: **C1.0**

EXHIBIT ApG



DOMESTIC WATER

- (W1) 2" DOMESTIC WATER PIPE
- (W2) BUILDING POINT OF CONNECTION
- (W3) CONNECT TO EXISTING DOMESTIC WATER BACKFLOW PREVENTER
- (W4) RE-USE EXISTING WATER METER
- (W5) 3/4" YARD HYDRANT WATER PIPE

FIRE WATER

- (F1) 6" FIRE WATER PIPE
- (F2) BUILDING POINT OF CONNECTION
- (F3) 6" DOUBLE DETECTOR CHECK ASSEMBLY WITH FIRE DEPARTMENT CONNECTION
- (F4) THRUST BLOCK, TYPICAL ON ALL TEES, WYES, BENDS AND VALVES
- (F5) CONNECT TO EXISTING WATER MAIN

SEWER

- (S1) 4" SANITARY SEWER PIPE
- (S2) SANITARY SEWER CLEANOUT
- (S3) 320 GALLON SAND-OIL SEPARATOR
- (S4) 1500 GALLON GREASE INTERCEPTOR
- (S5) TRASH ENCLOSURE DRAIN TO SANITARY SEWER
- (S6) BUILDING POINT OF CONNECTION, INSTALL 2-WAY CLEANOUT
- (S7) CONNECT TO EXISTING SANITARY SEWER LINE

STORM DRAIN

- (D1) PROPOSED STORM DRAIN PIPING AND APPURTENANCES. REFER TO DRAINAGE PLAN FOR DESIGN INFORMATION.

MEP SITE UTILITIES

NOTE: MEP SITE UTILITIES ARE SHOWN FOR REFERENCE ONLY. REFER TO MEP DRAWINGS AND SPECS FOR MORE INFORMATION. SHOWN FOR COORDINATION PURPOSES ONLY.

- (Z1) EXISTING TRANSFORMER TO REMAIN
- (Z2) PROPOSED GAS LINE
- (Z3) PROPOSED GAS METER
- (Z4) PROPOSED ELECTRIC LINE
- (Z5) CONNECT TO EXISTING GAS LINE
- (Z6) BUILDING POINT OF CONNECTION

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

LEGEND

- PROPERTY LINE
- CIVIL LIMIT OF WORK LINE
- SS --- PROPOSED SANITARY SEWER PIPE
- SD --- PROPOSED STORM DRAIN PIPE
- W --- PROPOSED WATER PIPE
- FW --- PROPOSED FIRE WATER PIPE
- G --- PROPOSED GAS PIPE
- E --- PROPOSED PRIMARY ELECTRICAL CONDUIT
- PROPOSED PERFORATED PIPE
- PROPOSED POINT OF CONNECTION (BLDG)
- PROPOSED POINT OF CONNECTION (TO EXISTING)
- FIRE RISER IN BUILDING MECHANICAL ROOM
- PROPOSED REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY WITH FIRE DEPARTMENT CONNECTION
- PROPOSED 90° BEND WITH THRUST BLOCK

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PROJECT ADDRESS: 35192 NEWARK BLVD NEWARK, CA 94560		STATE SITE CODE: 004-0406	
PROJECT CAD FILE: 2007044030		DRAWN BY: H	
DRAWING TITLE: PRELIMINARY UTILITY PLAN		BRAND REVIEW: PLANNING PERMIT BD CONSTRUCTION	
SHEET NO. C2.0		DATE: 02/07/17	
REVISIONS:		REVISIONS:	
NO.	DATE	BY	DESCRIPTION

EXHIBIT Ap7

GENERAL NOTES

- ALL PLANTING AREAS SHALL BE COVERED FIRST WITH A 2" LAYER OF ORGANIC COMPOST THEN WITH CORRUGATED CARDBOARD AND TOPDRESSED WITH A 3" (MINIMUM) DEEP LAYER OF 3/4" MINUS WOOD CHIP MULCH.
- REFER TO ARCHITECTURAL AND CIVIL PLANS FOR DESCRIPTIONS OF ELEMENTS NOT IDENTIFIED ON THIS PLAN.
- OBSERVE THE FOLLOWING MINIMUM SETBACK DISTANCES FOR TREE PLANTING:
 - BETWEEN STREET TREES = 30 FT.
 - DRIVEWAY CUTS AND FIRE HYDRANTS = 7 FT.
 - UTILITY BOXES, MANHOLE AND OTHER UTILITY VAULTS, TELEPHONE AND OTHER UTILITY POLES, GAS AND WATER METER, AND MAINS = 5 FT.
- ALL SURFACE AND SUB-SURFACE SWALES, DRAINAGE STRUCTURES AND PATTERNS SHALL BE MAINTAINED.
- A LICENSED LANDSCAPE MAINTENANCE CONTRACTOR WILL BE RETAINED TO PERFORM ROUTINE MAINTENANCE DUTIES.
- LOCATIONS AND QUANTITIES OF EXISTING LANDSCAPE MATERIALS ARE APPROXIMATE. EXISTING TREES TO BE PROTECTED DURING CONSTRUCTION.
- PLANTER SOIL SHALL BE AMENDED AS DESCRIBED BY A LABORATORY SOIL ANALYSIS.
- NO NATIVE PLANT MATERIAL EXISTS ON SITE, NONE WILL BE SALVAGED OR RELOCATED.

WATER CONSERVATION CONCEPT

CONCEPT STATEMENT

A COMBINATION OF SUB-SURFACE DRIP AND BUBBLERS, AND/OR LOW VOLUME ROTATOR SPRAYS SHALL BE INSTALLED IN ALL PLANTERS. IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL PROGRAMMING, HAVE LEAK DETECTION, HAVE AUTOMATIC SHUT OFF, AND HAVE A WEATHER STATION. PLANTS ARE GROUPED INTO "HYDROZONES" AND IRRIGATED SEPARATELY FROM THOSE WITH DIFFERENT WATER REQUIREMENTS.

LINEAR ROOT BARRIER SPECIFIED. DO NOT USE PLASTIC BOX BARRIERS.

Bay-Friendly Basic Practices Checklist for Private Development

Project Name: _____ Project Number: _____
 Landscape Architect: _____ CA License Number: _____
 Phone Number: _____

Each project is required to meet any seven (7) of the following nine (9) Practices. In addition to this minimum requirement, each project is encouraged to meet all 9 of the Practices, plus 60 points on the Bay-Friendly Civic and Commercial Landscape Scorecard, which is available at www.BayFriendly.com

Yes	No	Measure & Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Mutch all shrub areas with 3 inch layer of mulch. Requirement: All soil on site is protected with a minimum of 3 inches of mulch after construction. Reference: Bay-Friendly Scorecard Item C.6.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Amend soil with compost before planting. Requirement: Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. Option 1: Prepare report based on soil organic matter content of 3.5% by dry weight or greater. Reference: Bay-Friendly Scorecard Item C.7.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Reduce and Recycle Landscape Construction Waste. Requirement: 25% of landscape construction and demolition waste by volume or weight. Reference: Bay-Friendly Scorecard Item D.2.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Choose and Locate Plants that Grow to Natural Size and Avoid Shearing. Requirement: Resident species will require shearing. Select species and spacing to allow plants to grow to natural size and shape without shearing at any point in the lifespan of the plant, excluding structural and regular maintenance pruning. Plant spacing shall not allow plants to grow into adjacent buildings, sidewalks, roadways, or adjacent landscape areas. Reference: Bay-Friendly Scorecard Item E.1.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5. Do not Plant Invasive Plant Species. Requirement: None of the plant species listed by CALIFPC as invasive in the San Francisco Bay Area are included in the planting design. Reference: Bay-Friendly Scorecard Item E.2.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6. Grow Drought Tolerant California Native, Mediterranean or Climate Adapted Plants. Requirement: A minimum of 25% of the total number of plants in the rootcut areas must be species that require no or little summer watering once established. Species shall be adapted to the climate in which they will be planted, as referenced by the local park source. Plants shall be suited for moderate or occasional water use for this region and climate. Reference: Bay-Friendly Scorecard Item E.3.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7. Minimize Turf. Requirement: A maximum of 25% of total irrigated area is specified as turf, with sports or multi-use fields exempted. Reference: Bay-Friendly Scorecard Item E.4.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Specify Automatic Weather-Based Irrigation Controller with Soil Moisture and/or Rain Sensor. Requirement: If weather-based irrigation controller, soil moisture based controller, or other self-adjusting irrigation controller, shall be required for areas irrigation system. Reference: Bay-Friendly Scorecard Item F.2.a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Sprinkler and Spray Heads are Not Specified in Areas less than 8 Feet Wide. Requirement: Sprinkler and spray heads are not specified in areas less than 8 feet wide to prevent overspray and runoff. Acceptable alternatives include bubbler or drip with subsurface rigid lateral pipes. Bubbler shall not exceed 15 gals per hour per emitter. Reference: Bay-Friendly Scorecard Item F.2.b



PLANTING LEGEND

SYMBOL	SIZE	QTY.	MATURE HEIGHT	BOTANICAL NAME	WATER REQMT	COMMON NAME
TREES						
(Symbol)	24"	BOX 6	22'	LAGERSTROEMIA INDICA 'WATERMELON RED'	L	GRAPE MYRTLE
(Symbol)	24"	BOX 4	30'	ACER CIRCINATUM - STD.	L	VINE MAPLE
(Symbol)	-	11	-	-	-	EXISTING TREES-TO REMAIN
(Symbol)	-	4	-	-	-	EXISTING TREES-TO BE REMOVED
SHRUBS, VINES AND PERENNIALS						
(Symbol)	5 GAL.	1	4'	RHAMNUS CALIFORNICA 'EVE CASE'	L	COFFEEBERRY
(Symbol)	5 GAL.	128	2'	DIETES IRRIDIODES	L	FORTNIGHT LILY
(Symbol)	5 GAL.	10	6'	PHORMIUM TENAX	L	NEW ZEALAND FLAX
(Symbol)	5 GAL.	60	30"	CISTUS X SKANBERGII	L	PINK ROCKROSE
(Symbol)	5 GAL.	109	3'	FESTUCA CALIFORNICA	L	ORN. GRASS
(Symbol)	5 GAL.	34	3'	CALLISTEMON CITRINUS 'LITTLE JOHN'	L	DWARF BOTTLEBRUSH
GROUNDCOVERS / MASS PLANTINGS						
(Symbol)	1 GAL.	157	18" O.C.	16" GAILLARDIA X GRANDIFLORA	L	BLANKET FLOWER
(Symbol)	1 GAL.	431	36" O.C.	18" ERIGERON SPECIOSUS	L	-
(Symbol)	1 GAL.	802	24" O.C.	24" LANTANA	L	LANTANA
(Symbol)	1 GAL.	1701	24" O.C.	25% EC. CHONDROPETALUM LECTORUM, DESCHAMPSIA CESPITOSA AND FESTUCA CALIFORNICA.	L	-

ROOT BARRIER: INSTALL AT TREES (EXCEPT PALMS) PLANTED 4' OR LESS FROM CURBS, BUILDINGS, OR PAVEMENT. HOWARD WIRE CLOTH COMPANY, HAYWARD, CA. (510)887-8787 OR 24" LINEAR PLASTIC PANEL FROM DEEP ROOT OR EQUAL.

TOTAL LANDSCAPED AREA: 7,672 S.F.

* GROUND COVERS TO EXTEND UNDER SHRUBS AND TREES WHICH IS NOT SHOWN ON THE PLAN DUE TO LEGIBILITY. CONTRACTOR TO INCLUDE SUFFICIENT PLANTS TO ACCOMPLISH THE SPACING SHOWN IN SHRUB BEDS TO WITHIN 3' OF EACH PLANTED SHRUB.

AB 1881 LANDSCAPE DOCUMENTATION - NEW PLANTS

PROJECT INFORMATION
 PROJECT APPLICANT: McDONALD'S
 PROJECT ADDRESS: 35192 NEWARK BLVD, NEWARK CA 94560
 LANDSCAPE AREA: 7672 S.F.
 PROJECT TYPE: NEW AND EXISTING TO REMAIN
 WATER SUPPLY TYPE: TBD
 CLIENT CONTACT: McDONALD'S US LLC, TIM DARNELL, (925) 949 4000
 PROJECT CONTACT: JACK RITTENHOUSE, STANTEC (707) 241-6921 CELL

WATER EFFICIENT LANDSCAPE WORKSHEET

HYDRO-ZONE*	VALVE #	IRRIGATION METHOD**	AREA S.F.	% OF LANDSCAPE S.F.	PLANT FACTOR (FROM WUCOLS)
LW	SHRUBS & GNDCLR	D	7367	100%	0.30
TOTAL			7367	100.0%	

* HYDROZONE
 0 - 0.3 LW=LOW WATER USE PLANTS
 0.4 - 0.6 MW=MODERATE WATER USE PLANTS
 0.7 - 1.0 HW=HIGH WATER USE PLANTS

** IRRIGATION METHOD
 MS = MICROSPRAY B=BUBBLER
 S=SPRAY D=DRIP
 R=ROTOR O=OTHER

WATER BUDGET CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	VALUE
ETO	44.2
CONVERSION FACTOR	0.62
ET ADJUSTMENT FACTOR	0.45
LANDSCAPE AREA S.F. (INCL. SLA)	7367
ADDIT WATER ALLOW FOR SLA	0.3
SPECIAL LANDSCAPE ALLOWANCE S.F.	0
MAWA=(ETO)(CONV FACTOR)(ET ADJ FACTOR X LANDSCAPE S.F.)+(ADDIT WATER ADJ X SLA S.F.)	90,848.37 Gal/Yr

ESTIMATED TOTAL WATER USE (ETWU)

ETWU=(ETO)(CONV FACTOR)(ET ADJ FACTOR X HYDROZONE AREA)+(SPECIAL LSCAPE ALLOWANCE S.F.)

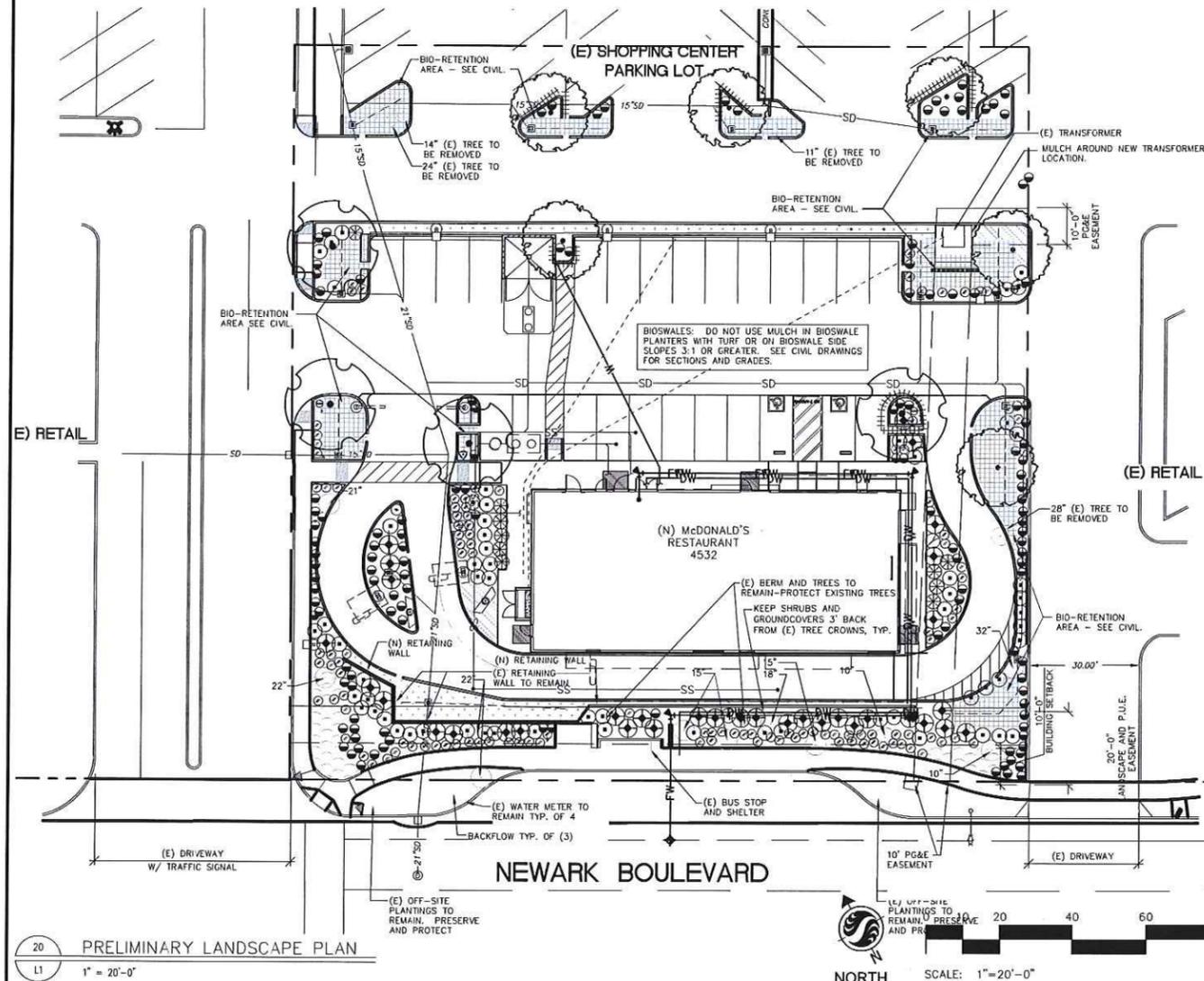
IRRIGATION EFFICIENCY

HYDROZONE	ETO	CONVERSION FACTOR	PLANT FACTOR	HYDROZONE AREA S.F.	IRRIGATION EFFICIENCY	SPECIAL LANDSCAPE ALLOWANCE S.F.	ETWU
LOW WATER USE HYDROZONES	44.2	0.62	0.3	7367	0.71	0	85,303.63 Gal/Yr
MODERATE WATER USE HYDROZONES	44.2	0.62	0.5	0	0.71	0	0.00 Gal/Yr
HIGH WATER USE HYDROZONES	44.2	0.62	0.7	0	0.71	0	0.00 Gal/Yr

ETWU= 85303.634 Gal/Yr
 ETWU= 94% MAWA

SOIL MANAGEMENT REQUIREMENTS

POST GRADING HORTICULTURAL APPRAISAL REQUIRED. WATER QUALITY REPORT REQUIRED ON RECYCLED WATER. RE-EVALUATION OF PLANT SELECTION REQUIRED WITH RECYCLED WATER TEST RESULTS, CONTACT LANDSCAPE ARCHITECT



20 PRELIMINARY LANDSCAPE PLAN
 1" = 20'-0"

NORTH SCALE: 1"=20'-0"

CITY SPECIFIC REQUIREMENTS

- 25% OF THE SITE AREA TO BE LANDSCAPED WITH 50% OF THE LANDSCAPED AREA ALONG THE PUBLIC ROW.
- BAY FRIENDLY LANDSCAPE PRACTICES ARE IMPLEMENTED ON THIS SITE FOR THE LANDSCAPE RENOVATION.
- LANDSCAPED AREAS ADJACENT TO PARKING TO BE BORDERED BY A WALL OR BERM. WALL AND BERM PROVIDED. REQUIREMENT MET.
- LANDSCAPE TO BE PERMANENTLY MAINTAINED BY THE OWNER.
- TREE PERMIT IS REQUIRED FOR REMOVAL OF TWO TREES. SEE PLAN.
- IRRIGATION PLANS TO BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE FOR ALL MODIFICATIONS TO THE EXISTING IRRIGATION SYSTEM THAT ARE NECESSARY TO SATISFY THE STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS AND THE CITY OF NEWARK REQUIREMENTS.

SUSTAINABLE DESIGN CHECKLIST

- IRRIGATION DESIGN TO BE WATER CONSERVING
- GROUND COVER DESIGNED TO PROVIDE 100% VEGETATED COVER IN 2-3 YRS. ON AT LEAST 50% OF THE LANDSCAPE AREA.
- PLANTS SUPPORT IPM
- NON-INVASIVE PLANTS USED
- LOW MAINTENANCE PLANTINGS USED OVER 80% OF LANDSCAPE AREA (ADJUST %)
- PLANTS SELECTED BASED ON AVAILABLE PLANTER AREA
- WATER CONSERVING PLANTING DESIGN
- DEEP TILLING REQUIRED TO REDUCE COMPACTION
- MULCH DEPTH 3" TO REDUCE EVAPOTRANSPIRATION
- SOILS TEST REQUIRED FOR IMPROVING SOILS
- I HAVE COMPLIED WITH THE CRITERIA OF THE STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE SECTION 492.6, AND APPLIED THEM ACCORDINGLY, FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN.

LANDSCAPE ARCHITECT SIGNATURE: *Misha Roth*
 DATE: 9-16-16

Stantec
 Stantec Architecture Inc. | Tel: 707.765.1660 | Fax: 707.765.9908
 1383 N. McDowell Blvd., Petaluma, CA U.S.A. 94954 | www.stantec.com

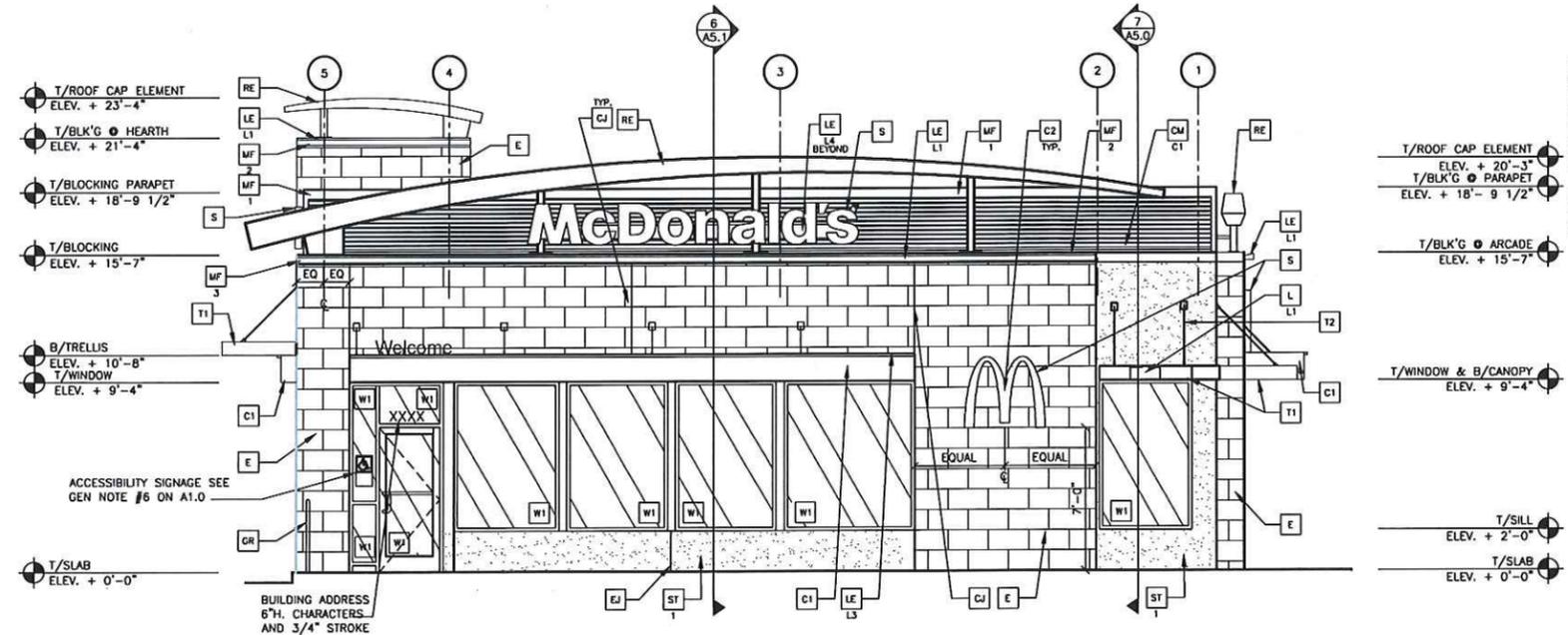
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BRAND REVIEW: PLANNING: PERMIT: BID: CONSTRUCTION:

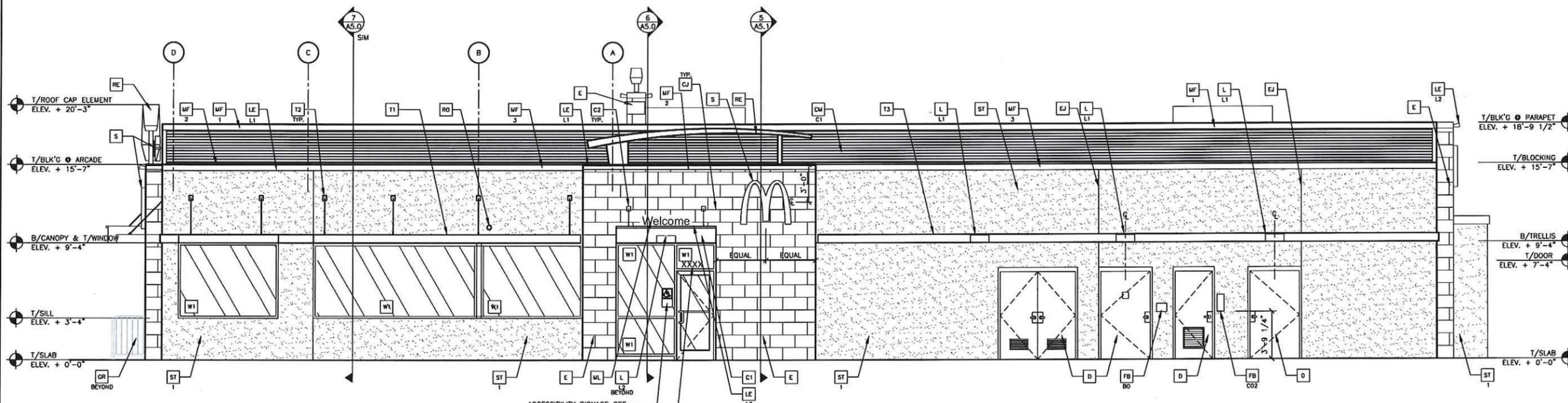
DRAWING TITLE: PRELIMINARY LANDSCAPE PLAN
 PROJECT ADDRESS: 35192 NEWARK BLVD NEWARK, CA 94560
 PROJECT CAD FILE: 20070403D
 STATE SITE CODE: 004-0456
 DRAWN BY: H
 SHEET NO. L1

EXHIBIT Apg8

I:\1729-10\working\2007\active\200704030\working\2-A-ELEV.dwg Dimscale:48 L1Scale:0.5 Plot:[Times-Mer06.2017-01-16pm Login:mmeddsk]
 Pre-plot(Lin, 0.2, 20.0, 14.42--abnosa) Xref: no-base "x_dwg" no-base "imgae"



1 FRONT ELEVATION
 A2.0 1/4" = 1'-0"



2 NON DRIVE-THRU ELEVATION
 A2.0 1/4" = 1'-0"

KEY NOTES:

- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CJ CONTROL JOINT
X TYPE: 1 = EFS
- CM CORRUGATED METAL PANEL - SEE 1B/AS.0
C1-COLOR:
C1 = "CITYSCAPE" BY METAL-ERA
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E TILE: OYSTER-BRUSH STROKE SERIES EUROWEST
- E1 TILE: WALNUT-BRUSH STROKE SERIES EUROWEST
- FB FB
C02 = BULK C02 FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OR FILL BOX (EOPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
L1-LI = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
- LE ACCENT LIGHTING - SEE ELECTRICAL
LI-LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- ML METAL LETTERING - BY OTHERS
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/AS.0
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB STUCCO CAP FASCIA
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RHM/C) CON COLLECTOR
UNIT #WPT 012000 STD
CALL 1-888-743-7435 TO ORDER
- ST CEMENT PLASTER FINISH
1-COLOR = "EARTHY RUSSET" BU-2173
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN; ELECTRONIC RELEASE
XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3 EXTERIOR WINDOW ASSEMBLY WITH SPANDREL GLASS - SEE SECTION 5/AS.0

R.P.	REV	DATE	DESCRIPTION
R.P.			
02/09/17	REVISED FOR PLANNING		
02/14/17	REVISED FOR PLANNING		
01/20/17	REVISED FOR PLANNING		
11/20/16	REVISED FOR PLANNING		
09/19/16	REVISED FOR PLANNING		
07/11/16	REVISED FOR PLANNING		
06/24/16	REVISED FOR PLANNING		
06/10/16	SUBMITTED FOR PLANNING		
05/23/16	SUBMIT FOR PRELIM CITY REVIEW		
#1			

Stantec
 Stantec Architecture Inc. Tel. 707.765.1660
 1383 N. McDowell Blvd. Fax. 707.765.9908
 Petaluma, CA U.S.A. 94954 www.stantec.com

PREPARED FOR:
M. McDonald's USA, LLC
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BRAND REVIEW	05/21/13
PLANNING	
PERMIT	
BO	
CONSTRUCTION	
DRAWN BY: H	
STATE SITE CODE: 094-0456	
PROJECT CAD FILE: 200704030	
PROJECT ADDRESS: 35192 NEWARK BLVD NEWARK, CA 94560	
DRAWING TITLE: EXTERIOR ELEVATIONS	
SHEET NO. A2.0	

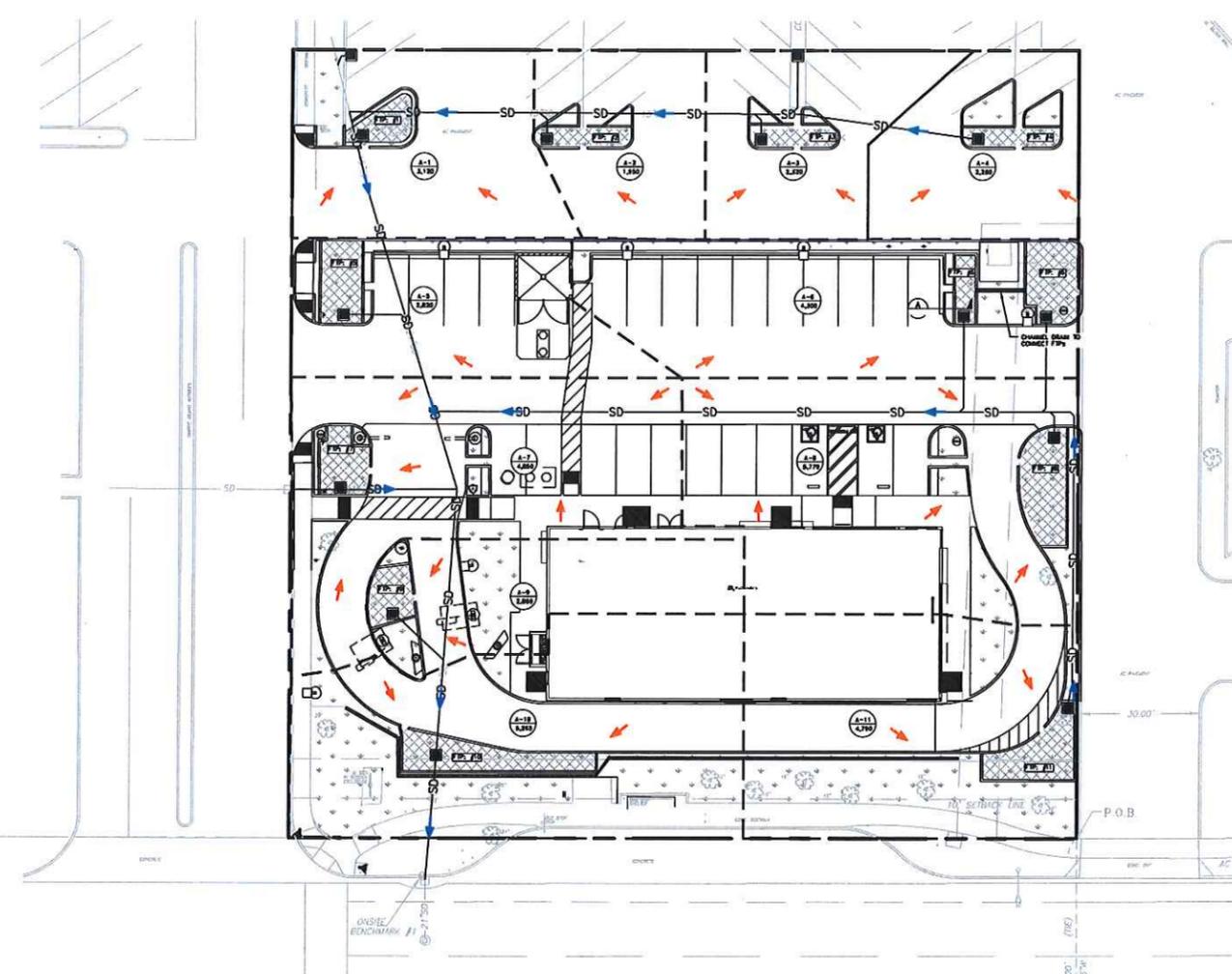
EXHIBIT A p10

STORMWATER CONTROL PLAN

FOR



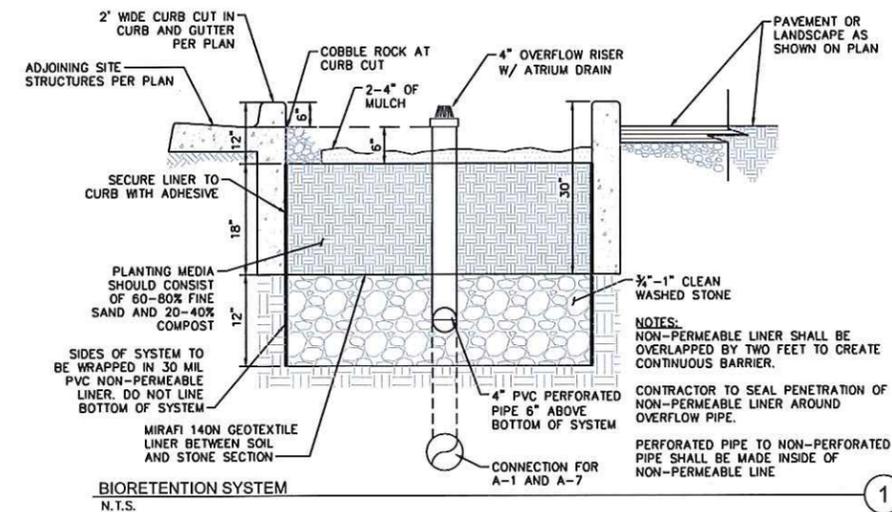
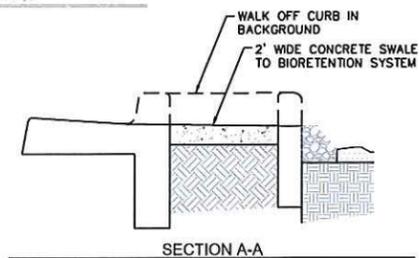
35192 NEWARK BOULEVARD
NEWARK, CA 94560



FLOW THROUGH PLANTER (FTP) BIORETENTION TREATMENT AREA				
DMA #	AREA (SF)	TREATMENT AREA-4% OF AREA (SF)	PROVIDED BIORETENTION TREATMENT AREA (SF)	TREATMENT FACILITY #
A-1	3120	125	140	FTP #1
A-2	1950	78	120	FTP #2
A-3	2320	93	120	FTP #3
A-4	2260	90	120	FTP #4
A-5	2820	113	120	FTP #5
A-6	4300	172	180	FTP #6
A-7	4850	194	200	FTP #7
A-8	5770	231	250	FTP #8
A-9	2860	114	120	FTP #9
A-10	5265	211	220	FTP #10
A-11	4790	192	200	FTP #11

LEGEND

- PROPERTY LINE
- DENOTES HYDROLOGY SUBAREA BOUNDARY
- IMPERVIOUS AREA (CONCRETE/ASPHALT/ROOF)
- LANDSCAPING
- APPROXIMATE LIMITS OF FLOW THROUGH PLANTER TREATMENT SYSTEM
- DENOTES SUBAREA DESIGNATION
DENOTES DRAINAGE AREA IN S.F.
- PROPOSED STORM DRAIN PIPE
- PROPOSED SURFACE FLOW DIRECTION
- PROPOSED STORM DRAIN FLOW DIRECTION



PREPARED FOR: **McDonald's USA, LLC**

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765 THE CITY DRIVE, SUITE 200, ORANGE, CA 92668
PHONE: 714-939-1030 FAX: 714-939-9488
WWW.KIMLEY-HORN.COM

Kimley-Horn

PROFESSIONAL ENGINEER
TYLER WOLSTEN
STATE OF CALIFORNIA
CIVIL
74878

BRAND REVIEW	PLANNING	PERMIT	BD	CONSTRUCTION

DRAWING TITLE: **STORM WATER CONTROL PLAN**

PROJECT ADDRESS: **35192 NEWARK BLVD
NEWARK, CA 94560**

STATE SITE CODE: **004-045**

PROJECT CAD FILE: **200704030**

SHEET NO. **SWCP-1**

DATE: **02/10/17**

REV: **02/06/17**

REVISIONS:

REV	DATE	DESCRIPTION
	02/06/17	REVISED FOR PLANNING
	02/10/17	ENTIREMENT PACKAGE
		HI
		BY

EXHIBIT Ap13



Non-Drive-Thru Elevation



Front Elevation

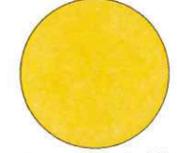
Color Legend:



Benjamin Moore #HC-77
"Alexander Beige"



Eurowest Brushstroke
Series "Oyster"



Canopies: "Gold"



Eurowest Brushstroke
Series "Oyster"



Metal-Era
"Cityscape"



Corrugate Metal Panel
City Scape Metal - ERA



Paint to match "Oyster" tile



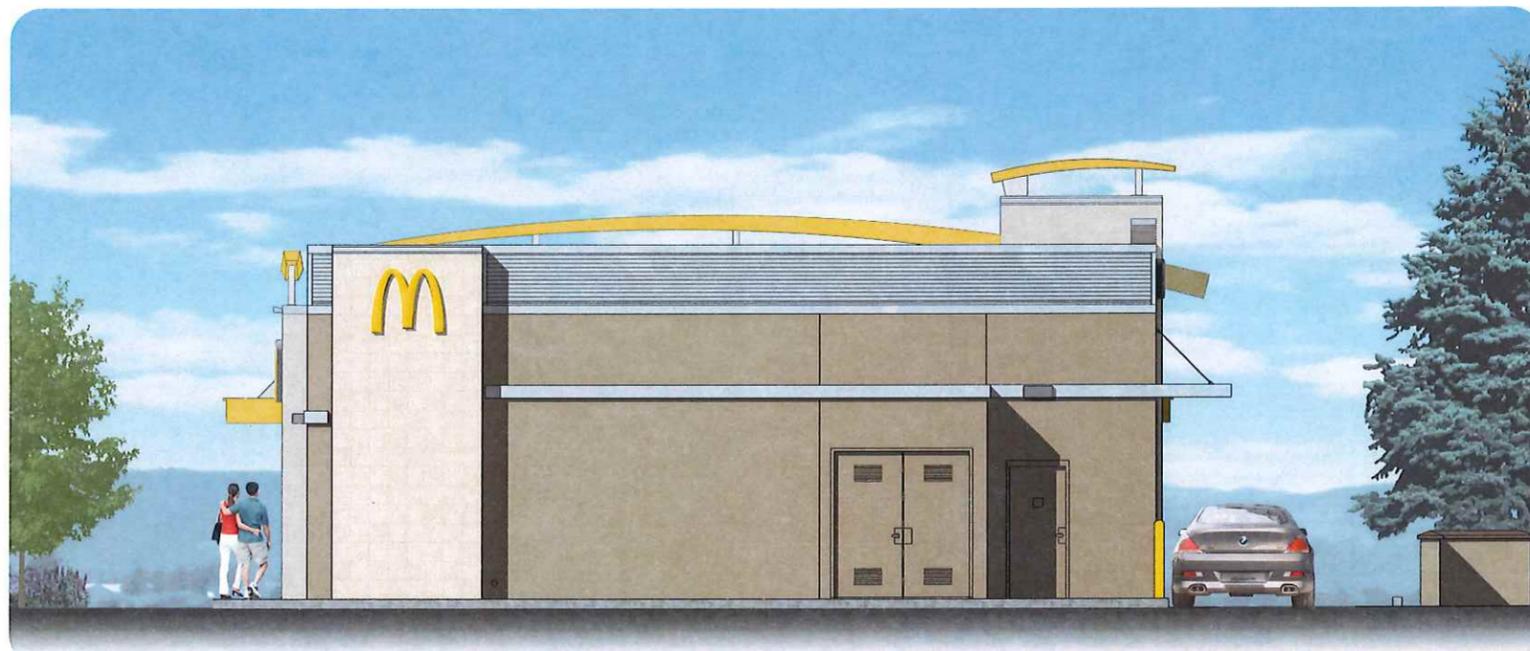
McDonald's
35192 Newark Blvd.
Newark, Ca 94560



EXHIBIT Ap. 15

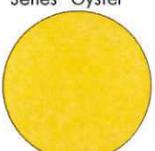


Non-Drive Elevation



Rear Elevation

Color Legend:

-  Benjamin Moore #HC-77 "Alexander Beige"
-  Eurowest Brushstroke Series "Oyster"
-  Canopies: "Gold"
-  Eurowest Brushstroke Series "Oyster"
-  Metal-Era "Cityscape"
-  Corrugate Metal Panel City Scape Metal - ERA
-  Paint to match "Oyster" tile



McDonald's
35192 Newark Blvd.
Newark, Ca 94560

EXHIBIT Ap16





superior
electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

www.superiorsigns.com

Project:
McDonald's

Address:
35192 Newark Blvd.,
Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

Revisions:
R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

FOR INSTALL ONLY DATE

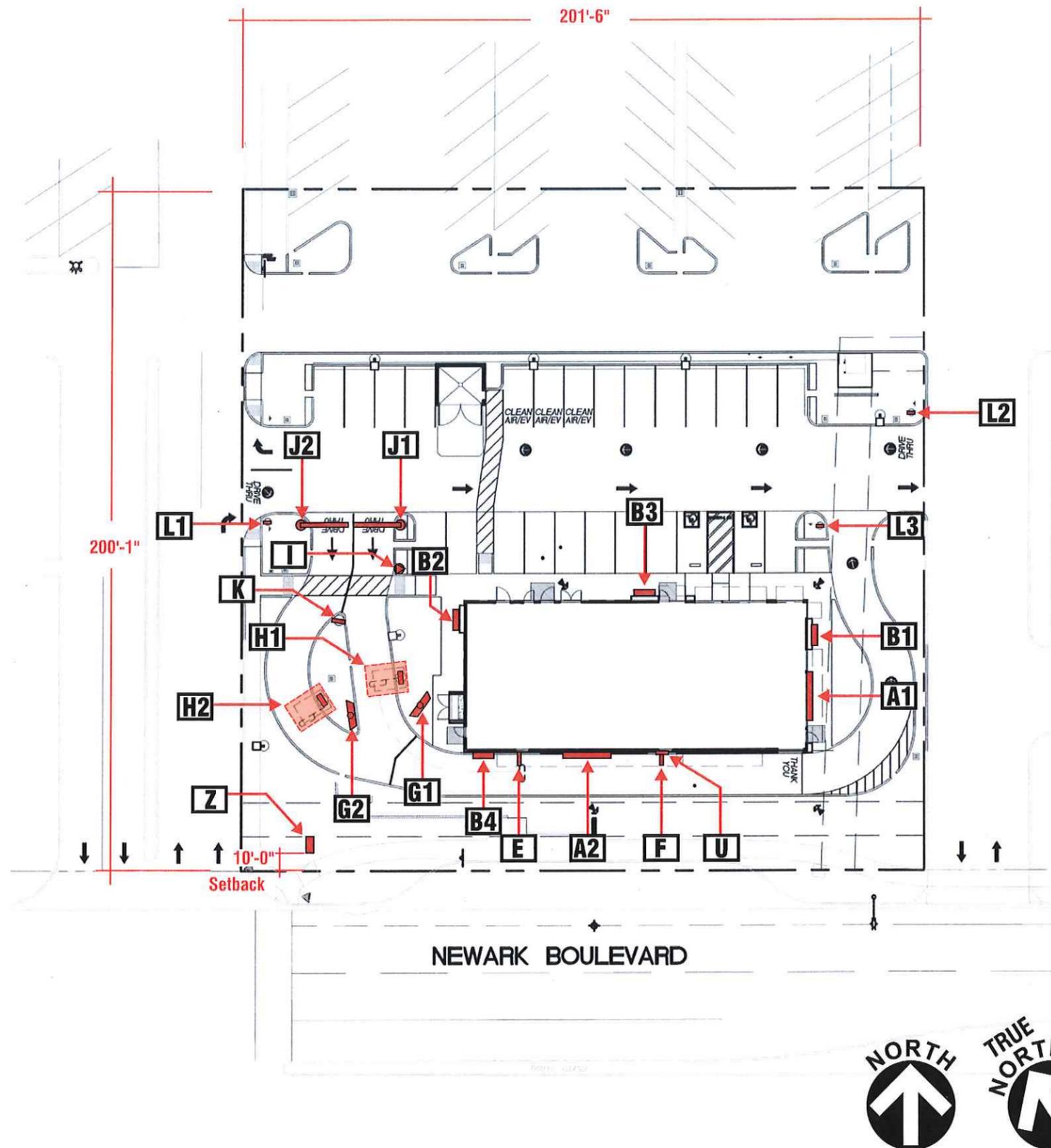
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SIGN SCHEDULE - McDONALD'S SIGNAGE					
NO.	DESCRIPTION	ILLUM.	AREA	QUANT.	TOTAL
A	CHANNEL LETTERS	Y	32.8	2	65.6
B	CHANNEL ARCH	Y	14.0	4	56.0
C					
D	"WELCOME" LETTERS	N	3.0	2	--
E	WINDOW BANNER	N	--	1	--
F	WINDOW BANNER	N	--	1	--
G	O.P.O MENUBOARD	Y	40.0	2	--
H	C.O.D. CANOPY SIGN	Y	--	2	--
I	O.P.O PRESELL	Y	--	1	--
J	GATEWAY CLEARANCE SIGN	N	--	2	--
K	BOLLARD	N	--	1	--
L	DIRECTIONAL	Y	--	3	--
U	ADDRESS	N	--	1	--
Z	MONUMENT	Y	25.0	1	25.0
TOTAL SQ. FOOTAGE =					146.6



MAXIMUM SIGNAGE ALLOWED:

201'-6" X 10' 201.5 SQUARE FEET ALL SIGNS

1 SITE PLAN
Scale: N.T.S



EXHIBIT Ap17



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Project:
McDonald's

Address:
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Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

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R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

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FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

FOR INSTALL ONLY DATE

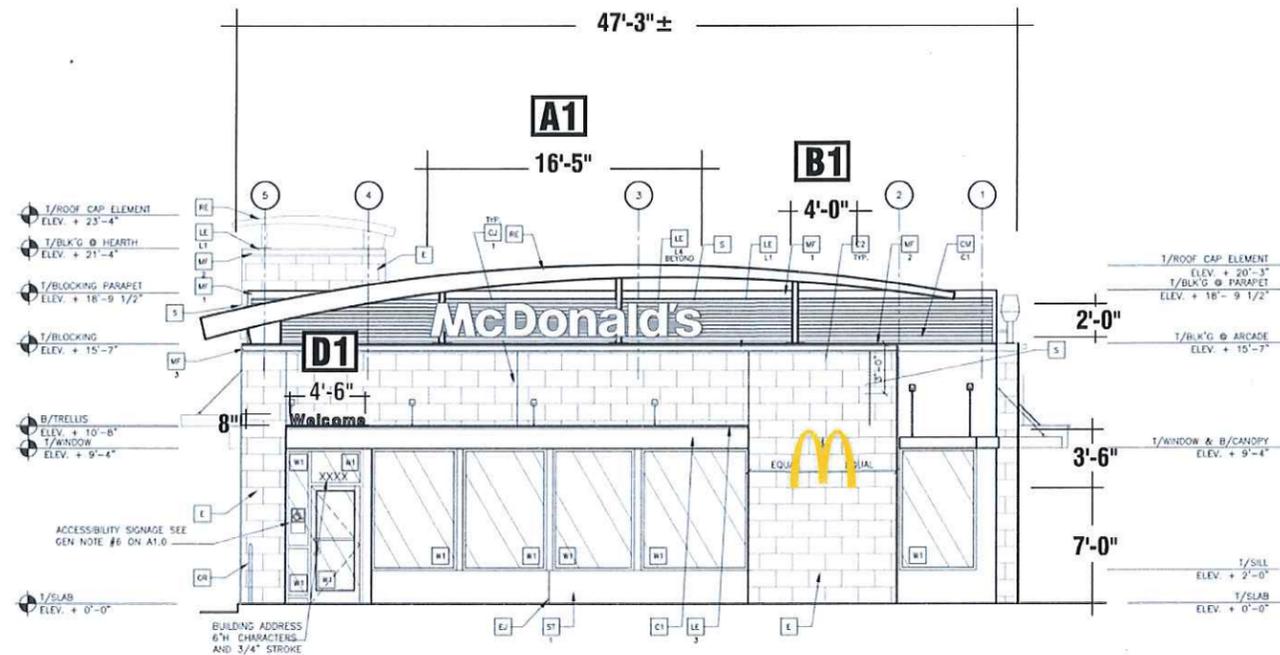
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Page: 03 Of: 11

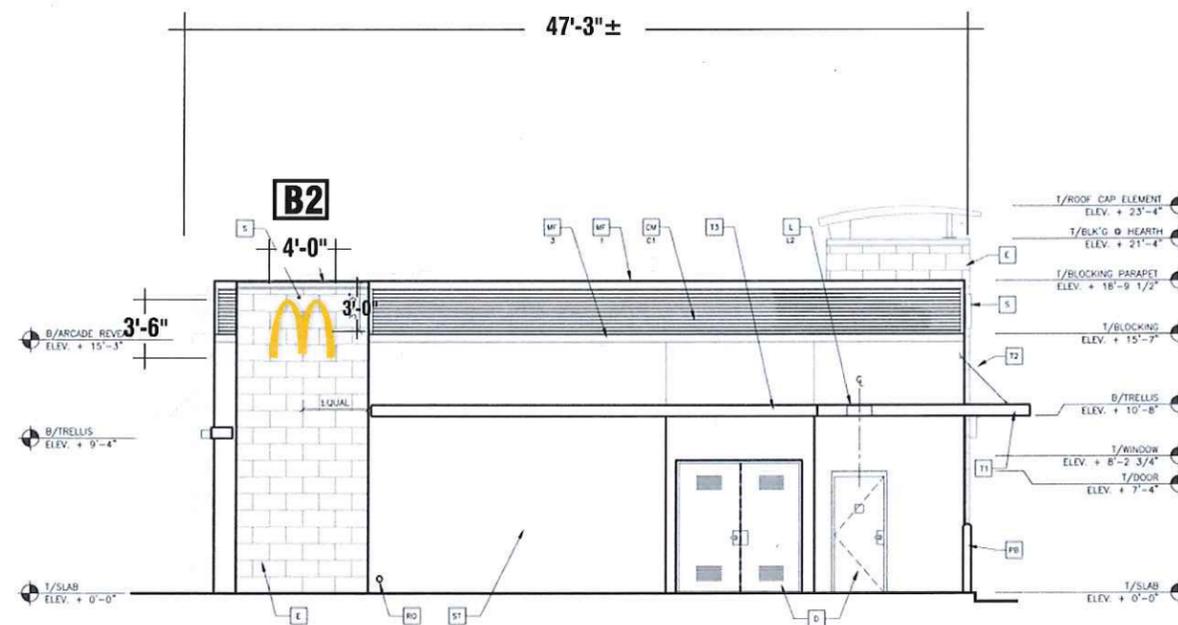
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1 FRONT ELEVATION - EAST
Scale: 3/32" = 1'-0"



2 REAR ELEVATION - WEST
Scale: 3/32" = 1'-0"

EXHIBIT Ap18



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Project:
McDonald's

Address:
**35192 Newark Blvd.,
Newark, CA**

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: **AS NOTED**

Design No.: **16-07-2011-04 P**

Date: **07.01.16**

Reg. No.:

Revisions:
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R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

APPROVALS

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

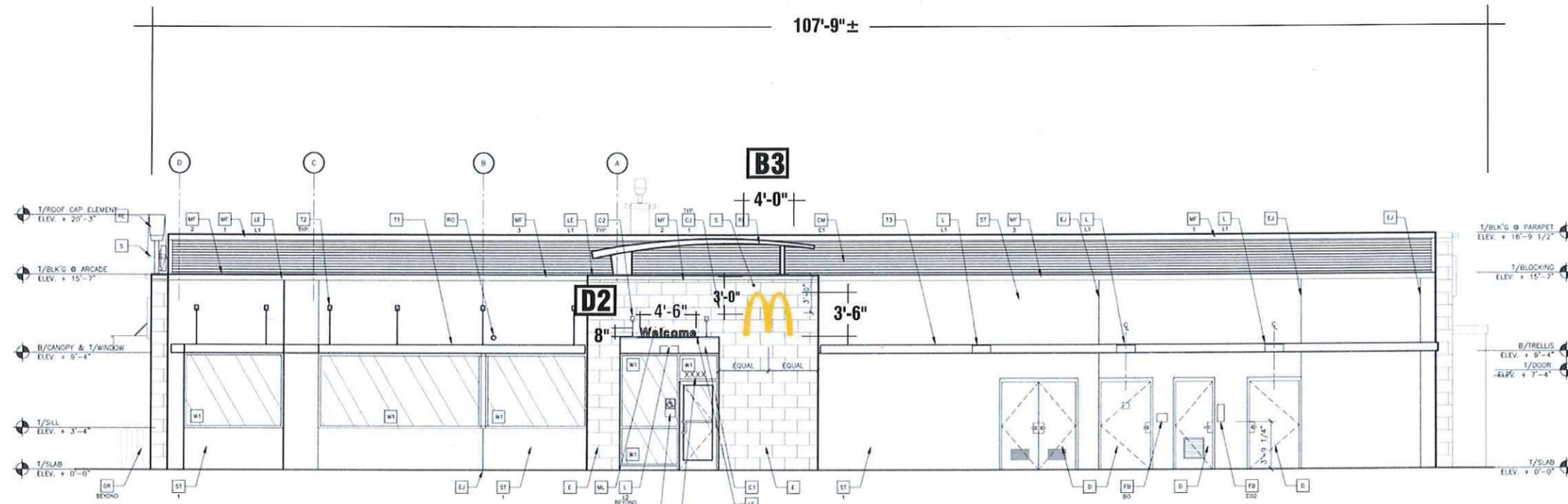
FOR INSTALL ONLY DATE

Acct. Mgr.

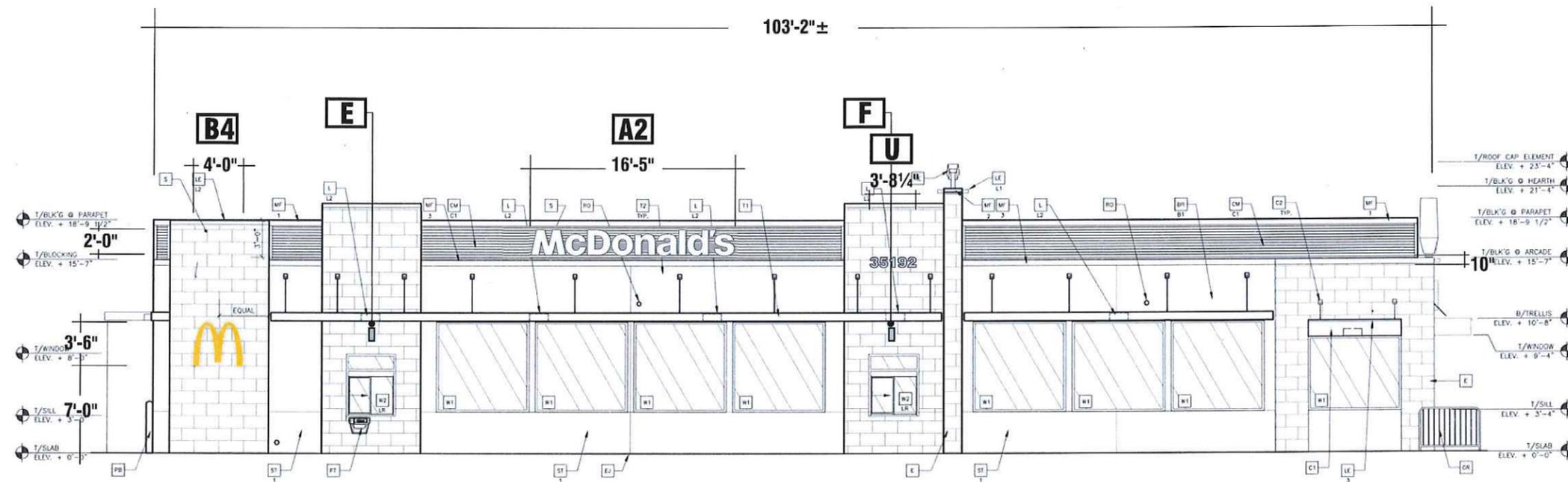
Page: 04 Of: 11

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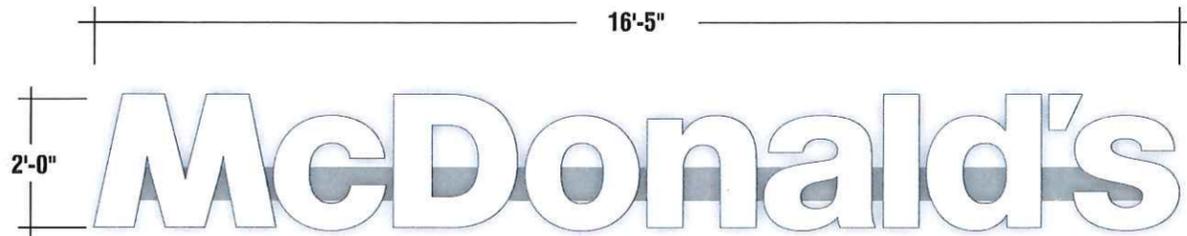


3 NON-DRIVE THRU ELEVATION - NORTH
Scale: 3/32" = 1'-0"



4 DRIVE THRU ELEVATION - SOUTH
Scale: 3/32" = 1'-0"

EXHIBIT Ap19



A1 A2 LED ILLUMINATED CHANNEL LETTERS / ELECTRICAL CHANNEL SUPPORT
 Quantity: Two (2) Required

32.8 Sq. Ft.
 Scale: 3/8" = 1'-0"

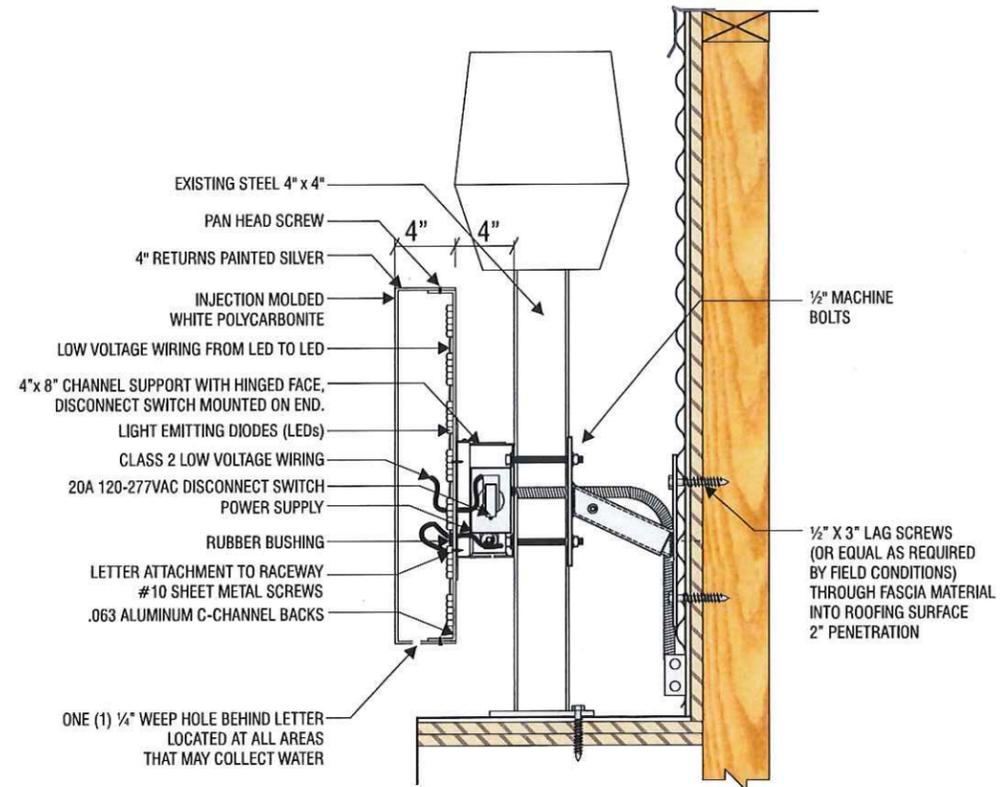
SPECIFICATIONS:

- LETTERS:** INJECTION MOLDED WHITE POLYCARBONITE
RETURNS: OPAQUE SILVER
ILLUMINATION: WHITE LED'S
CHANNEL SUPPORT: 4" x 8" ALUMINUM CONSTRUCTION PAINTED SILVER
POWER REQ: 1.6 AMPS
NOTE:

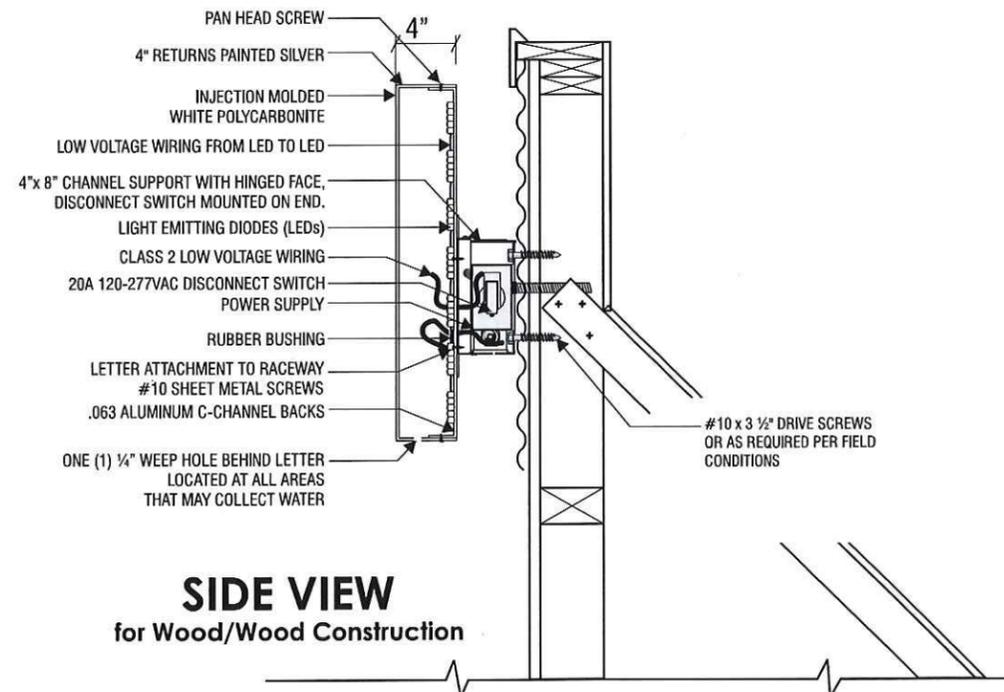
Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



A1 CHANNEL LETTER / ELECTRICAL CHANNEL SUPPORT - COLUMN ATTACHMENT
 Scale: 1" = 1'-0"



SIDE VIEW
 for Wood/Wood Construction

A2 CHANNEL LETTER - CORRUGATED METAL WALL ATTACHMENT
 Scale: n.t.s

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 Phone: 562.495.3808
 Facsimile: 562.435.1867
 www.superiorsigns.com

Project:
 McDonald's

Address:
 35192 Newark Blvd.,
 Newark, CA

Account Manager:
 Mike Rathbun

Designer:
 L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

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 R2 11/08/16 LR New elev. & lower signs (2.75)
 R3 11/10/16 LR Move sign B2 up (.5)
 R4 03/06/16 LR New site plan (.75)

APPROVALS

FOR JOB CHECK DATE

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FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

FOR INSTALL ONLY DATE

Acct. Mgr.

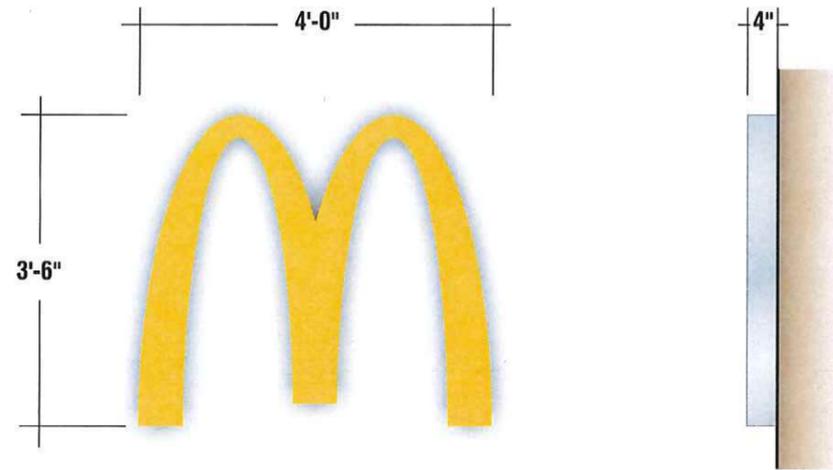
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EXHIBIT Ap20



B1 B2
B3 B4

LED ILLUMINATED CHANNEL LOGO

Quantity: Four (4) Required

14.0 Sq. Ft.

Scale: 1/2" = 1'-0"

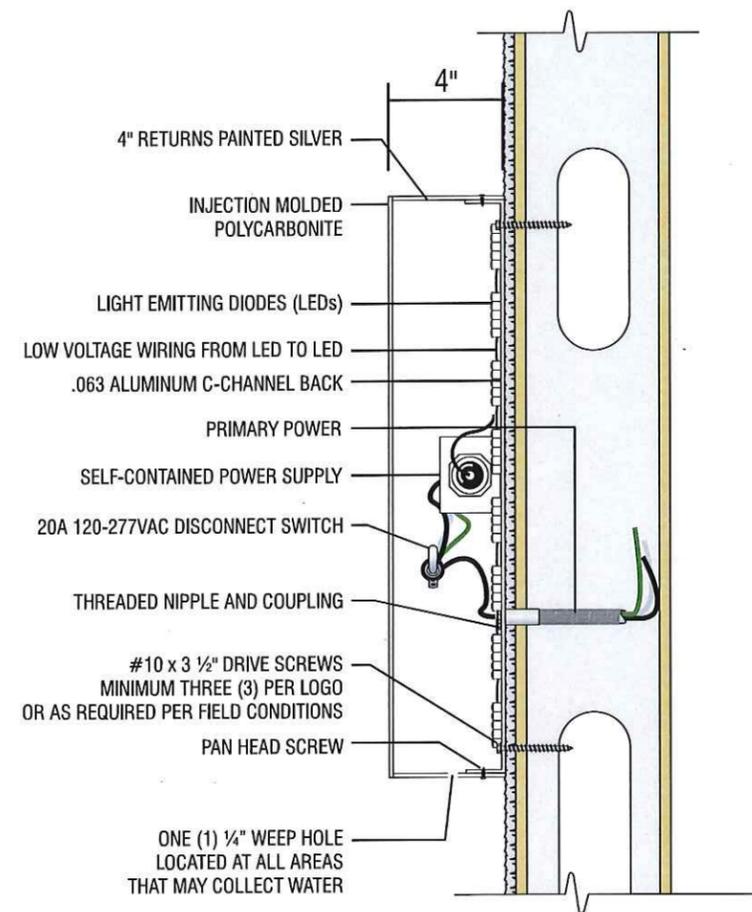
SPECIFICATIONS:

LOGO: INJECTION MOLDED YELLOW POLYCARBONITE
 RETURNS: OPAQUE POLYCARBONITE PAINTED SILVER
 ILLUMINATION: WHITE LED'S
 POWER REQ: 1.3 AMPS
 NOTE:

Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



1 TYPICAL SECTION DETAIL - SELF-CONTAINED BUILDING LOGO
 Scale: n.t.s



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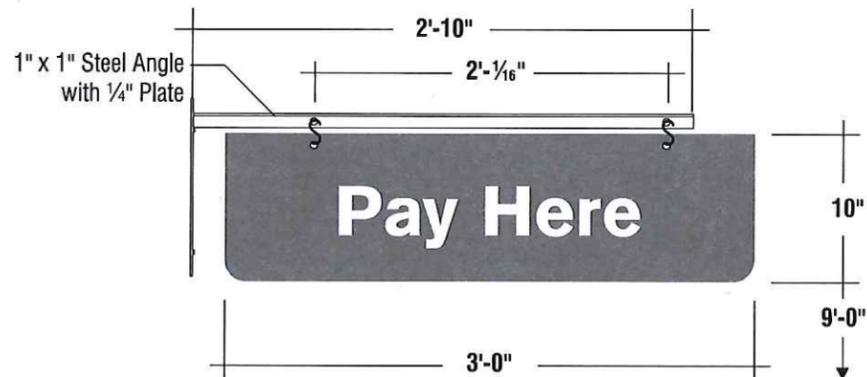
EXHIBIT Ap21



D1 D2 **NON-ILLUMINATED FREESTANDING FLAT CUT OUT LETTERS** 3.0 Sq. Ft.
 Quantity: Two (2) Required Scale: 1/2" = 1'-0"

SPECIFICATIONS:

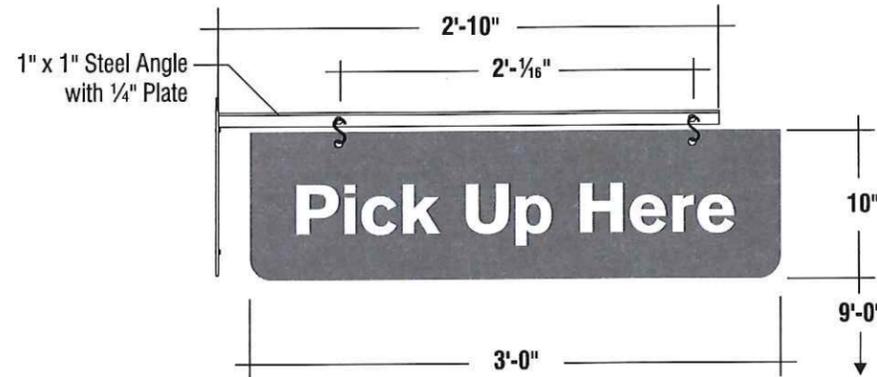
- **LETTERS:** FLAT CUT OUT ALUMINUM PAINTED BLACK WITH GRAY VINYL INSET ON FACE
- **RAIL:** ALUMINUM PAINTED BLACK MOUNTED TO AWNING SUPPORT WITH 1/4 -20 SELF DRILLING SCREWS FOUR (4) PLACES



E **SINGLE FACE NON-ILLUMINATED WINDOW POSITION PANEL W/MOUNTING BRACKET** 2.49 Sq. Ft.
 Quantity: One (1) Required Scale: 1" = 1'-0"

SPECIFICATIONS:

- **PIGMENTED ABS TO MATCH PMS #425C WITH SCREENED WHITE COPY**
- **TWO (2) STAINLESS STEEL S-HOOKS AT TOP SO TO CONNECT TO EYEBOLTS ABOVE**
- **MOUNTING BRACKET:** 1" X 1" STEEL ANGLE AND PLATE PAINTED BLACK



F **SINGLE FACE NON-ILLUMINATED WINDOW POSITION PANEL W/MOUNTING BRACKET** 2.49 Sq. Ft.
 Quantity: One (1) Required Scale: 1" = 1'-0"

SPECIFICATIONS:

- **PIGMENTED ABS TO MATCH PMS #425C WITH SCREENED WHITE COPY**
- **TWO (2) STAINLESS STEEL S-HOOKS AT TOP SO TO CONNECT TO EYEBOLTS ABOVE**
- **MOUNTING BRACKET:** 1" X 1" STEEL ANGLE AND PLATE PAINTED BLACK

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L. Ramirez 3.50

Scale: **AS NOTED**

Design No.: **16-07-2011-04 P**

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Reg. No.:

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 R4 03/06/16 LR New site plan (.75)

• APPROVALS •

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

FOR INSTALL ONLY DATE

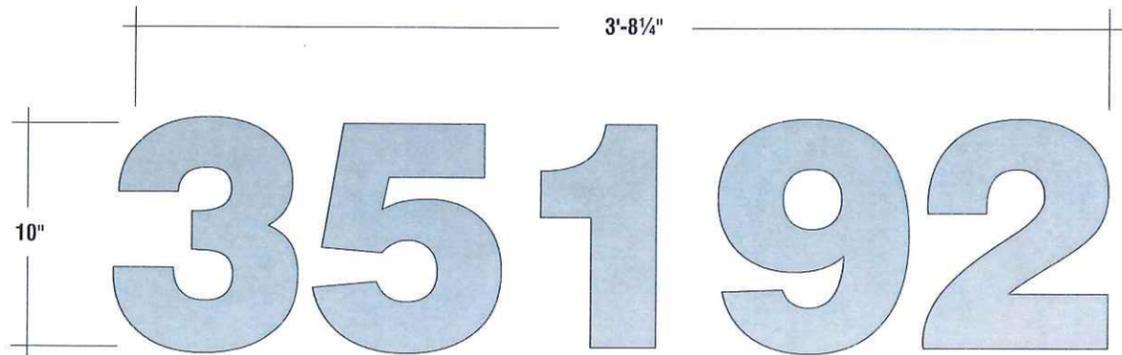
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EXHIBIT Ap22



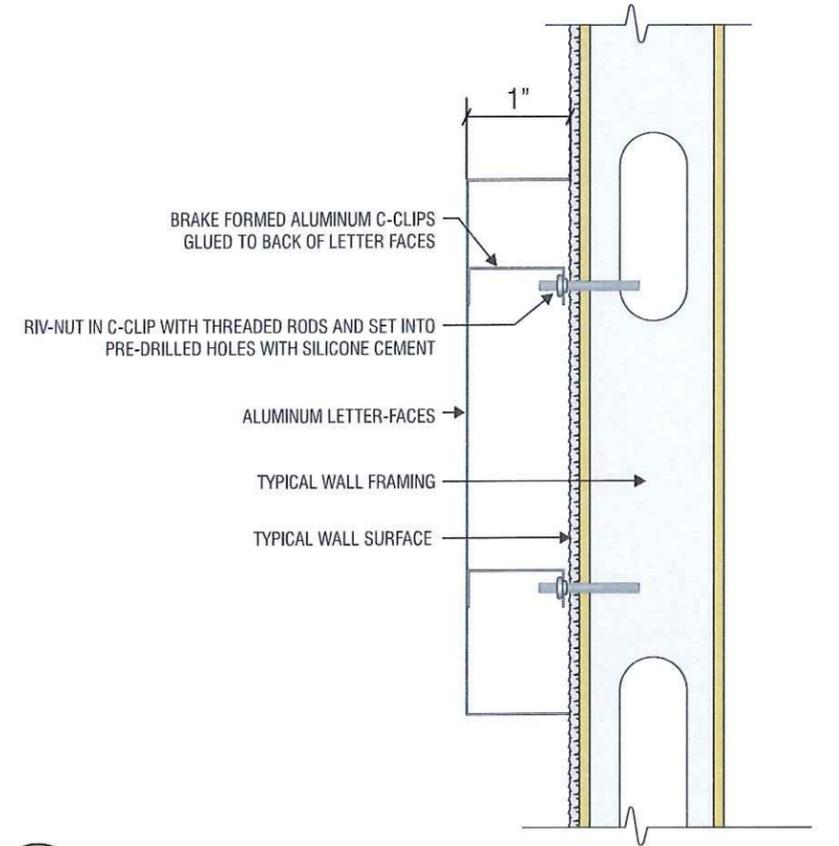
U CUSTOM FABRICATED NON-ILLUMINATED ADDRESS NUMBERS

Quantity: One (1) Required

Scale: 1 1/2" = 1'-0"

SPECIFICATIONS:

- **NUMBERS:** 1" DEEP NON-ILLUMINATED ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS. .063" RETURNS & .080" FACES TO MATCH BRUSH ALUMINUM



1 TYPICAL SECTION DETAIL
SCALE: NTS



superior
electrical advertising
1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867
www.superiorsigns.com

Project:
McDonald's

Address:
**35192 Newark Blvd.,
Newark, CA**

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: **AS NOTED**

Design No.: **16-07-2011-04 P**

Date: **07.01.16**

Reg. No.:

- Revisions:**
- R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
 - R2 11/08/16 LR New elev. & lower signs (2.75)
 - R3 11/10/16 LR Move sign B2 up (.5)
 - R4 03/06/16 LR New site plan (.75)

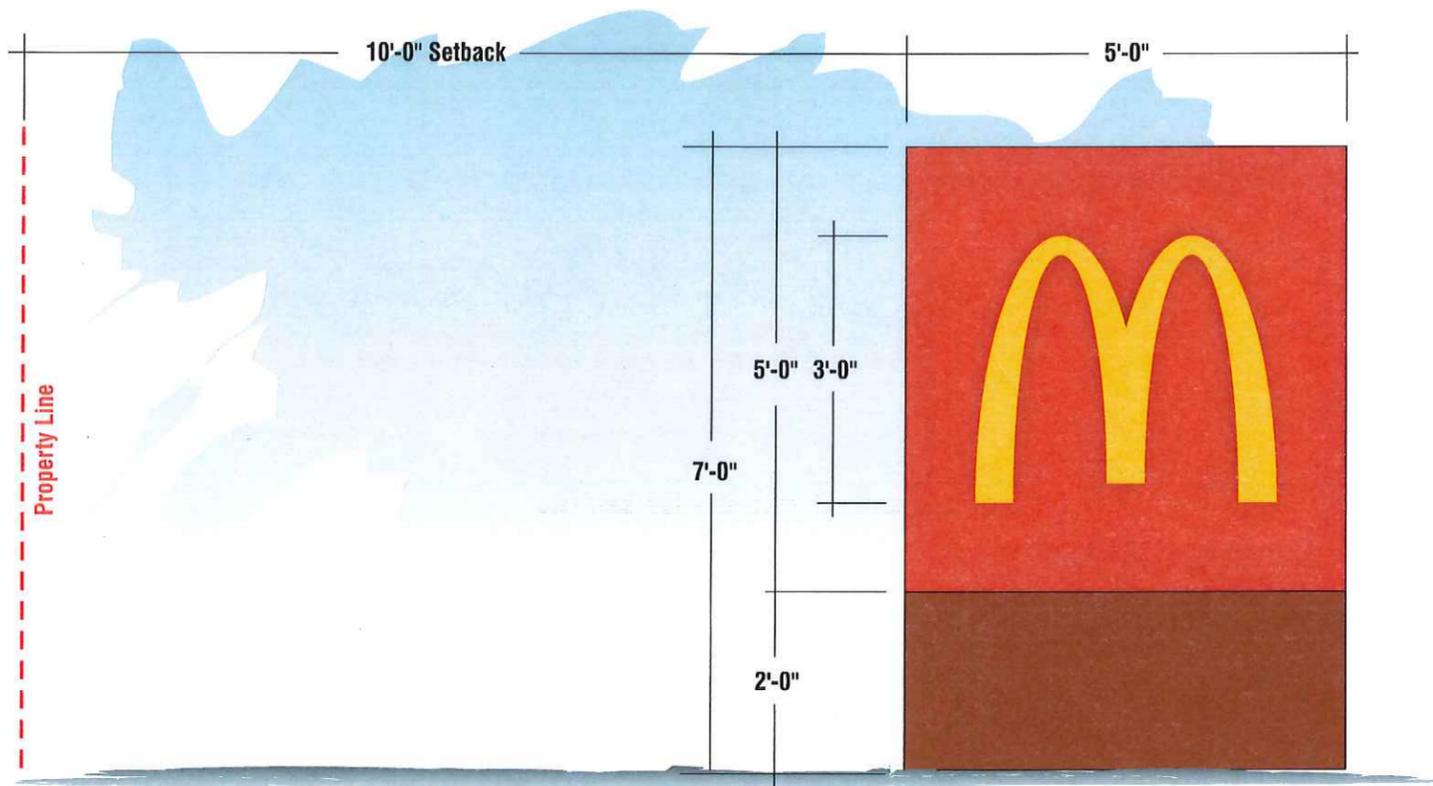
• APPROVALS •	
FOR JOB CHECK	DATE
Acct. Mgr.	
FOR CONSTRUCTION	DATE
Acct. Mgr.	
Design	
Production	
FOR INSTALL ONLY	DATE
Acct. Mgr.	

Page: 08 Of: 11

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EXHIBIT Ap23



1 EXISTING DOUBLE FACE MONUMENT (7'-0" o.a.h. x 5'-0" / 25.0 Sq. Ft.)
Scale: n.t.s

Z NEW D/F ILLUMINATED CABINET AND SHROUD FOR EXISTING PIPE SUPPORT
Quantity: Two (2) Faces Required

Sq. Ft. = 25.0
Scale: 1/2" = 1'-0"

SPECIFICATIONS:

CABINET: CUSTOM FABRICATED ALUMINUM PAINTED McDONALD'S RED (PMS #1795C)
FACES: .125 ALUMINUM PAINTED McDONALD'S RED (PMS #1795C) ROUTED OUT FOR ARCH
ARCH: VACUUM FORMED SABIC YELLOW LEXAN
ILLUMINATION: WARM WHITE LED'S
SHROUD: .063 ALUMINUM PAINTED BENJAMIN MOORE "EARTHY RUSSET" WITH FINE STUCCO FINISH

NOTE: JOB CHECK REQUIRED BEFORE FABRICATION
REMOVE AND JUNK FENCE AROUND EXISTING SIGN



2 PROPOSED NEW CABINET AND SHROUD FOR EXISTING PIPE SUPPORT
Scale: n.t.s

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Scale: AS NOTED

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R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

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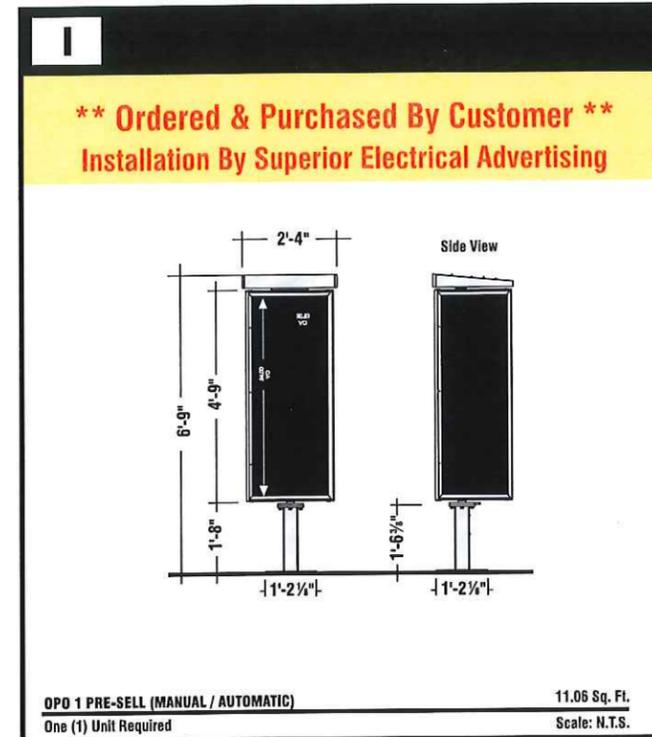
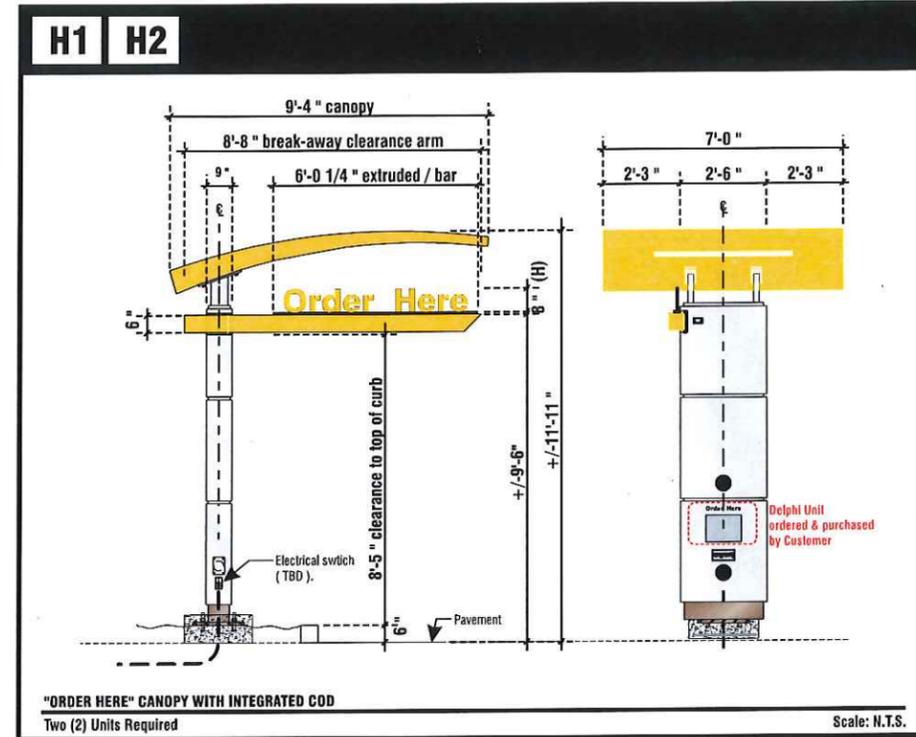
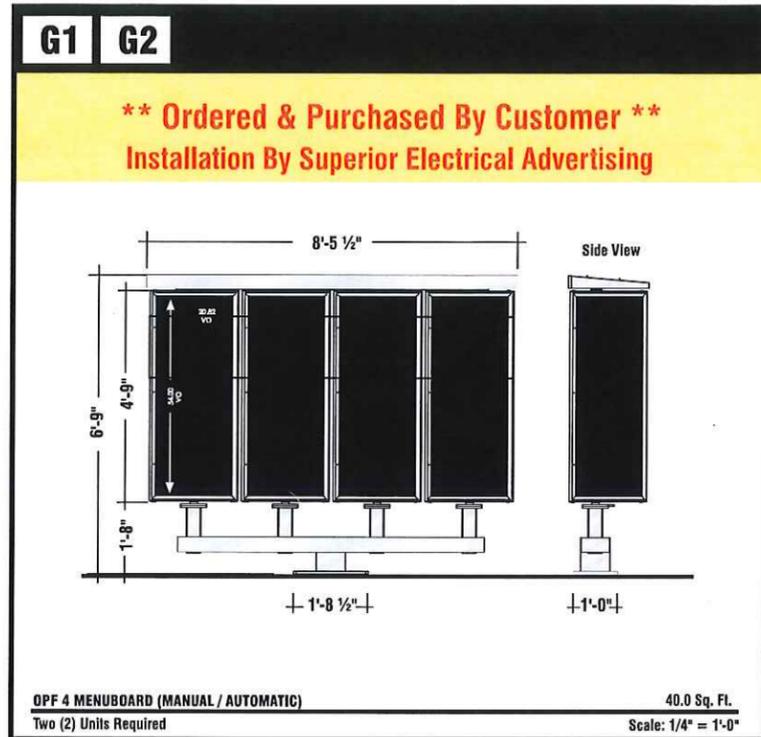
EXHIBIT Ap24

**** ALL FOOTINGS BY THE GENERAL CONTRACTOR ****
(for signs on this page)



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Long Beach, California
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Project:
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Address:
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Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

- Revisions:
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R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

FOR JOB CHECK DATE

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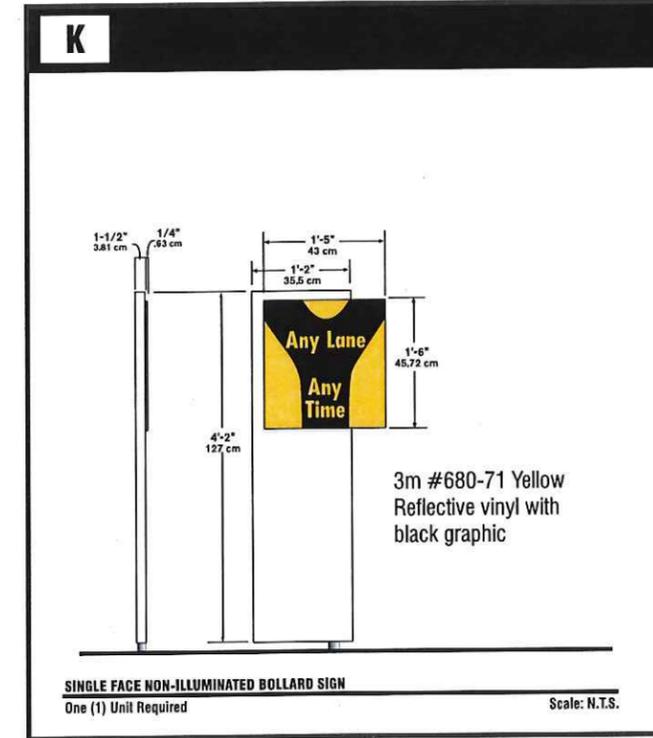
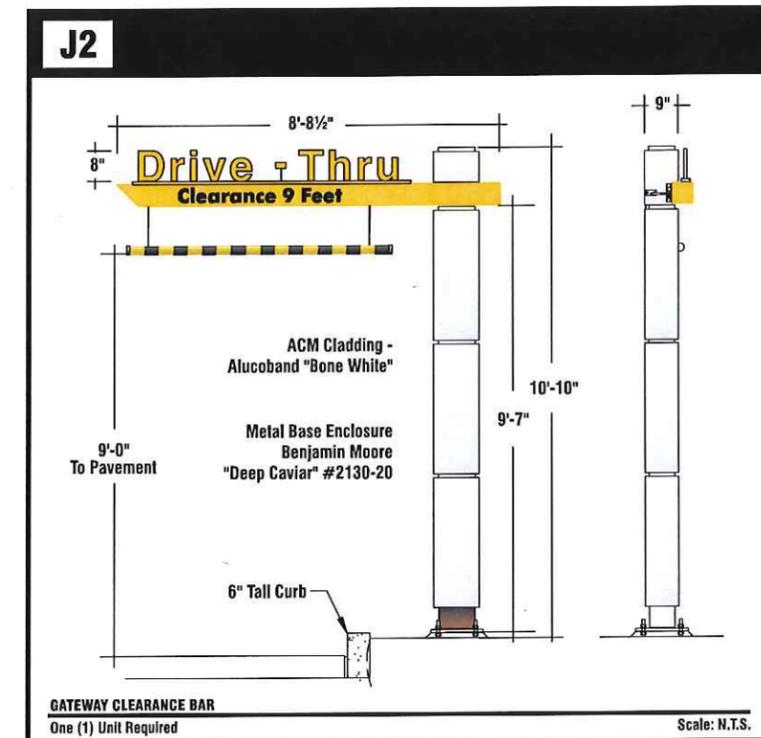
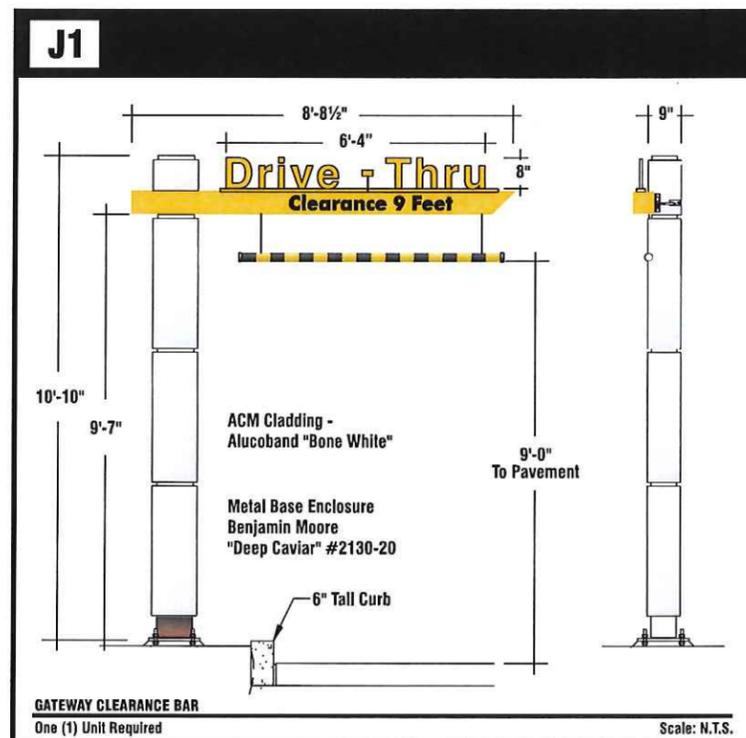
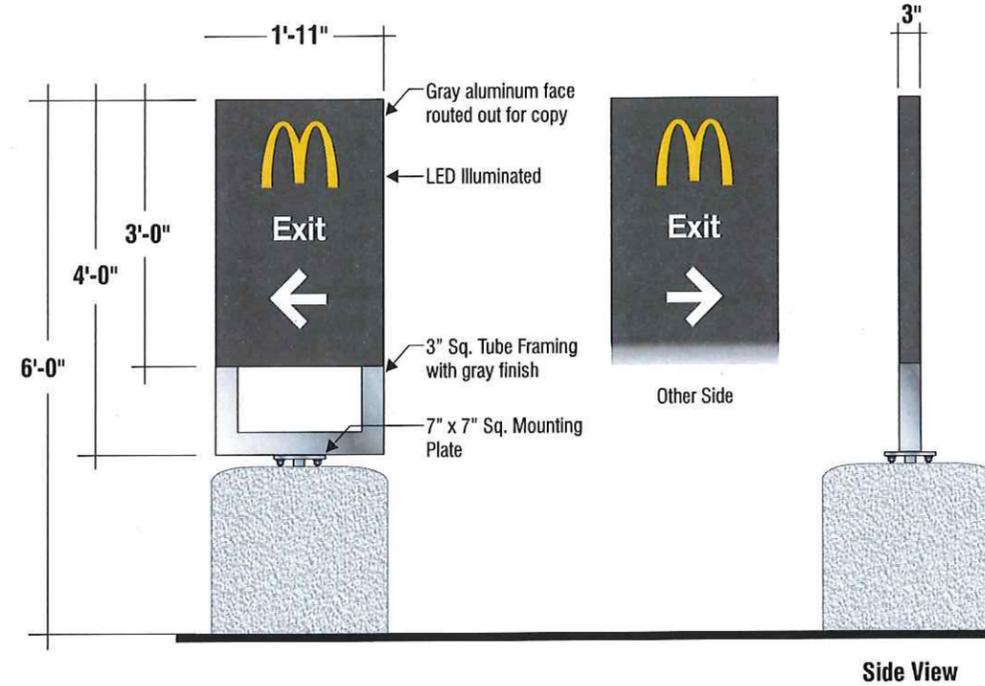
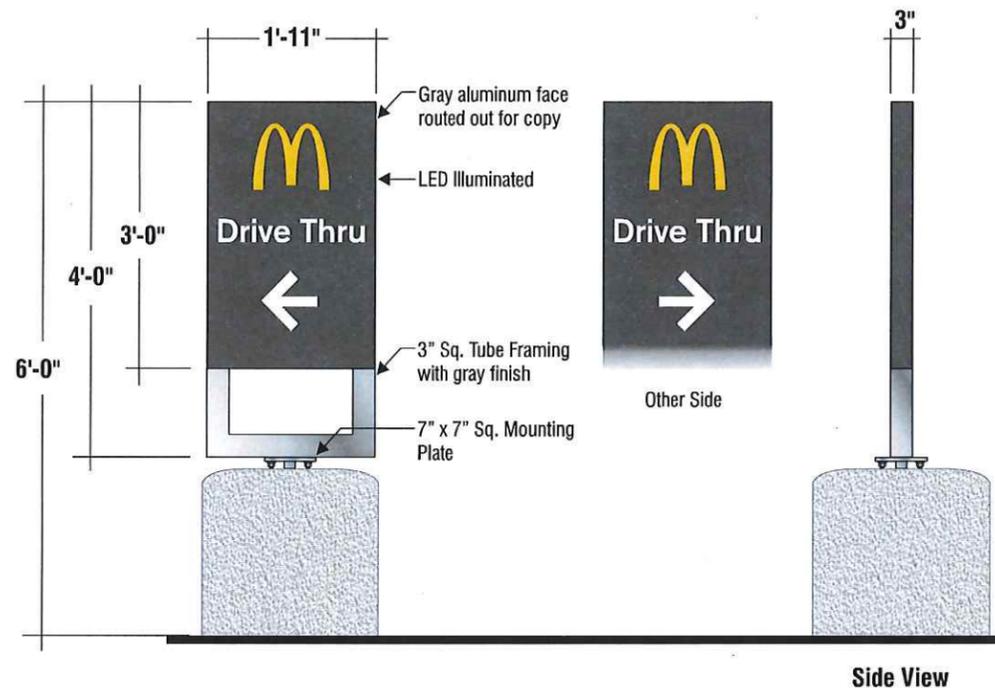


EXHIBIT Ap25

**** ALL FOOTINGS BY THE GENERAL CONTRACTOR ****
(for signs on this page)



Project:
McDonald's

Address:
35192 Newark Blvd.,
Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

Revisions:
R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

L1 L2 NEW LED ILLUMINATED DOUBLE FACE DIRECTIONAL
Quantity: Two (2) Required

Sq. Ft. 5.73
Scale: 1/2" = 1'-0"

L3 NEW LED ILLUMINATED DOUBLE FACE DIRECTIONAL
Quantity: One (1) Required

Sq. Ft. 5.73
Scale: 1/2" = 1'-0"

Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.

APPROVALS

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EXHIBIT Ap2G