

**GRADING NOTES**

1. UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
2. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
3. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.

**DRAINAGE NOTES**

1. FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL EAVES. DOWNSPOUTS WILL DRAIN ONTO SPLASH BLOCKS AND RUN OFF DIRECTED TO THE TO STREET.
2. SURFACE DRAINAGE ADJACENT TO FOUNDATION AND PAVEMENTS SHALL BE SLOPED AWAY FROM BUILDING @ 2% MINIMUM GRADIENT.
3. ARCHITECT TO FIELD VERIFY LOCATIONS OF DOWNSPOUTS.

**SITE LEGEND**

- P ----- PROPERTY LINE
- - - - - S - - - - - BUILDING SETBACK LINE
- - - - - F - - - - - (E) FENCE
- - - - - B - - - - - (E) BALCONY FOOTPRINT LINE TO BE REMOVED
- [Hatched Box] (E) STRUCTURE
- [Cross-hatched Box] (N) ADDITION
- [Dotted Box] (E) CONCRETE PATIO/WALKWAY
- [Brick Pattern Box] (E) BRICK PAVED DRIVEWAY

NOTE:  
THIS SITE PLAN IS NOT A SURVEY. ALL THE INFORMATION DRAWN HERE IS ACCORDING TO THE BEST KNOWLEDGE OF THE ARCHITECT. FOR ACCURATE SURVEY DRAWING, PLEASE CONSULT A SURVEYOR.

OWNERS: JUAN SUN  
35669 LUNDY DR.  
NEWARK, CA. 94560

ZONING : R8000-SC

A. P. N. : 92A-2590-5

OCCUPANCY GROUP: R-3 (2013 CBC)

CONSTRUCTION TYPE: V-B

**PROJECT DESCRIPTION:**  
THIS PROJECT CONSISTS OF ADDING A NEW SUNROOM TO THE EXISTING FAMILY ROOM AT THE BACKYARD; REPLACING THE EXISTING SOUTHERN, RECTANGLE BALCONY WITH A NEW HALF CIRCLE BALCONY AT THE SECOND FLOOR; REDESIGNING THE INTERIOR AREAS OF KITCHEN, DINING, STAIR, LAUNDRY, BONUS ROOM, BATHROOM AND BEDROOMS UPSTAIRS; REPLACING EXISTING WHOLE HOUSE EXTERIOR WOOD PANEL MATERIALS WITH NEW STUCCO.

**CODE COMPLIANCE:**  
THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH 2013 CBC.

LOT SIZE: 13,711 S.F.

EXISTING GROSS FLOOR AREAS:

GROSS LIVING AREA: 2550 S.F.  
GARAGE AREA: 698 S.F.

PROPOSED ADDITION FLOOR AREAS:

CONDITIONED AREA: 118 S.F.

NEW GROSS FLOOR AREAS:

CONDITIONED AREA: 2550+118=2668 S.F.  
GARAGE AREA: 698 S.F.

**ARCHITECTURAL DRAWINGS**

- A1 SITE PLAN
- A2 DEMOLITION FIRST FLOOR PLAN
- A3 DEMOLITION SECOND FLOOR PLAN
- A4 FIRST FLOOR PLAN
- A5 SECOND FLOOR PLAN
- A6 ROOF PLAN
- A7 EXTERIOR NORTH & SOUTH ELEVATIONS
- A8 EXTERIOR EAST & WEST ELEVATIONS
- A9 PARTIAL BUILDING SECTION A-A & ARCHITECTURAL DETAILS
- A10 WINDOW & DOOR SCHEDULES AND NOTES

**ELECTRICAL DRAWINGS**

- E1 FIRST FLOOR ELECTRICAL PLAN
- E2 SECOND FLOOR ELECTRICAL PLAN

**STRUCTURAL DRAWINGS**

- S0 GENERAL NOTES
- S1 FOUNDATION PLAN & DETAILS
- S2 SECOND FLOOR FRAMING PLAN & DETAILS
- S3 ROOF FRAMING PLAN & DETAILS

PROJECT SUMMARY



SHEET INDEX



SITE PLAN

SCALE: 1" = 8' - 0"



EXHIBIT

A-PI

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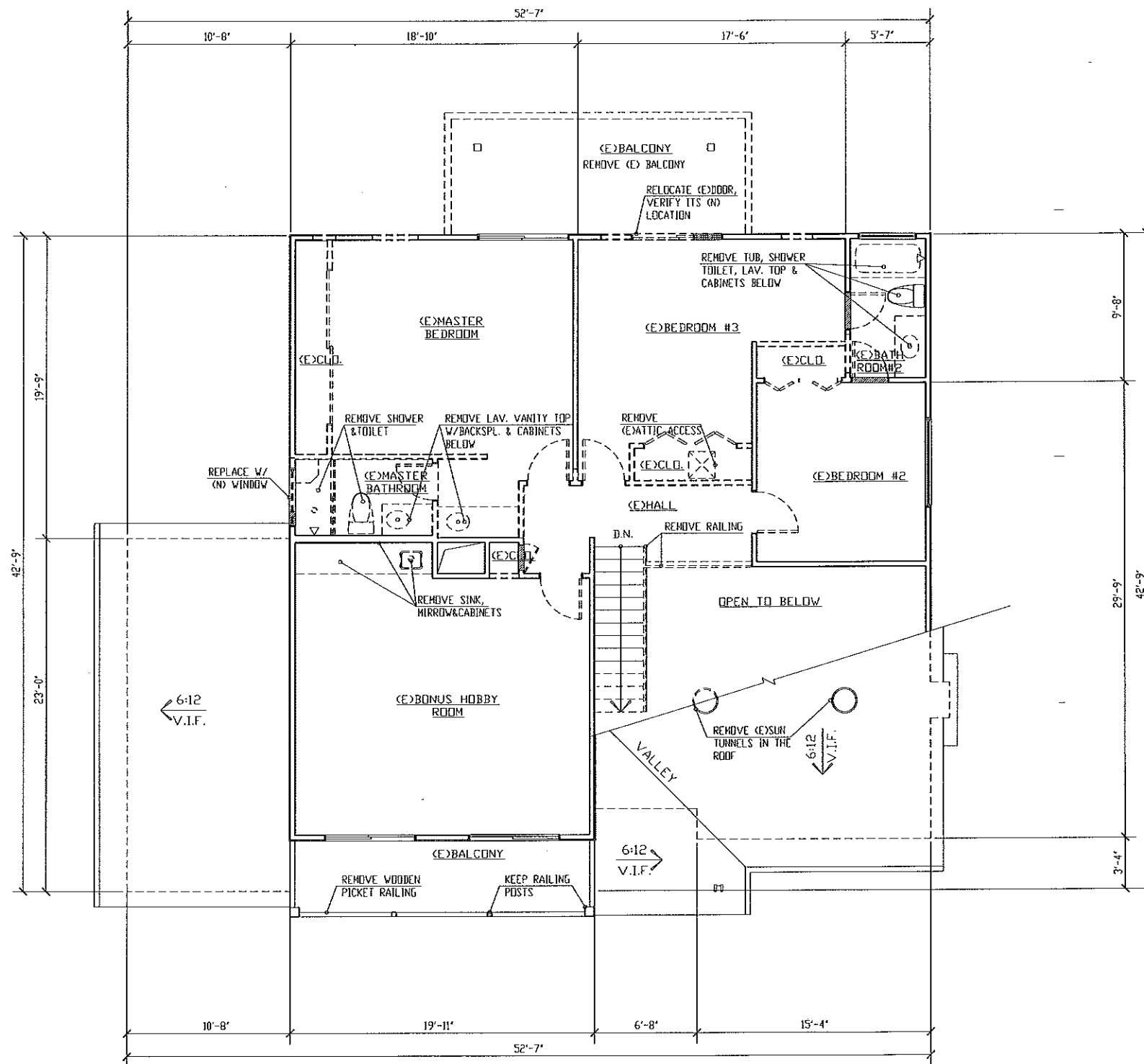
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SITE PLAN



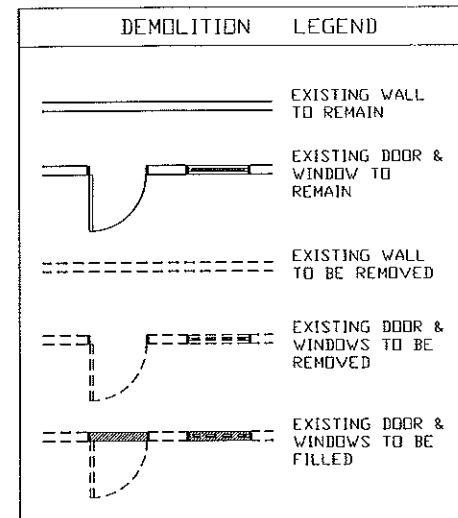
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PROJECT NAME	SUN	
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DRAWN BY	ZHEN CAO	
DATE	5/19/2016	
SHEET	A1	





DEMOLITION SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"



DEMOLITION NOTES

1. ALL WINDOWS TO BE REMOVED. PROTECT ADJACENT WALL.
2. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS & POSTS TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
3. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN NEW CONSTRUCTION IS COMPLETE.
4. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
5. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
6. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
7. REMOVE ALL EXISTING LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUIT, AND CONDUCTORS. SEE NOTE #6 FOR SALVAGED FIXTURES.
8. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITIONS/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.

EXHIBIT A-P3

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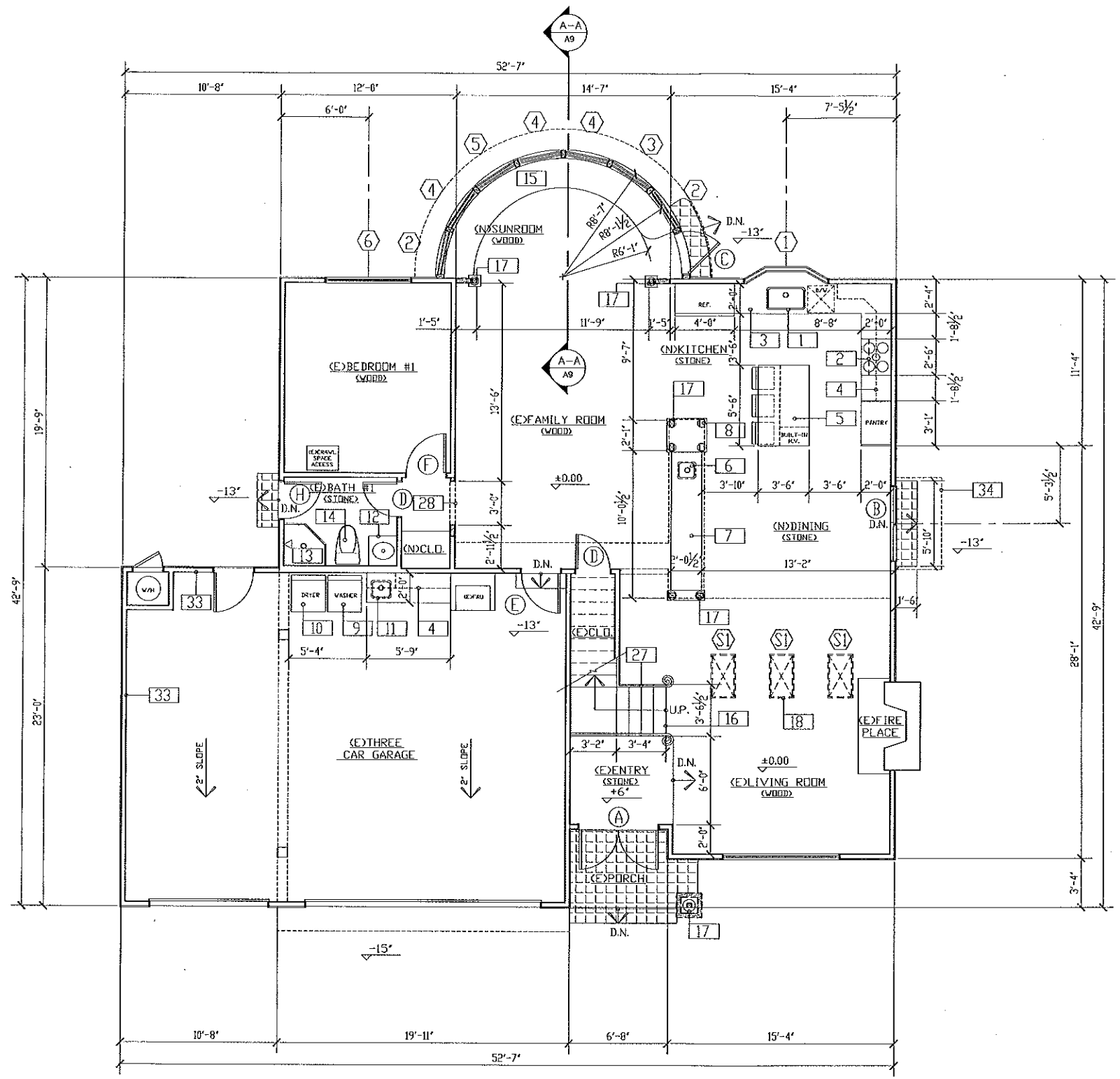
DEMOLITION SECOND FLOOR PLAN



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SHEET A3



FIRST FLOOR PLAN  
SCALE: 1/4" = 1' - 0"



FLOOR PLAN LEGEND

- (C) WALL
- (ND) PARTIAL WALL
- (ND) WALL @ 16" D.C., U.N.D.
- (ND) WALL WITH SOUND ABSORBENT INSULATION

FLOOR PLAN NOTES

- 1 BASIN SINK
- 2 COOKTOP RANGE W/ DOWN VENT
- 3 COUNTERTOP WITH BACKSPLASH, DRAWERS & CABINETS BELOW
- 4 COUNTERTOP WITH BACKSPLASH, DRAWERS & CABINETS BELOW & ABV.
- 5 36" ISLAND COUNTERTOP W/ DRAWERS & CABINETS BELOW
- 6 PREP SINK
- 7 36" HIGH COUNTERTOP W/ DRAWERS & CABINETS BELOW
- 8 DECORATION COLUMN
- 9 WASHER
- 10 DRYER
- 11 LAUNDRY SINK
- 12 LAV. VANITY COUNTERTOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 13 SHOWER W/ ONE HEAD
- 14 TOILET
- 15 BUILT-IN BENCH W/CLOSET BELOW
- 16 STAIRS: 4 TREADS @ 10"=3'-4" 5 RISERS @ 7 1/6"=3'-0" LANDING (3'-2" X 3'-4")
- 17 DECORATION COLUMN W/STRUCTURAL POST INSIDE
- 18 SKYLIGHT
- 19 WHIRLPOOL TUB IN BUILT-IN PLATFORM @ MASTER BATH
- 20 BUILT-IN LINEN
- 21 TOILET W/BIDET ELECTRONIC TOILET SEAT
- 22 DOUBLE LAV. VANITY TOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 23 BATH TUB W/ SHOWER
- 24 LAV. VANITY COUNTERTOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 25 24"X30" ACCESS TO ATTIC SPACE
- 26 BUILT-IN BOOKSHELF
- 27 WROUGHT IRON RAILING
- 28 ARCH DOORWAY, HEADER HEIGHT 7'-0"
- 29 POLE & SHELF
- 30 BUILT-IN COUNTERTOP W/ CABINETS BELOW
- 31 6x6 POST INSIDE, STUCCO EXTERIOR W/ PRECAST CONCRETE CAP
- 32 FIRST FLOOR LINE
- 33 GARAGE USE 5/8" GYPSUM BOARD TO INTERIOR FACE & PAINT.
- 34 LIGHTLINE CURVE CANOPY MODEL: CURVE 1900 OR SIMILAR

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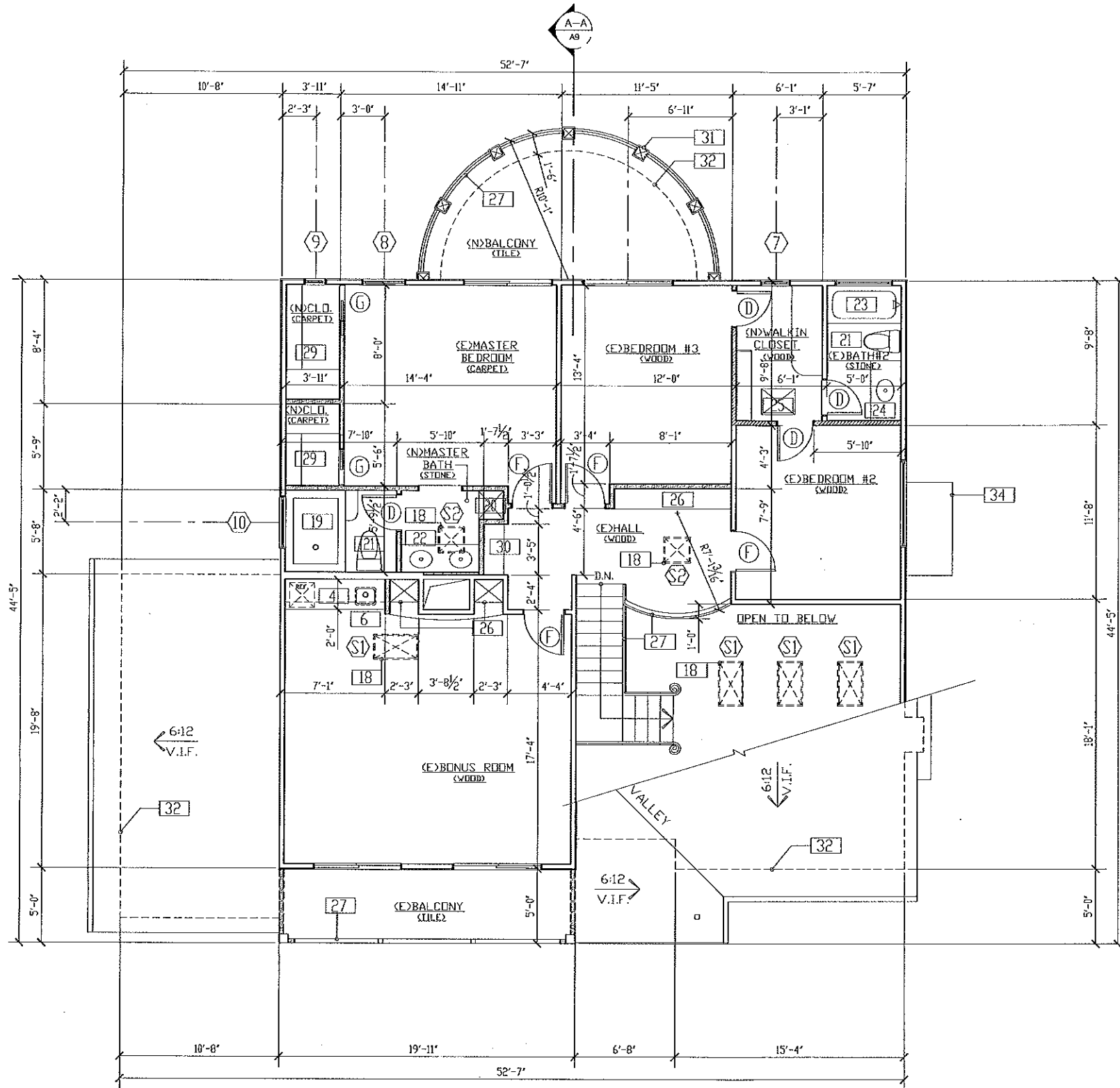
FIRST FLOOR PLAN



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**EXHIBIT A-14**



SECOND FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

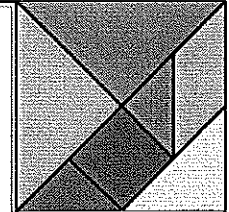


FLOOR PLAN LEGEND

- (E) WALL
- (ND) PARTIAL WALL
- (ND) WALL @ 16" O.C., U.N.D.
- (ND) WALL WITH SOUND ABSORBENT INSULATION

FLOOR PLAN NOTES

- 1 BASIN SINK
- 2 COOKTOP RANGE W/ DOWN VENT
- 3 COUNTERTOP WITH BACKSPASH. DRAWERS & CABINETS BELOW
- 4 COUNTERTOP WITH BACKSPASH. DRAWERS & CABINETS BELOW & ABV.
- 5 36" ISLAND COUNTERTOP W/ DRAWERS & CABINETS BELOW
- 6 PREP SINK
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- 8 DECORATION COLUMN
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- 16 STAIRS: 4 TREADS @ 10"=3'-4"  
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- 19 WHIRLPOOL TUB IN BUILT-IN PLATFORM @ MASTER BATH
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- 21 TOILET W/BIDET ELECTRONIC TOILET SEAT
- 22 DOUBLE LAV. VANITY TOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 23 BATHTUB W/ SHOWER
- 24 LAV. VANITY COUNTERTOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 25 24"X30" ACCESS TO ATTIC SPACE
- 26 BUILT-IN BOOKSHELF
- 27 WROUGHT IRON RAILING
- 28 ARCH DOORWAY, HEADER HEIGHT 7'-0"
- 29 PDLE & SHELF
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- 31 6x6 POST INSIDE, STUCCO EXTERIOR W/ PRECAST CONCRETE CAP
- 32 FIRST FLOOR LINE
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SECOND FLOOR PLAN



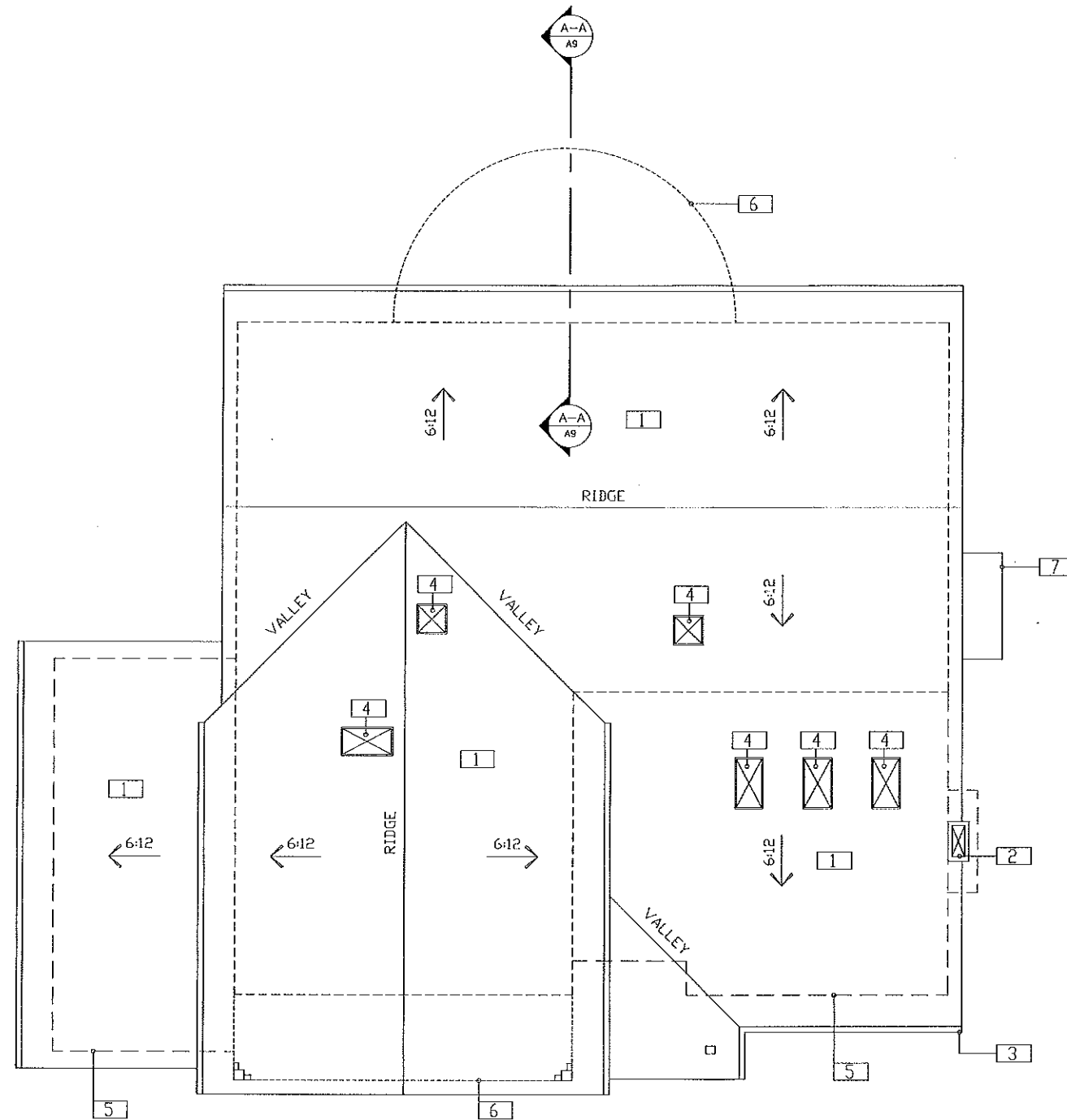
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SHEET A5

EXHIBIT A-PS



**ROOF PLAN LEGEND**

1	(X) CONCRETE TILES
2	(X) COPPER CHIMNEY CAP V/ SPARK ARRESTOR
3	(X) GUTTER
4	(O) SKYLIGHT
5	FIRST FLOOR LINE
6	SECOND FLOOR BALCONY LINE
7	(O) CURVE CANOPY

**ROOF NOTES**

1. ROOF TO BE CONCRETE TILES.
2. ROOFING TO BE MINIMUM FIRE RATED CLASS C PER 2001 U.B.C.
3. ALL FLASHING, COUNTERFLASHING, AND COPING TO BE MINIMUM 26 GA. NON-CORROSIIVE METAL. FLASH AND COUNTERFLASH AS REQUIRED.
4. GUTTERS TO BE ALUMINUM SEAMLESS GUTTERS. DOWNSPOUTS LOCATIONS & NUMBERS ARE SCHEMATIC. FINAL LOCATION AND NUMBERS TO BE VERIFIED BY ARCHITECT PRIOR TO PLACEMENT.
5. ARROWS POINT TO DOWNSLOPE.
6. DASHED LINE INDICATES WALL BELOW.
7. DIMENSIONS OF GUTTERS ON ROOF PLAN INDICATE WRAP OF FASCIA & GUTTER @ GABLE ENDS, TYPICAL.

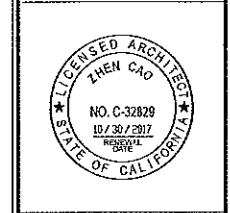
ROOF PLAN  
SCALE: 1/4" = 1' - 0"



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**ROOF PLAN**



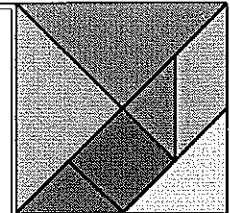
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SHEET **A6**

**EXHIBIT A-P6**



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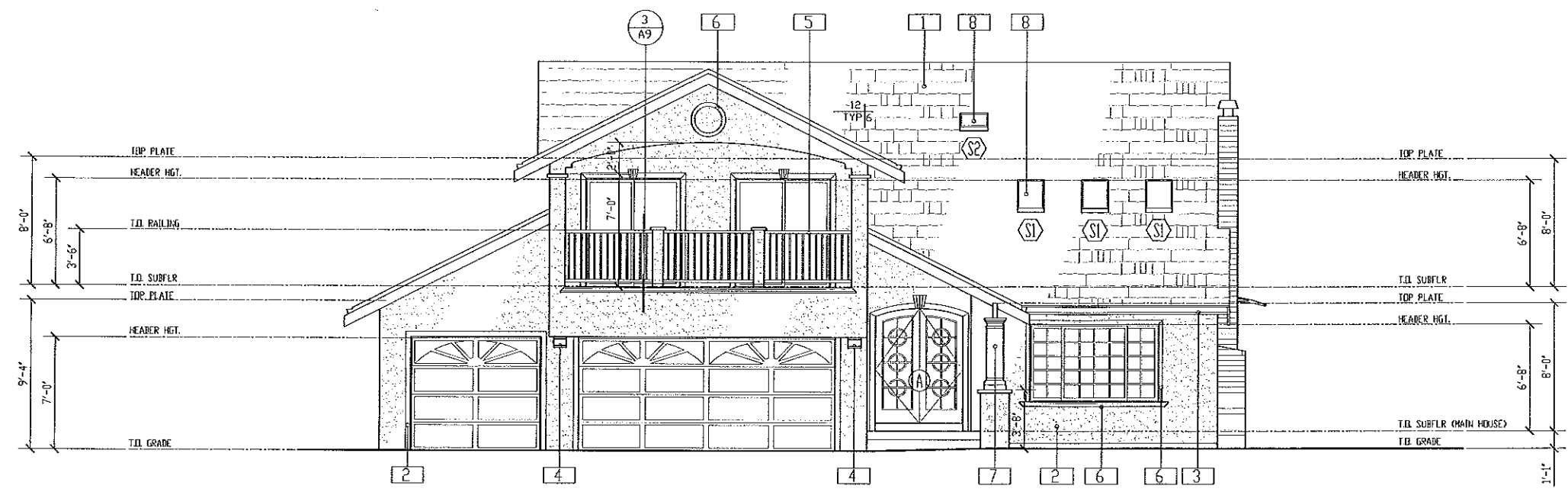
BUILDING NORTH &  
 WEST ELEVATIONS



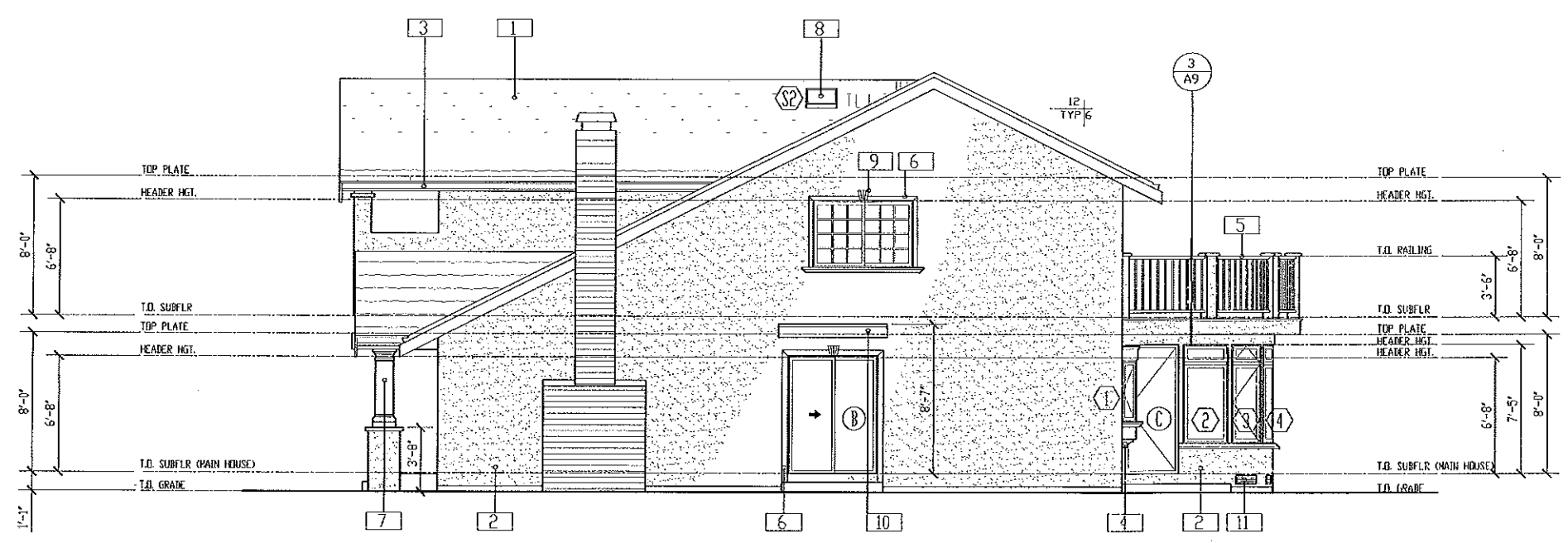
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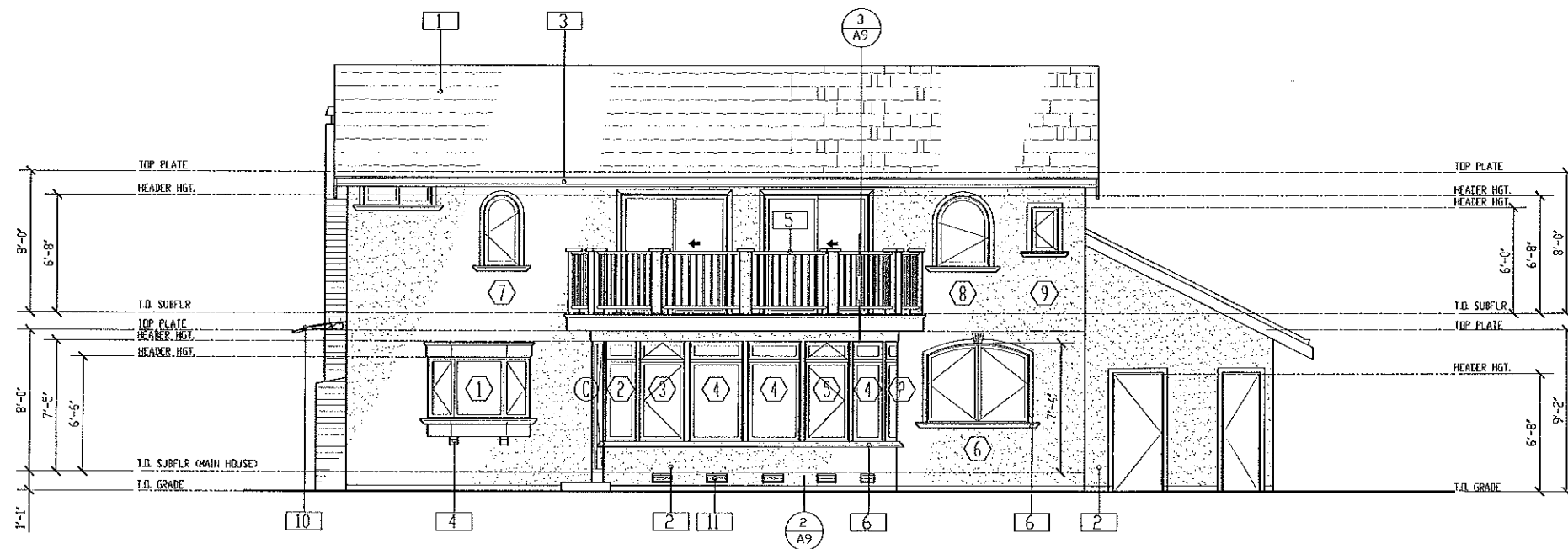
NORTH ELEVATION  
 SCALE: 1/4"=1'-0"



WEST ELEVATION  
 SCALE: 1/4"=1'-0"

ELEVATION NOTES	
1	(C) CONCRETE TILE ROOF
2	(O) HARD TROWEL STUCCO W/ TWO COAT PAINTED
3	(C) GUTTERS
4	(O) CORBEL
5	(O) WROUGHT IRON RAILING
6	(O) PAINTED STUCCO TRIM
7	(O) DECORATION COLUMN
8	(O) SKYLIGHT
9	(O) KEYSTONE
10	(O) CURVE CANOPY
11	(O) 14"x6' VENT @ CRAWL SPACE

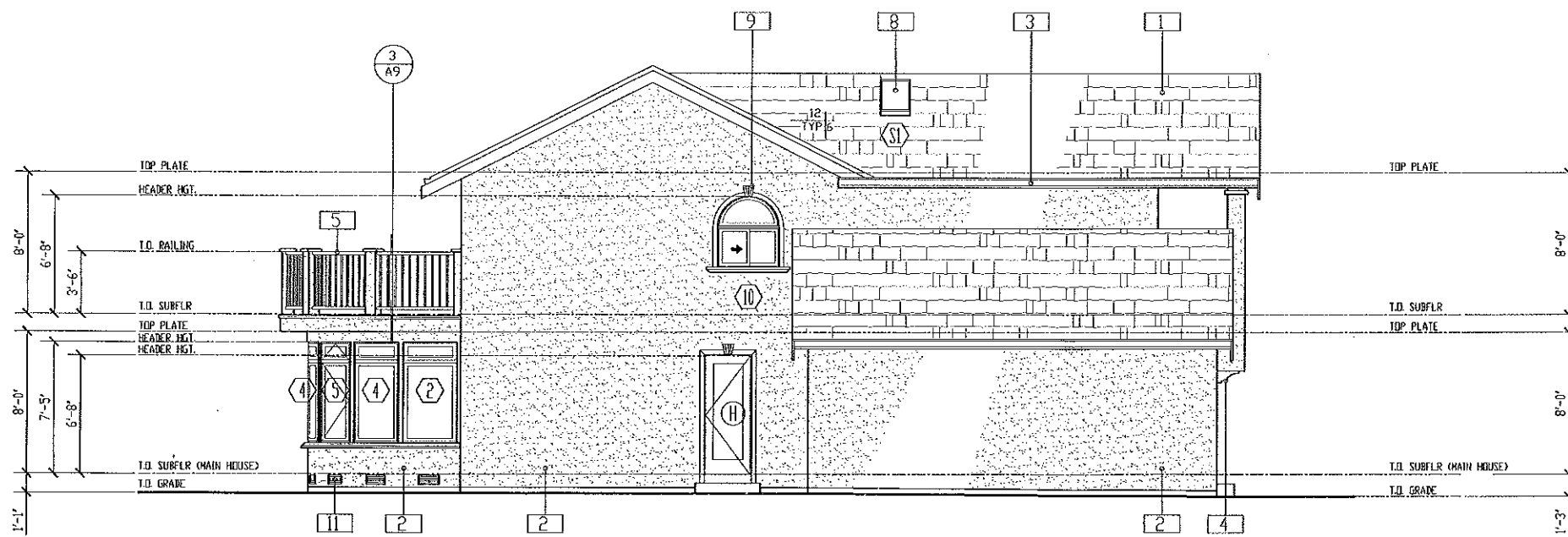
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SOUTH ELEVATION

SCALE: 1/4"=1'-0"

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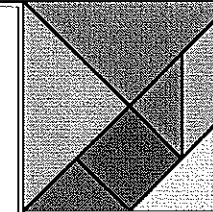
EAST ELEVATION

SCALE: 1/4"=1'-0"

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ELEVATION NOTES

- 1 (C) CONCRETE TILE ROOF
- 2 (N) HARD TROWEL STUCCO  
V/ TWO COAT PAINTED
- 3 (C) GUTTERS
- 4 (N) CORBEL
- 5 (N) WROUGHT IRON RAILING
- 6 (N) PAINTED STUCCO TRIM
- 7 (N) DECORATION COLUMN
- 8 (N) SKYLIGHT
- 9 (N) KEYSTONE
- 10 (N) CURVE CANDOPY
- 11 (N) 14'X6' VENT & CRAWL SPACE



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BUILDING SOUTH &  
 EAST ELEVATIONS



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EXHIBIT A-P8